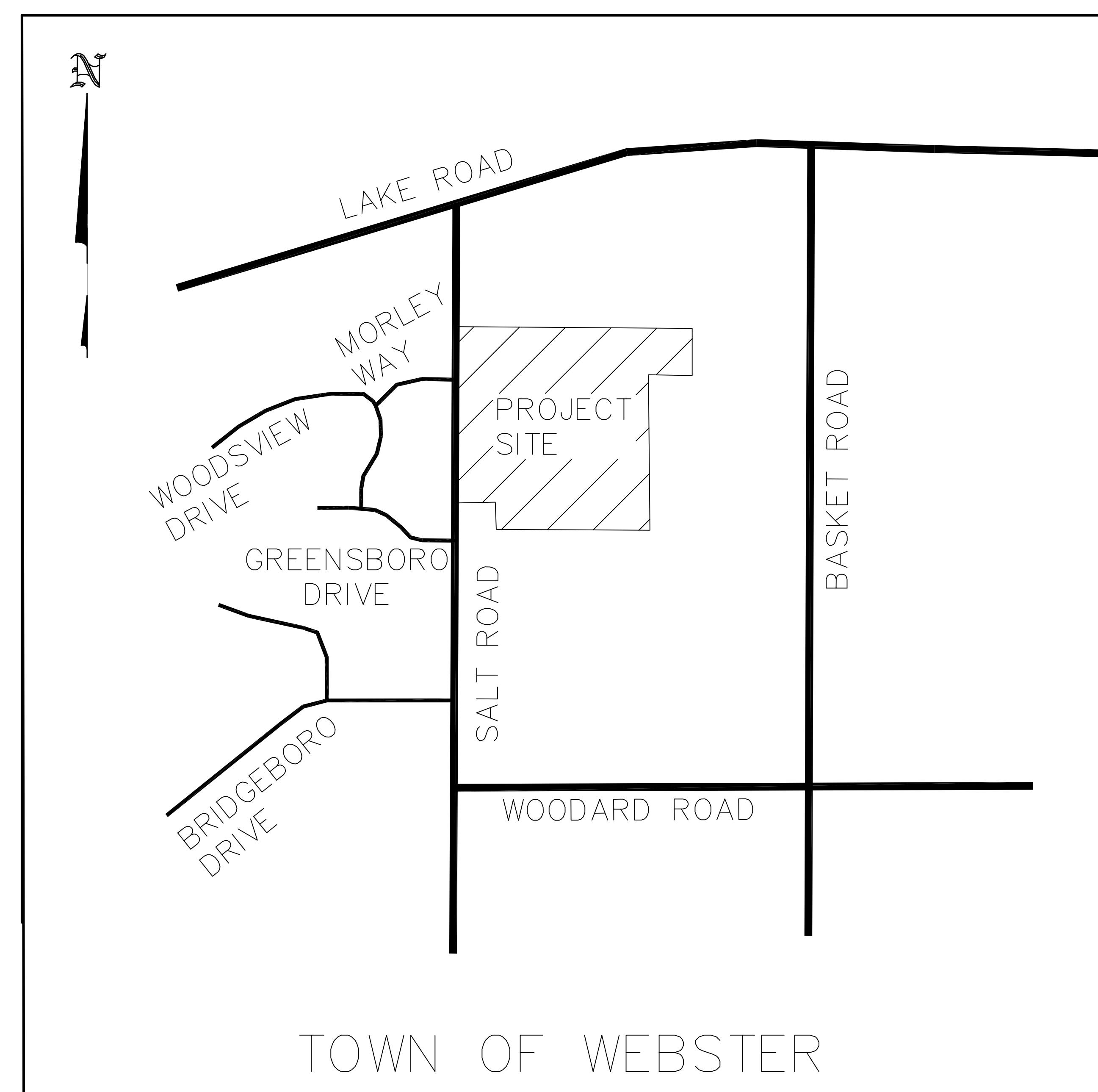


ABERDEEN ESTATES SUBDIVISION

FINAL PHASE 3

TOWN OF WEBSTER
COUNTY OF MONROE
STATE OF NEW YORK



LOCATION SKETCH
N.T.S.

INDEX OF ON-SITE DRAWINGS:

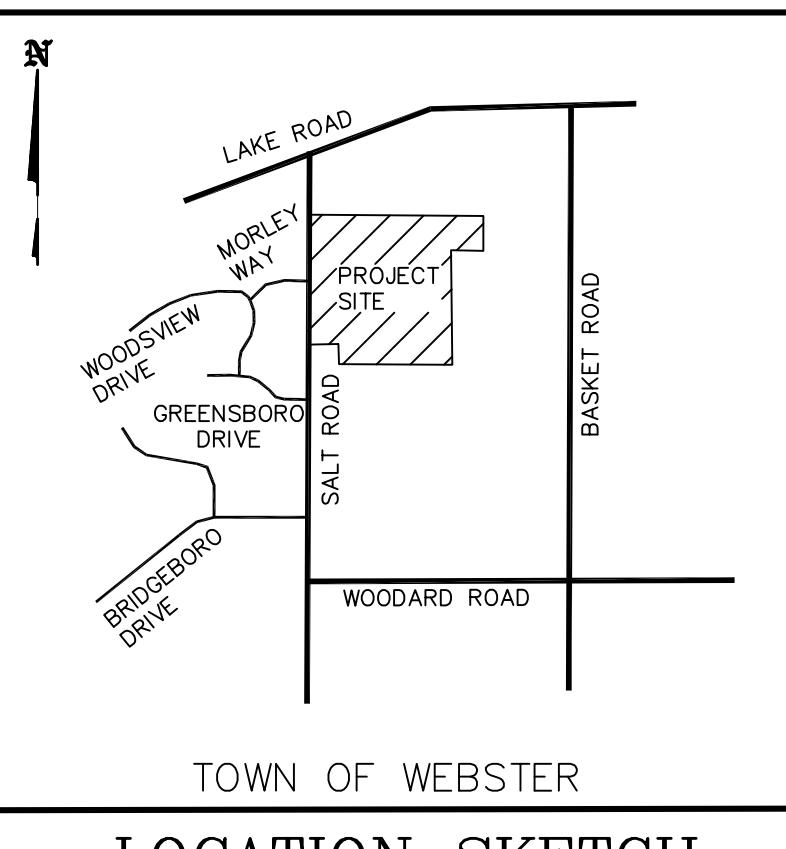
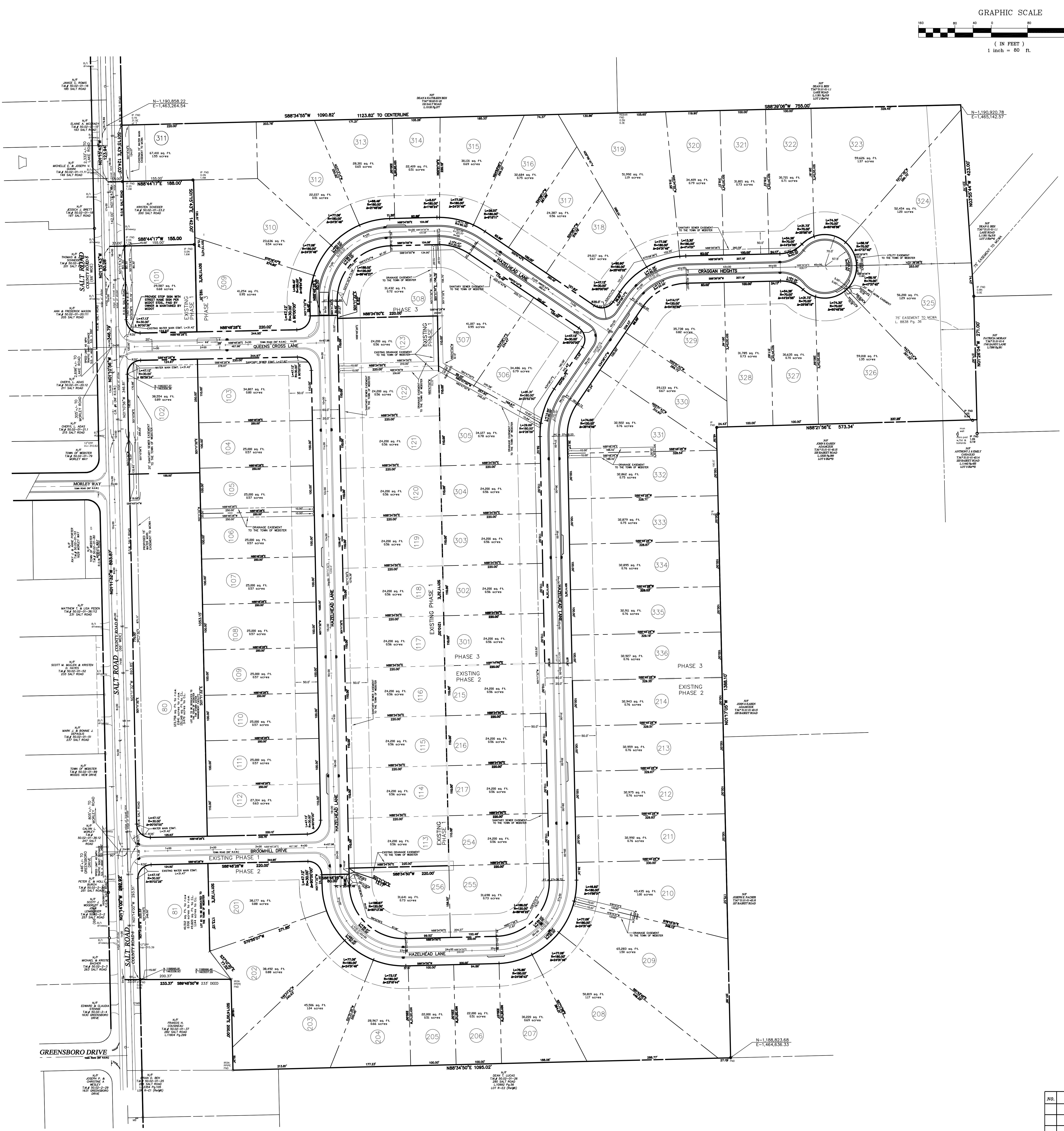
DRAWING NO.	DRAWING NAME
1	COVER SHEET
2	OVERALL PLAN
3	PLAT PLAN
4	UTILITY PLAN
5	GRADING & EROSION CONTROL PLAN
6	PROFILES
7 - 9	DETAILS & NOTES

DSB Engineers and
Architects, P.C.
2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626
ph. 585-271-5230 fax 585-271-3488



PREPARED FOR:
FOREST CREEK EQUITY CORP.
3240 CHILI AVENUE
ROCHESTER, N.Y. 14624

01/13/2026



LOCATION SKETCH

N.T.S.

SITE DATA:

1. TAX ACCT. NO'S.
050.02-01-23.11
2. PARCEL AREA:
EXISTING PHASE 1: 19.60 AC. - 23 LOTS
PHASE 2: 17.10 AC. - 20 LOTS
FUTURE PHASE 3: 52.44 AC. - 36 LOTS

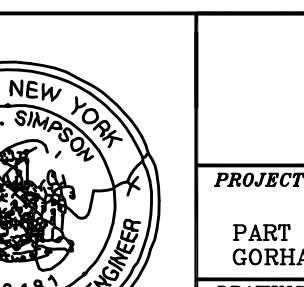
LOT DATA:	
LOT WIDTH: (MIN.)	100' (cul-de-sac 55' at front lot line)
LOT SIZE: (MIN.)	22,000 S.F.
SET BACK: FRONT SIDE REAR	50' MIN. (CORNER LOTS 40') 15' MIN. 50' MIN.

APPROVED BY: _____ DATE: _____

APPROVED BY: _____ DATE: _____

APPROVED BY: _____ DATE: _____

NO.	REVISION	DATE



DSB Engineers and
Architects, P.C.

B S B Attorneys, P.C.
2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626
ph. 585-271-5230 fax 585-271-3488

PL. 585-2/1-34230 JUL 585-2/1-34460

ERDEEN ESTATES SUBDIVISION


S 21 & 23, TOWNSHIP 14, RANGE 4 OF THE PHELPS &
CHASE, TOWN OF WEBSTER, MONROE COUNTY, NEW YORK


OVERALL PLAT
FINAL PAGE 6


FINAL PHASE 3

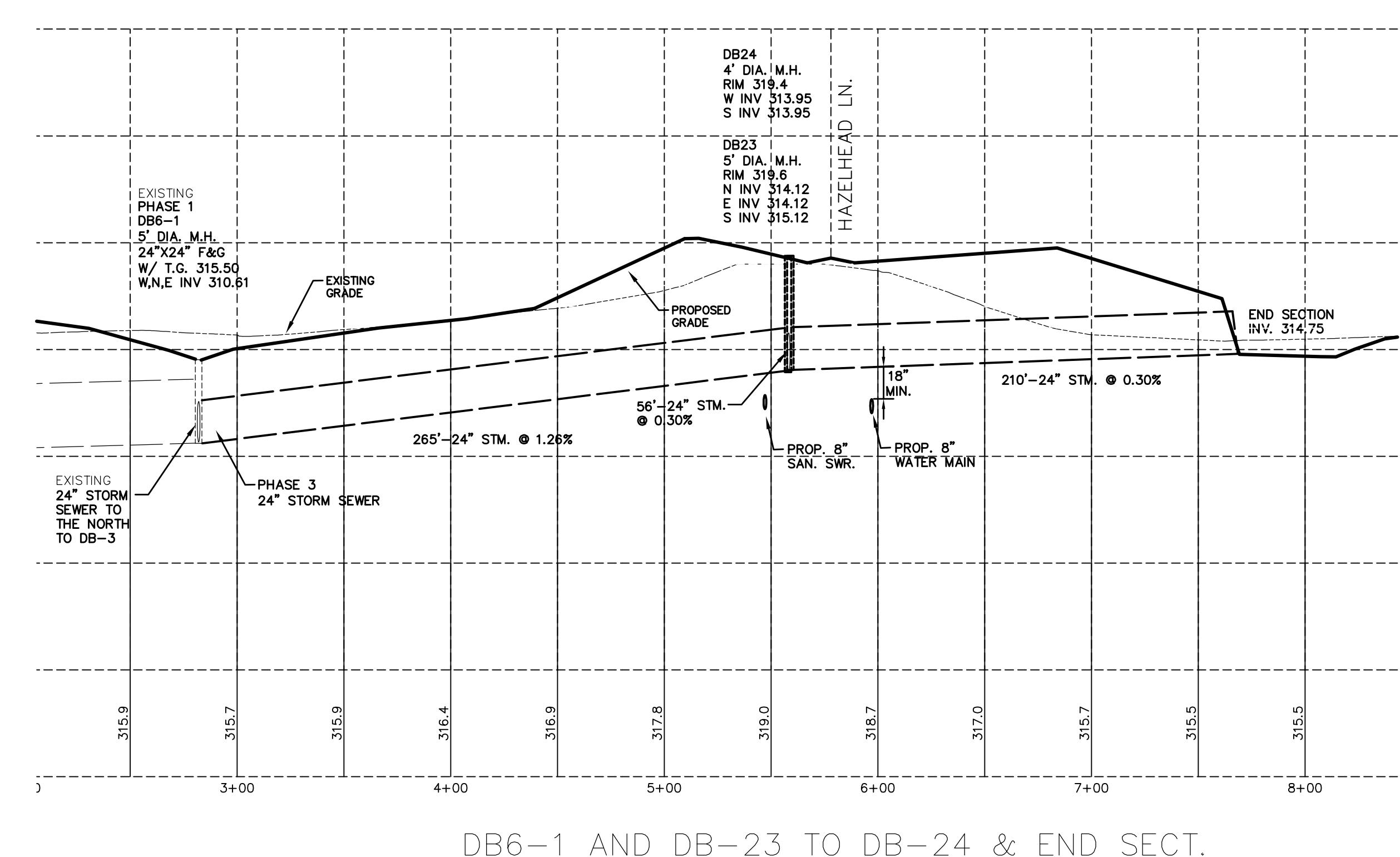
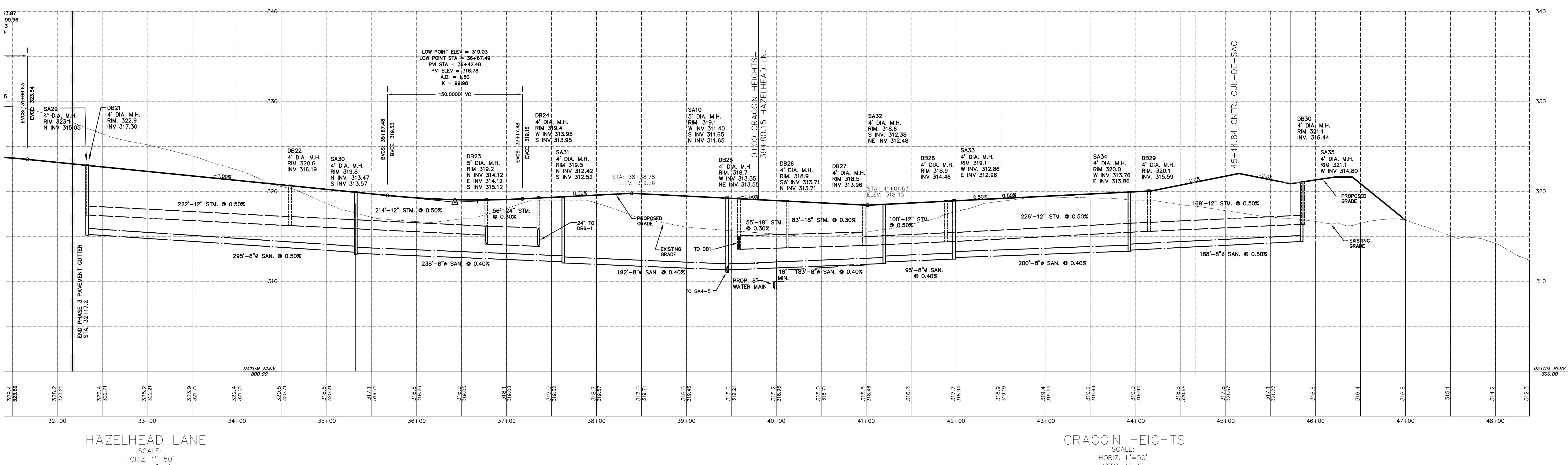
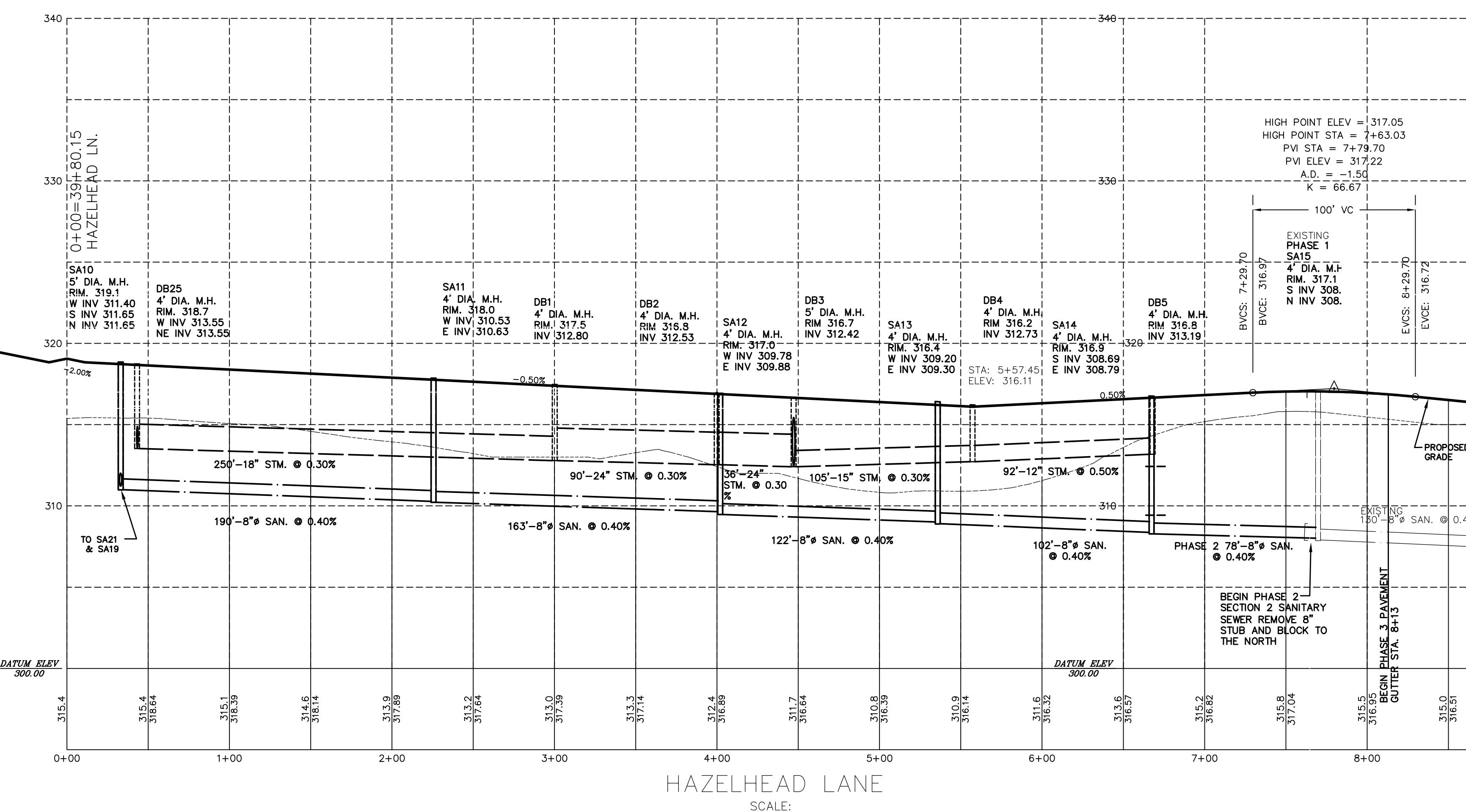
EST CREEK EQUITY CORP.
10 CHILI AVENUE
CHESTER, N.Y. 14624

BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
S	WEB	DES	01/13/26	1"=80'	2 OF 9









NO.	REVISION	DATE

DSB Engineers and
Architects, P.C.

2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626
ph. 585-271-5230 fax 585-271-3488

^{CT} **ABERDEEN ESTATES SUBDIVISION**

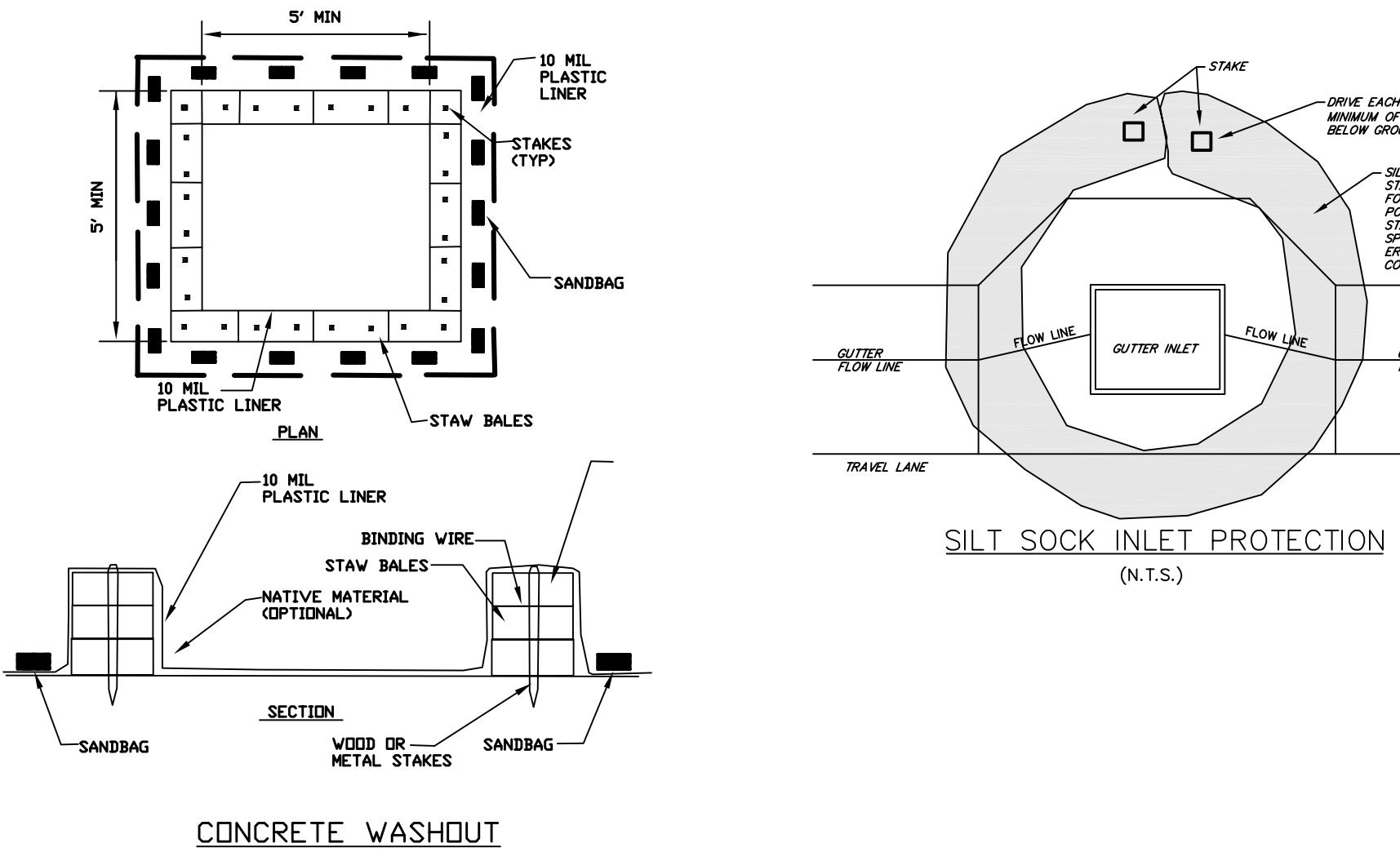
T OF LOTS 21 & 23, TOWNSHIP 14, RANGE 4 OF THE PHELPS &
CHAM PURCHASE, TOWN OF WEBSTER, MONROE COUNTY, NEW YORK

NG TITLE

PROFILES
FINAL PHASE 3

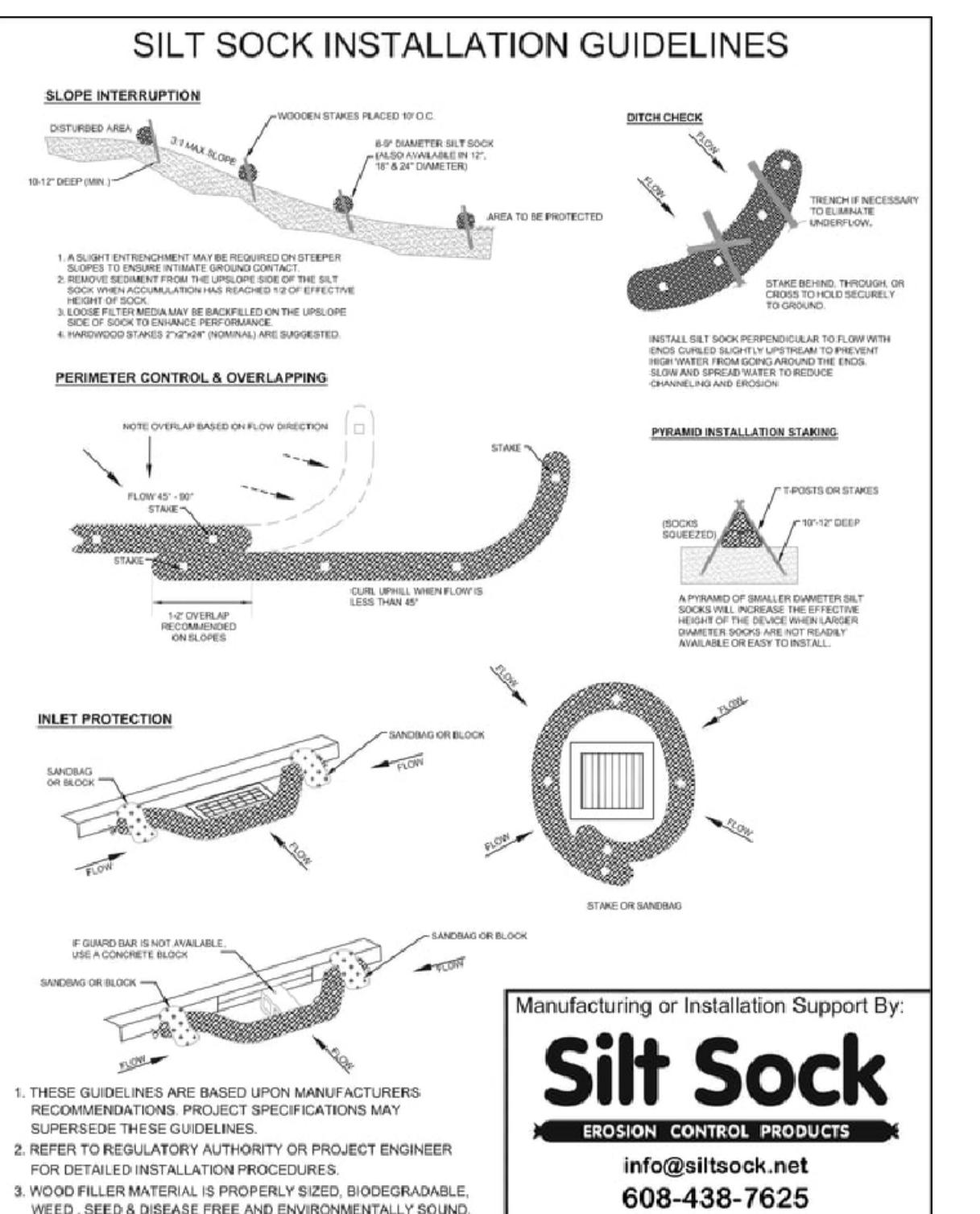
T
FOREST CREEK EQUITY CORP.
3240 CHILI AVENUE
ROCHESTER, N.Y. 14624

NO.	DWG. BY	DESIGN BY	APPROVED	DATE	SCALE	DWG. NO.
34	N.E.S.	W.F.B.	D.E.S.	01/13/26	AS NOTED	6 OF 9

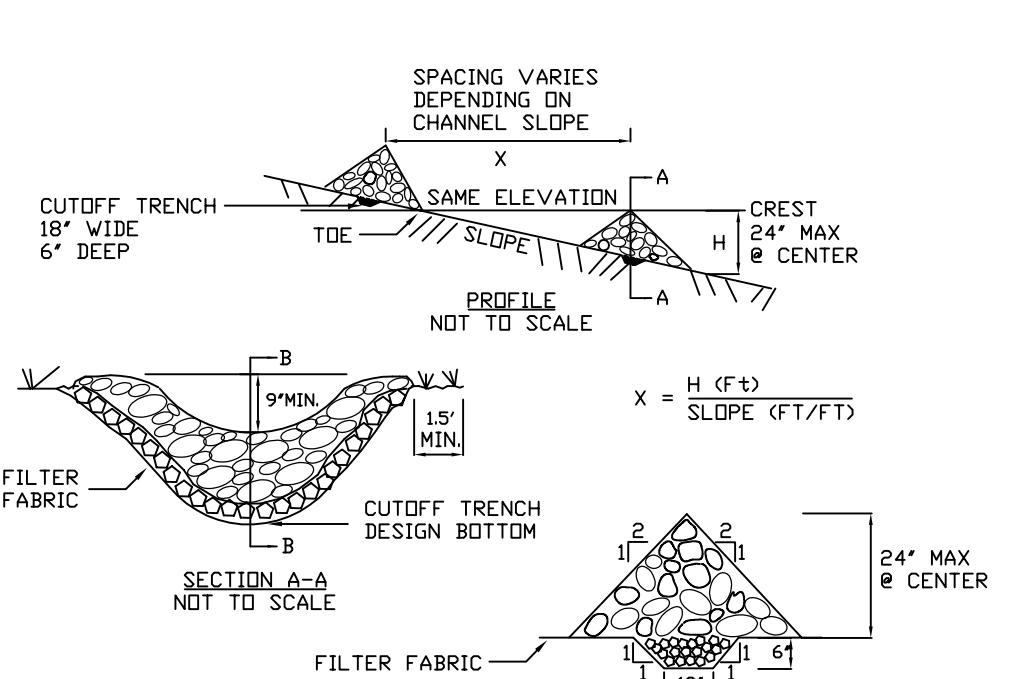


CONCRETE WASHOUT
N.T.S.
WASHOUT NOTES

1. NO WASHING OUT OF CONCRETE TRUCKS OR WASHING CONCRETE SWEEPS, FOR PURPOSE OF WASHING CONCRETE INTO ATOV DOWNSLOPES, DRAINS, STREAMS, OR STREAMS IS ALLOWED.
2. EXCESS CONCRETE IS NOT ALLOWED TO BE PUMPED ON-SITE, EXCEPT IN DESIGNATED AREAS.
3. ON-SITE TEMPORARY CONCRETE WASHOUT AREAS WILL BE LOCATED AT LEAST 50 FEET FROM EXISTING CONCRETE SURFACES.
4. TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS PROVIDED FOR CONCRETE WASHOUT OPERATIONS.
5. PLASTIC WASHOUT AREAS WILL BE CLEANED OUT OR REPLACED ONCE THE WASHOUT IS 75% FULL.
6. PLASTIC WASHOUT AREAS WILL BE REMOVED AND DISPOSED OF AS SOON AS POSSIBLE.
7. FREE OF HOLES, TEARS, OR OTHER DEFECTS.
8. CONCRETE WASHOUT AREAS WILL BE LOCATED AND MAINTAINED AS REQUIRED FOR WORK, THE HARDED CONCRETE WILL BE REMOVED AND DISPOSED OF OFFSITE MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE REMOVED FROM THE SITE AND DISPOSED OF.



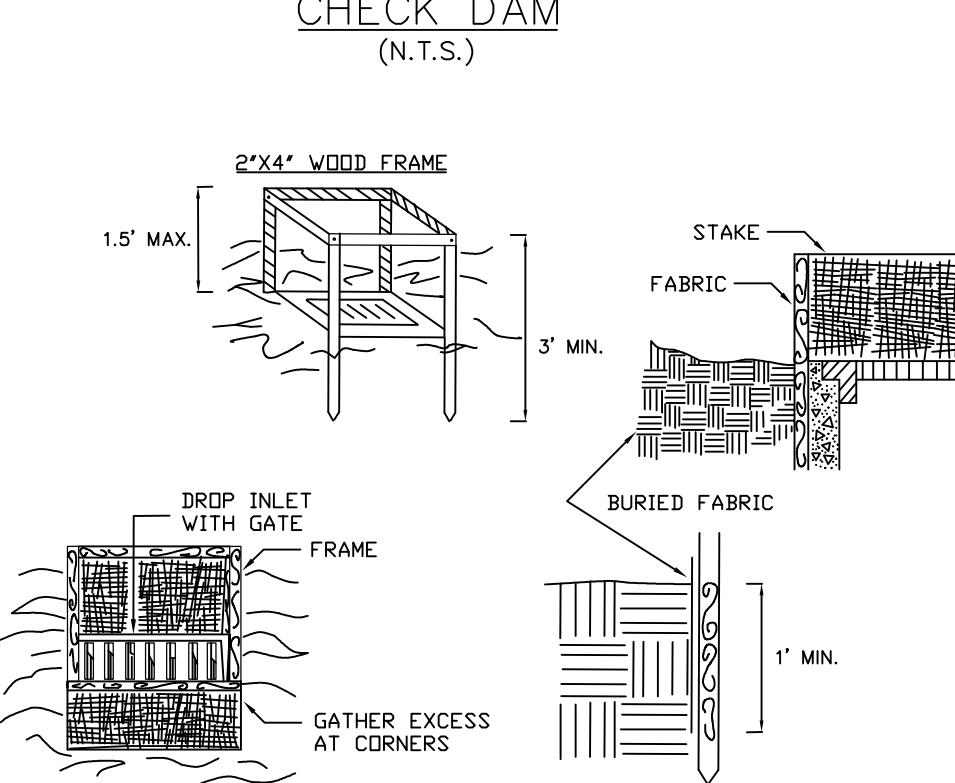
Manufacturing or Installation Support By:
Silt Sock
EROSION CONTROL PRODUCTS
info@siltsock.net
608-438-7625



CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE WILL BE PLACED IN A FILTER MESH FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
2. SET SPACING OF CHECK DAM TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE CHECK DAM IS AT THE SAME ELEVATION AS THE TOE OF THE UPSTREAM DAM.
3. EXTEND THE TOE OF THE CHECK DAM AT LEAST 15 FEET BEYOND THE DITCH BANKS TO PREVENT THE CHECK DAM FROM SCOUR AND EROSION.
4. CHANNEL DRAINAGE OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM BRANISH AREA 2 ACRES.

CHECK DAM



CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHAL BE USED AS A 40-60 BURLAP MAY BE USED FOR SHORT TERM APPLICATION.
2. CUT FABRIC FOR A CONTINUOUS JUINION, IF NECESSARY, USE STAKE AND STAKE METAL WITH A MINIMUM LENGTH OF 3 FEET.
3. STAKE MATERIALS WILL BE STANDARD 2" X 4" WOOD OR EQUIVALENT.
4. FILTER CLOTH SHALL BE PLACED 12 INCHES APART AND DRIVE IN A SIGHT LINE DIRECTION, 12 INCHES APART AND DRIVE IN A SIGHT LINE DIRECTION.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED IT SHALL BE SECURELY FASTENED TO THE FRAME.
6. FILTER FABRIC SHALL BE PLACED AROUND THE CREST OF THE CHECK DAM.
7. FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
8. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
9. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE, IF PIPING IS IMPRACTICAL, A MESH FILTER CLOTH SHALL BE USED AS A FILTER MESH.
10. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC WASHING, DROPPING, OR TRACKING ONTO PUBLIC RIGHT-OF-WAY AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SURFACE WATER DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A SIGHT LINE WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
11. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

FILTER FABRIC DROP INLET PROTECTION

(N.T.S.)

MAXIMUM DRAINAGE AREA 1 ACRE

