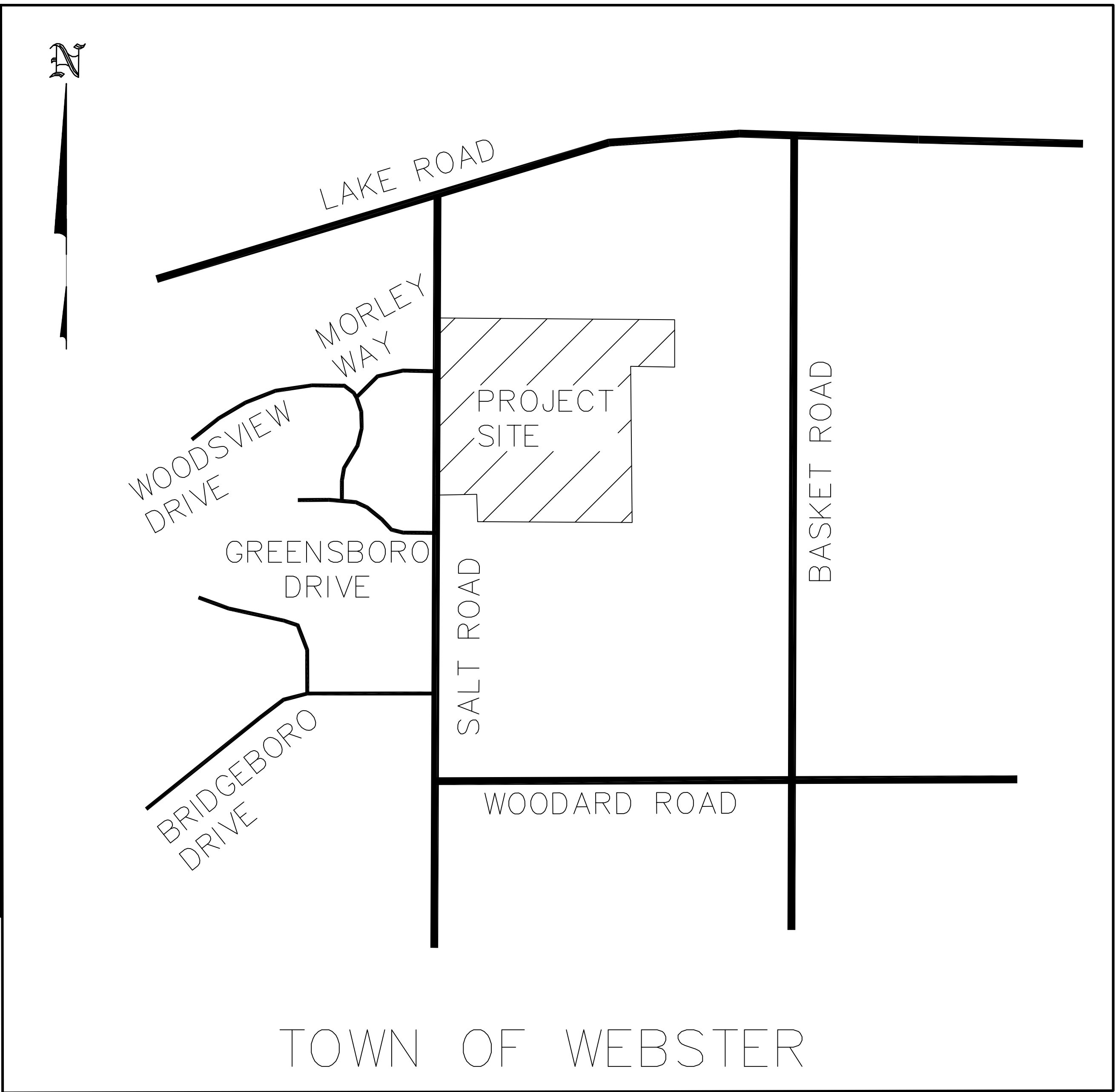


ABERDEEN ESTATES SUBDIVISION

FINAL PHASE 3

TOWN OF WEBSTER
COUNTY OF MONROE
STATE OF NEW YORK



LOCATION SKETCH
N.T.S.

INDEX OF ON-SITE DRAWINGS:

| DRAWING NO. | DRAWING NAME |
|-------------|--------------------------------|
| 1 | COVER SHEET |
| 2 | OVERALL PLAN |
| 3 | PLAT PLAN |
| 4 | UTILITY PLAN |
| 5 | GRADING & EROSION CONTROL PLAN |
| 6 | PROFILES |
| 7 - 9 | DETAILS & NOTES |

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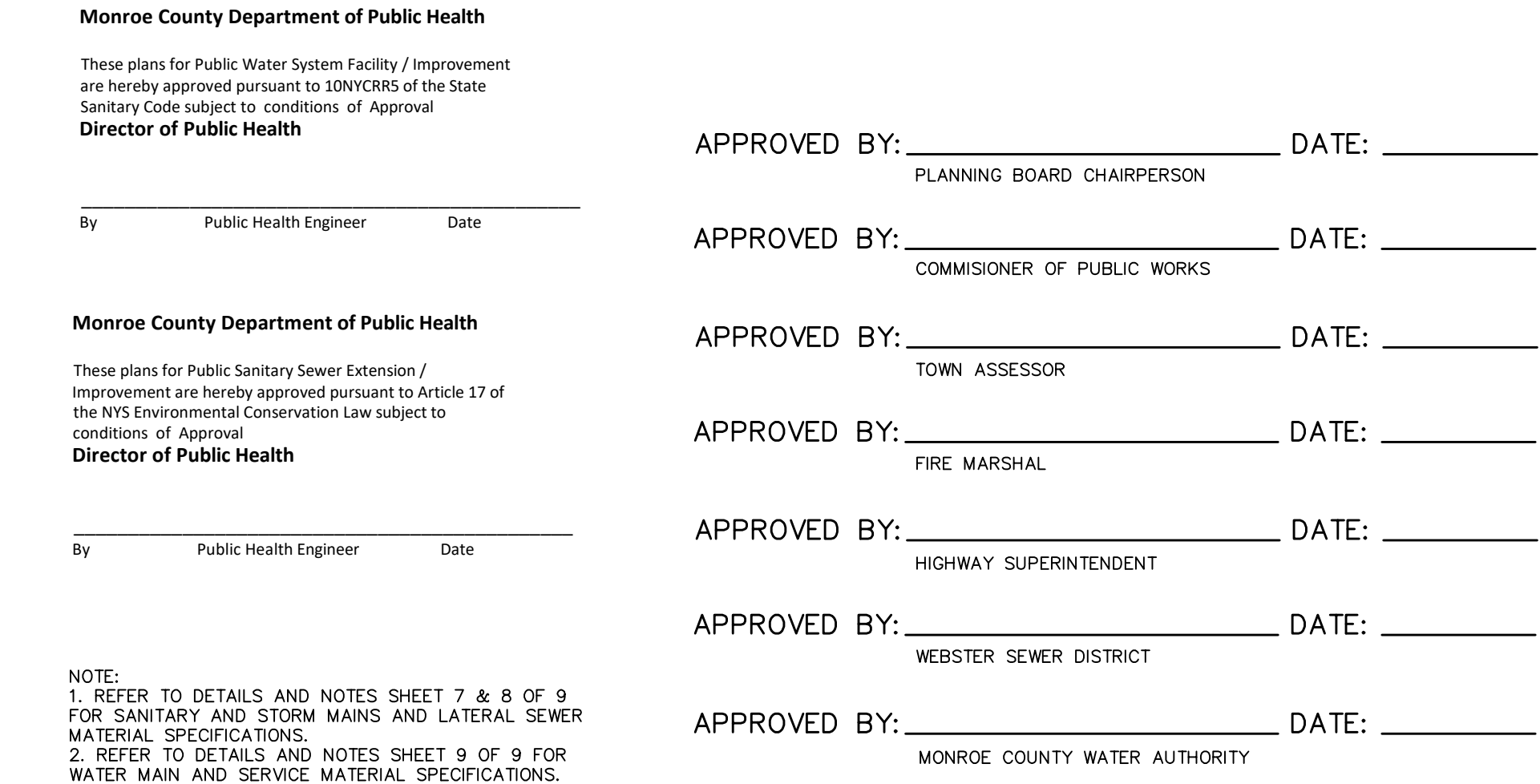



PREPARED FOR:
FOREST CREEK EQUITY CORP.
3240 CHILI AVENUE
ROCHESTER, N.Y. 14624

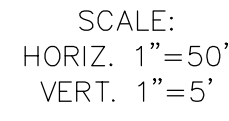
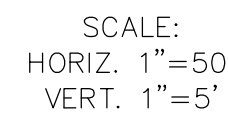
2394 Ridgeway Avenue, Suite 201, Rochester, New York 14626
ph. 585-271-5230 fax 585-271-3488

DSBEngineers and
Architects, P.C.

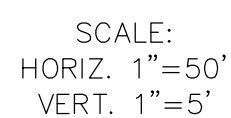
| | | | | | | |
|--|----------------|------------------|-----------------|-------------|--------------|-----------------|
| FINAL PHASE 2 | | | | | | |
| CLIENT FOREST CREEK EQUITY CORP. 3240 CHILI AVENUE ROCHESTER, N.Y. 14624 | | | | | | |
| PROJ. NO. | DWG. BY | DESIGN BY | APPROVED | DATE | SCALE | DWG. NO. |
| 21-12034 | NFS | WFR | NFS | 01/13/26 | 1"=50' | X OF 9 |



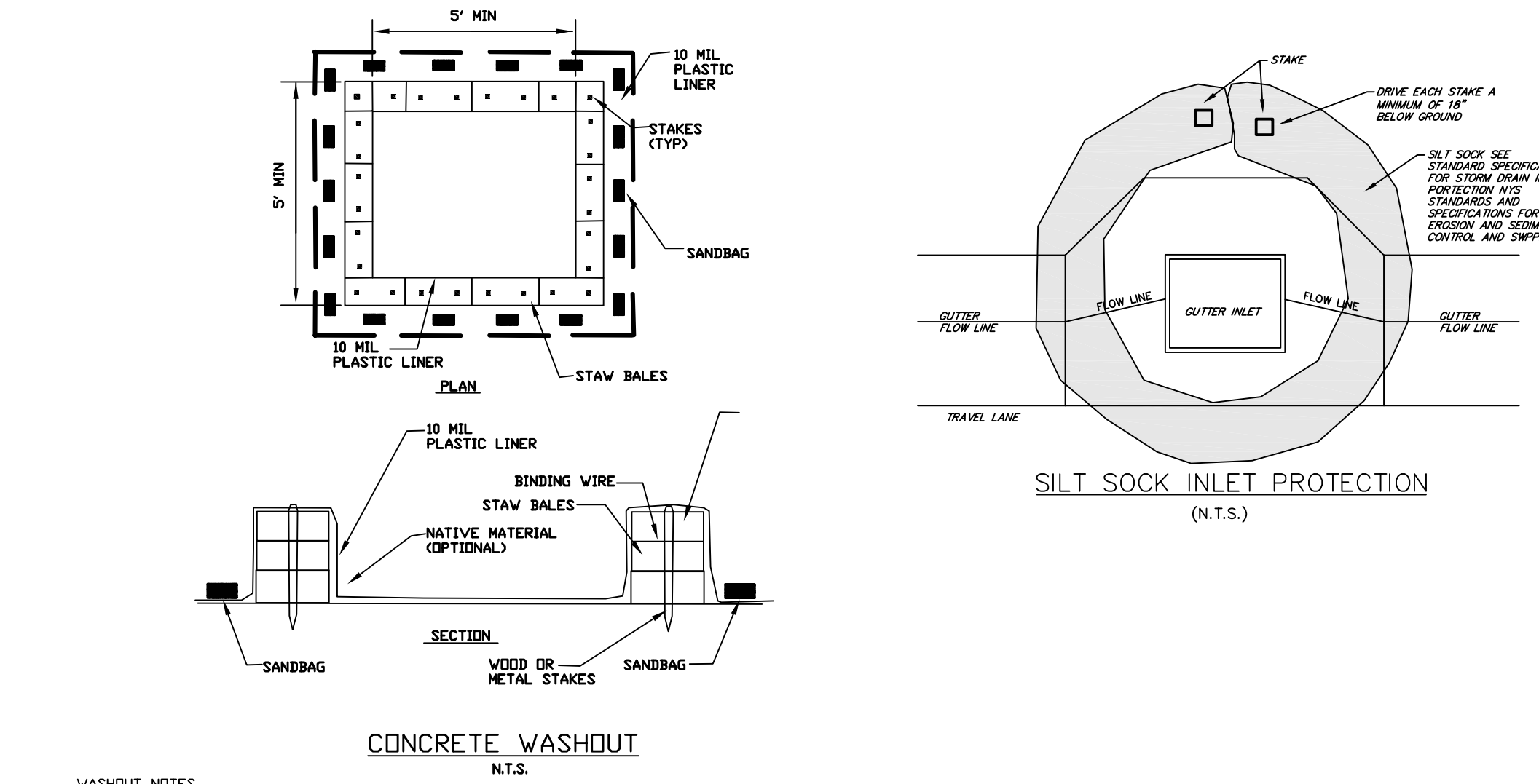
| | | | | | | | | |
|-----------------|----------------|------------------|---|---|--------------|------------------|--|--|
| NO. | REVISION | DATE |  | <div><div><div>DSB Engineers and Architects, P.C.</div><div>5204 Ridgeway Normal, Suite 301, Rochester, New York 14608 ph. (910) 971-5230 fax (910) 971-9489</div></div></div> | | | | |
| | | | | <div><div>PROJECT</div><div>ABERDEEN ESTATES SUBDIVISION PART OF TOWNSHIP 14, RANGE 4 OF THE FIRST CORHAM PURCHASER, TOWN OF WEBSTER, MONROE COUNTY, NEW YORK</div></div> | | | | |
| | | | | <div><div>DRAWING TITLE</div><div>UTILITY PLAN FINAL PHASE 3</div></div> | | | | |
| | | | | <div><div>CLIENT</div><div>FORDIST CREEK EIGHTY CORP. 3540 CHILL AVENUE ROCHESTER, N.Y. 14624</div></div> | | | | |
| | | | | | | | | |
| DRAWN BY | CHK. BY | DESIGN BY | APPROVED | DATE | SCALE | SPEC. NO. | | |
| 21-12034 | N.E.S. | N.F.B. | D.E.S. | 01/13/78 | 1"=50' | 4 OF 9 | | |



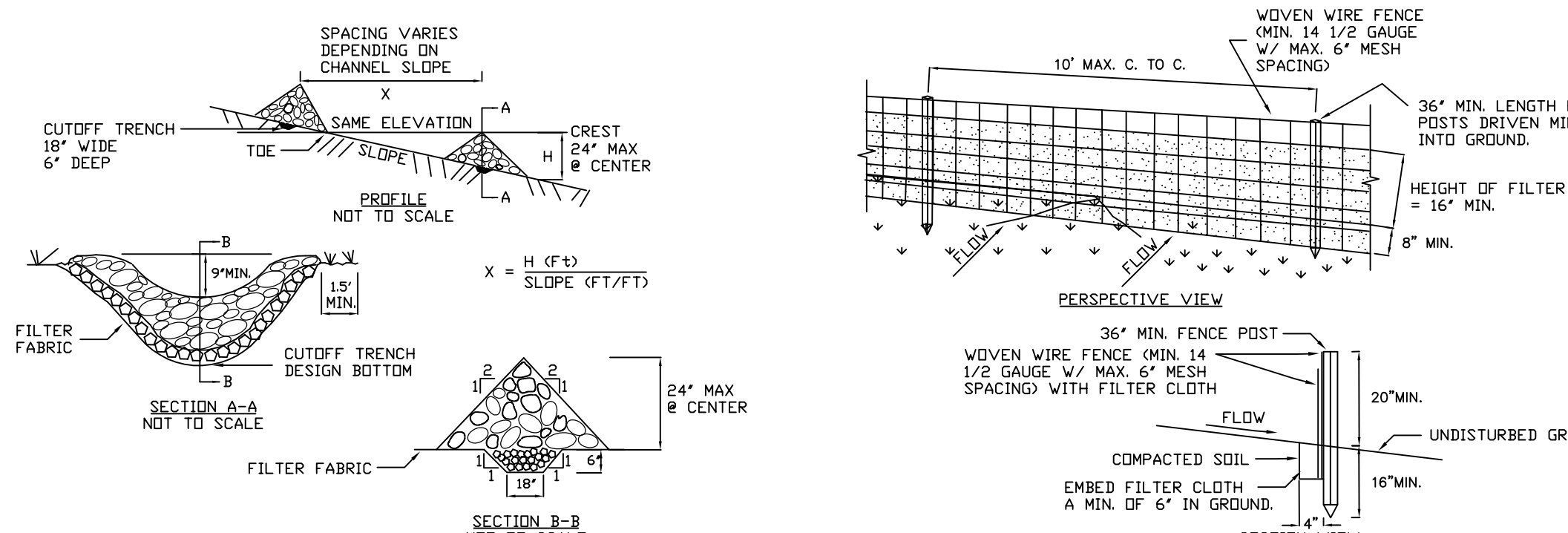
SCALE:
HORIZ. 1"=50'
VERT. 1"=5'



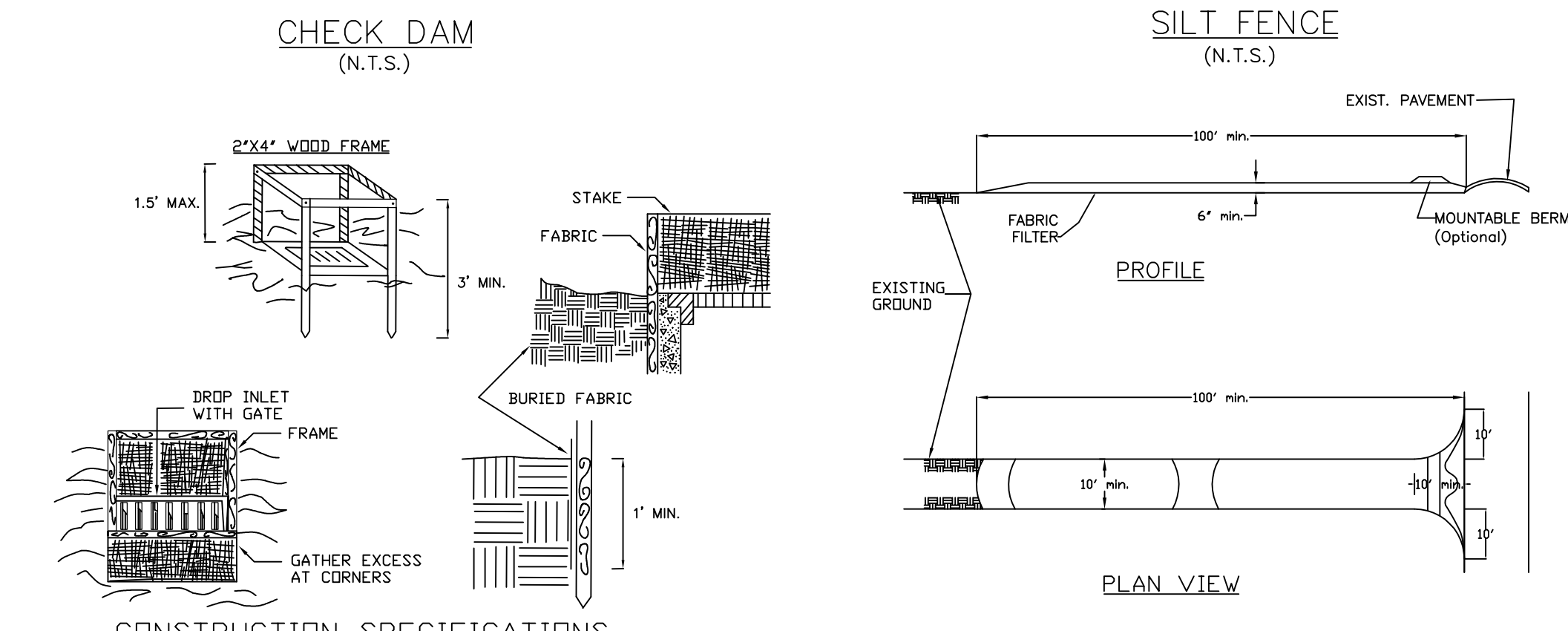
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| 21-12034 | N.E.S. | W.F.B. | D.E.S. | 01/13/26 | AS NOTED | 6 OF 9 |



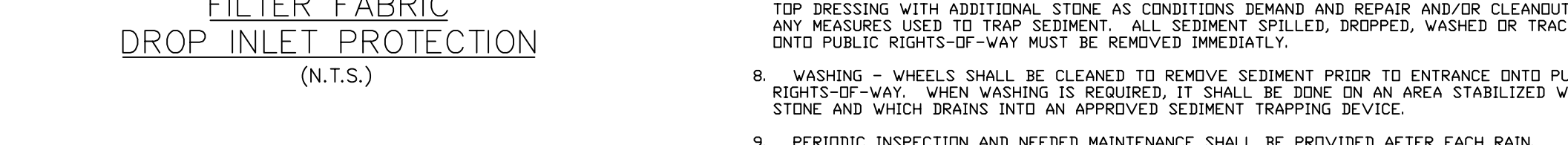
- WASHOUT NOTES**
1. NO WASHING OUT OF CONCRETE TRUCKS OR WASHING OF SURFACES FROM EXPOSED AGGREGATE CONCRETE INTO STORM DRAINAGE, OPEN DITCHES, STREETS OR STREAMS IS ALLOWED. EXCESS CONCRETE IS NOT ALLOWED TO BE SHIPPED ON-SITE, EXCEPT IN RESIDENTIAL TEMPORARY CONCRETE WASHOUT PIT AREAS.
 2. ON-SITE TEMPORARY CONCRETE WASHOUT AREAS WILL BE LOCATED AT LEAST 50 FEET FROM STORM DRAINAGE, OPEN DITCHES, OR WATER BODIES AS DETERMINED BY THE TOWN ENGINEER. TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE TOWN ENGINEER'S REQUIREMENTS.
 3. WASHOUT FACILITIES WILL BE CLEANED OUT OR REPLACED ONCE THE WASHOUT IS 75% FULL.
 4. PLASTIC LINING MATERIAL IS NOT REQUIRED FOR WASHOUTS. THE HARDENED CONCRETE WILL BE REMOVED AND DISPOSED OF OFF-SITE. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE REMOVED FROM THE SITE AND DISPOSED OF.



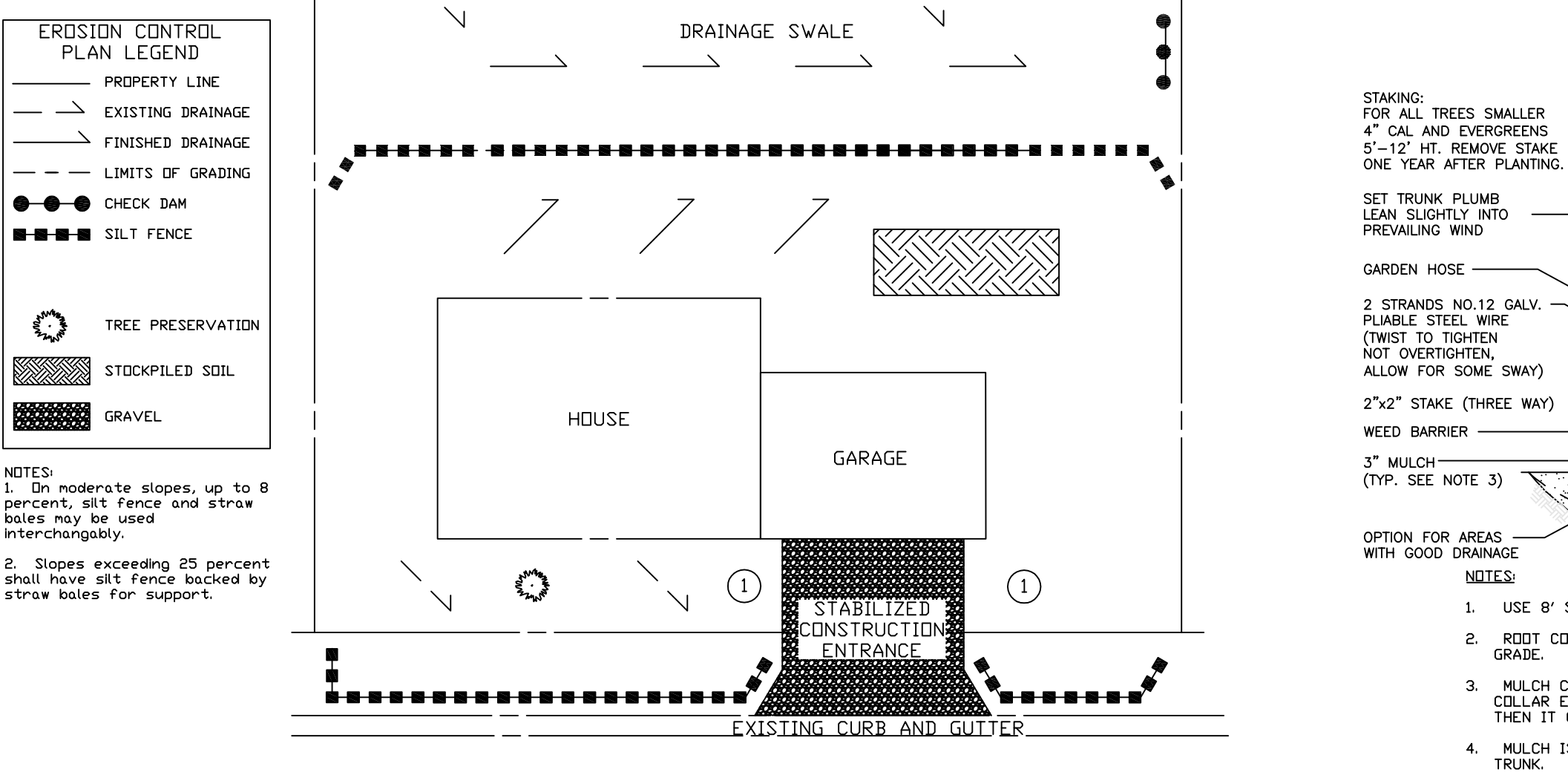
- CONSTRUCTION SPECIFICATIONS**
1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES.
 2. SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TIDE OF THE UPSTREAM DAM.
 3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
 4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 5. ENSURE THAT CHANNEL APERTURES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM DRAINAGE AREA 2 ACRES.



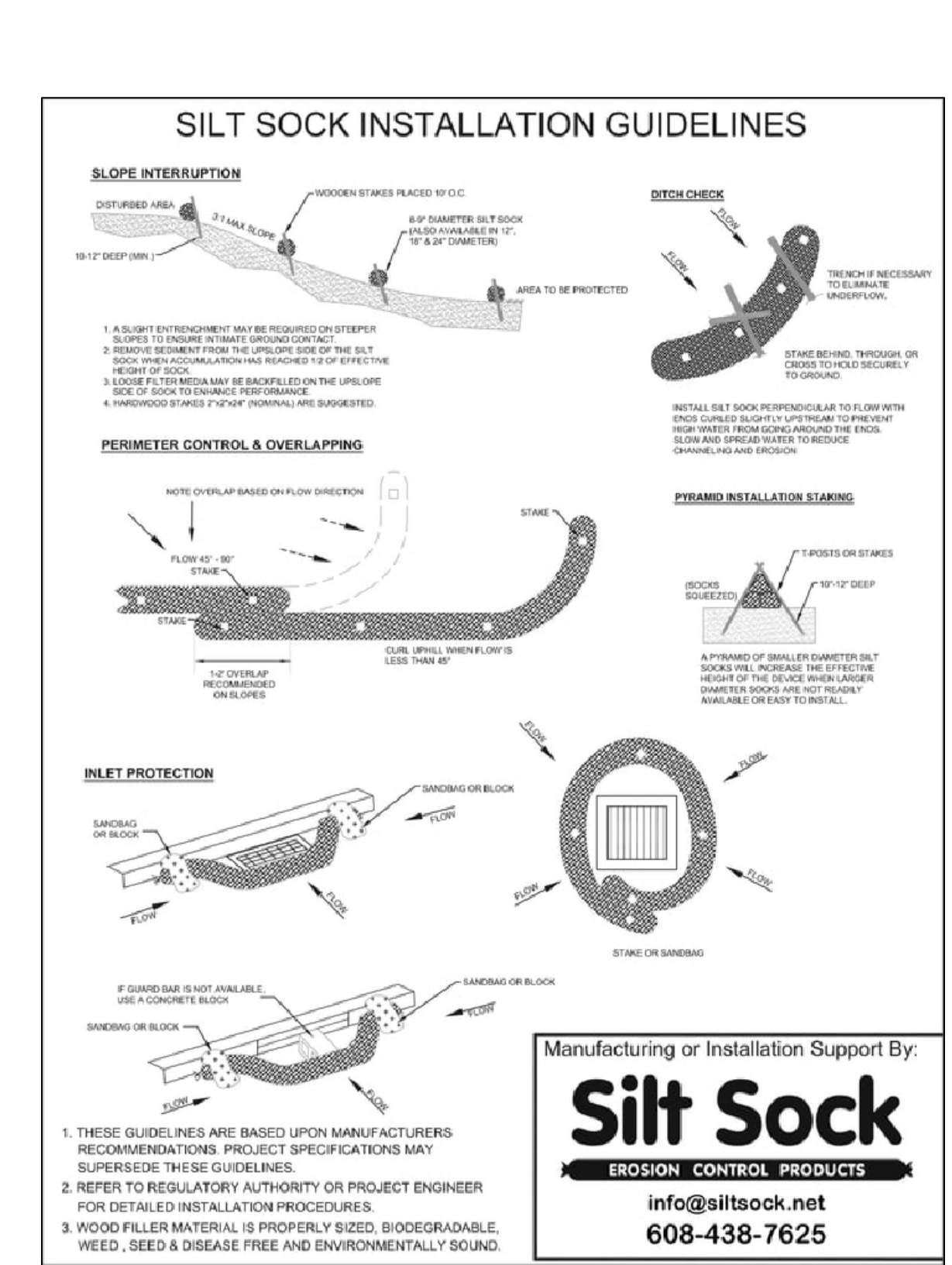
- CONSTRUCTION SPECIFICATIONS**
1. FILTER FABRIC SHALL HAVE AN ESD OF 40-65. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
 2. CUT FABRIC FROM CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 3. STAKE MATERIALS SHALL BE 2" X 4" V-VOID OR EQUIVALENT.
 4. STAKE STAKES SHALL BE DRIVEN INTO THE FILL AREA AND ONLY DRIVEN WITH THE USE OF A JAKE W/SH BEHIND THE FILTER FABRIC OR JORDON.
 5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED WITH STONE OR EQUIVALENT.
 6. A 2" X 4" V-VOID FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.



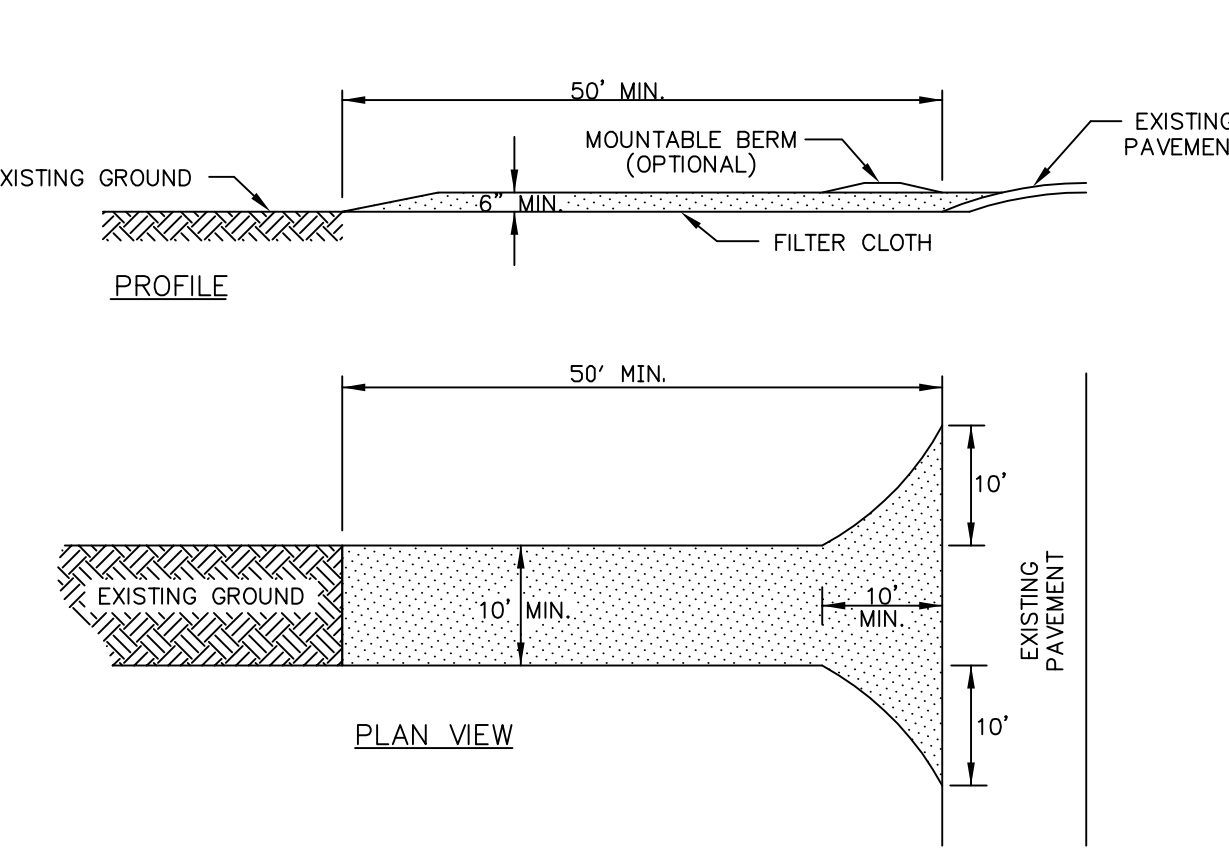
- CONSTRUCTION SPECIFICATIONS**
1. STONE SIZE - 83 AND 84 STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 100 FEET EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TEN (10) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INCREASE OR DECREASE OCCUR.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
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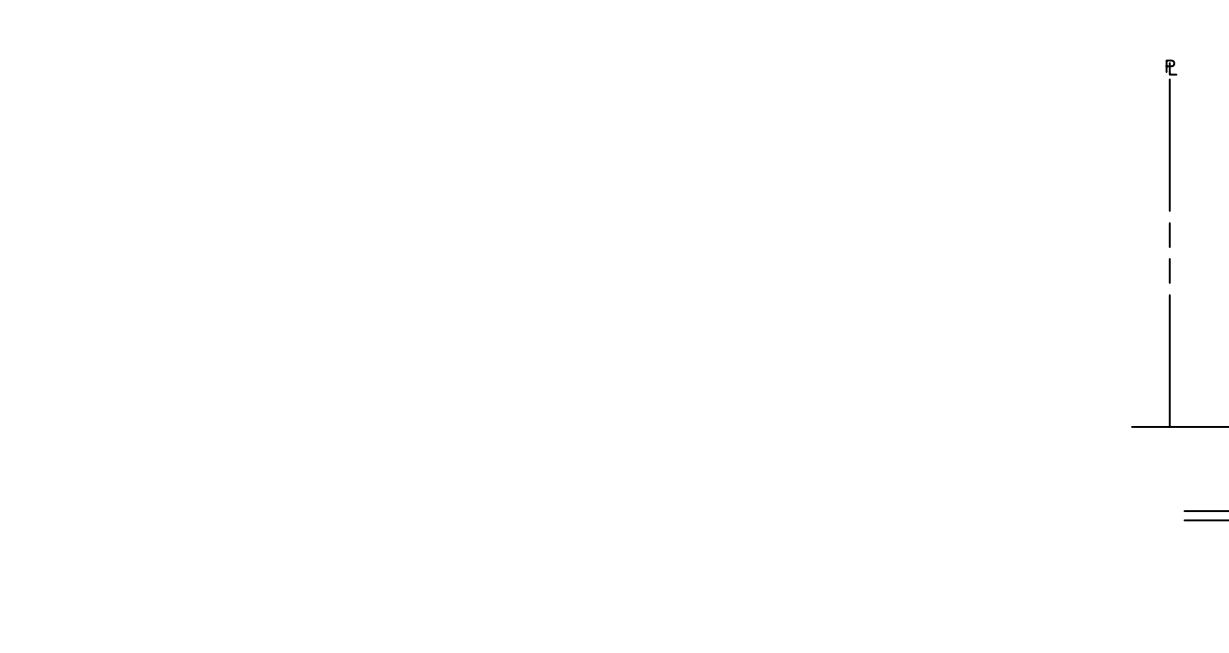
Manufacturing or Installation Support By:
Silt Sock
EROSION CONTROL PRODUCTS
info@siltsock.net
608-436-7625



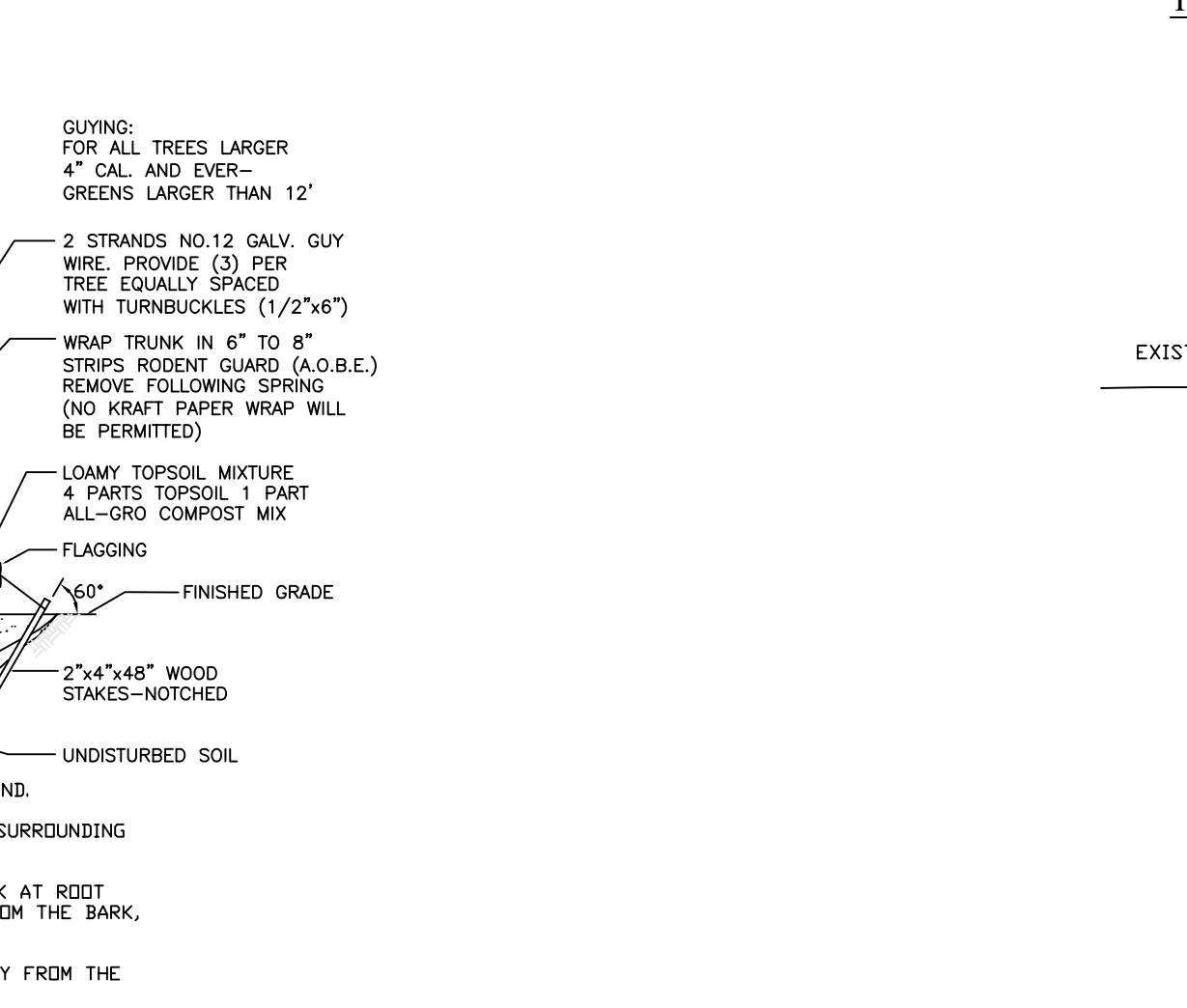
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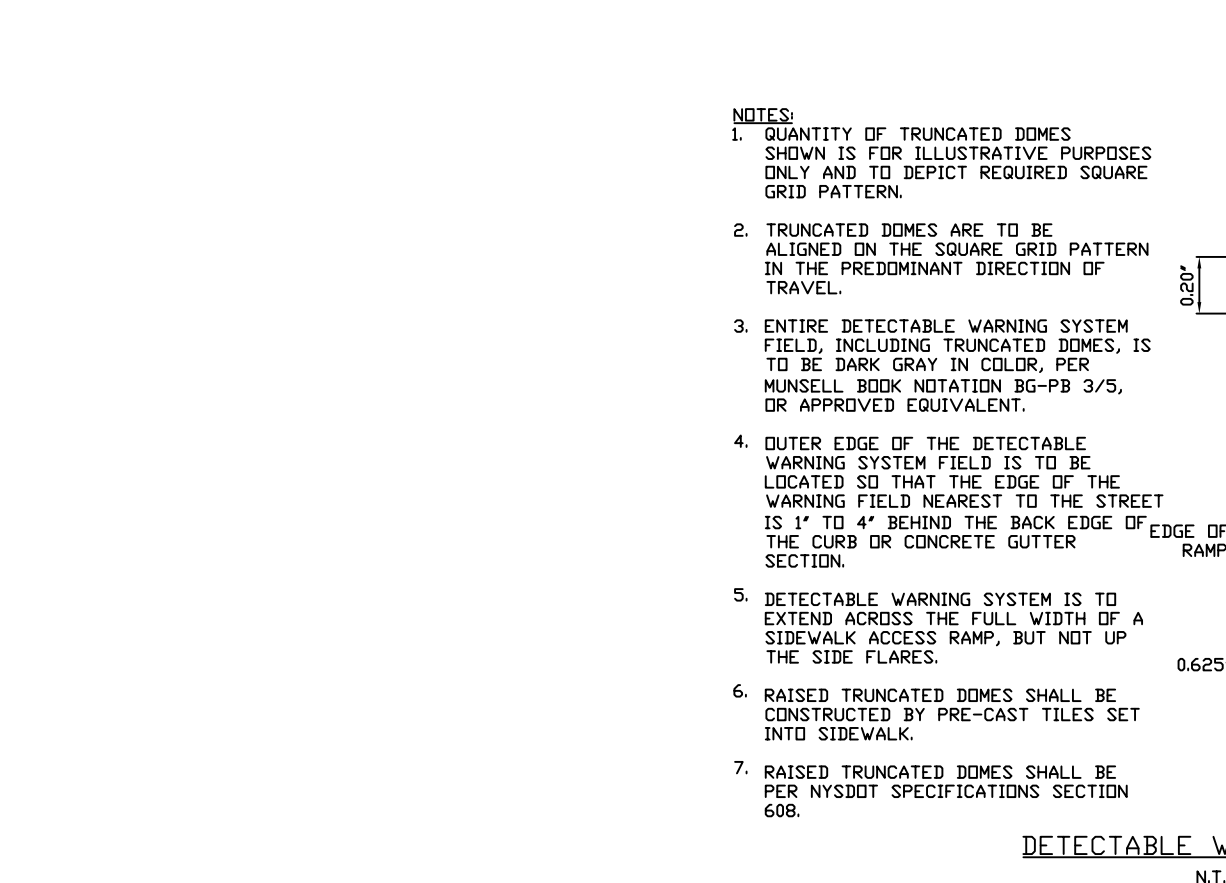
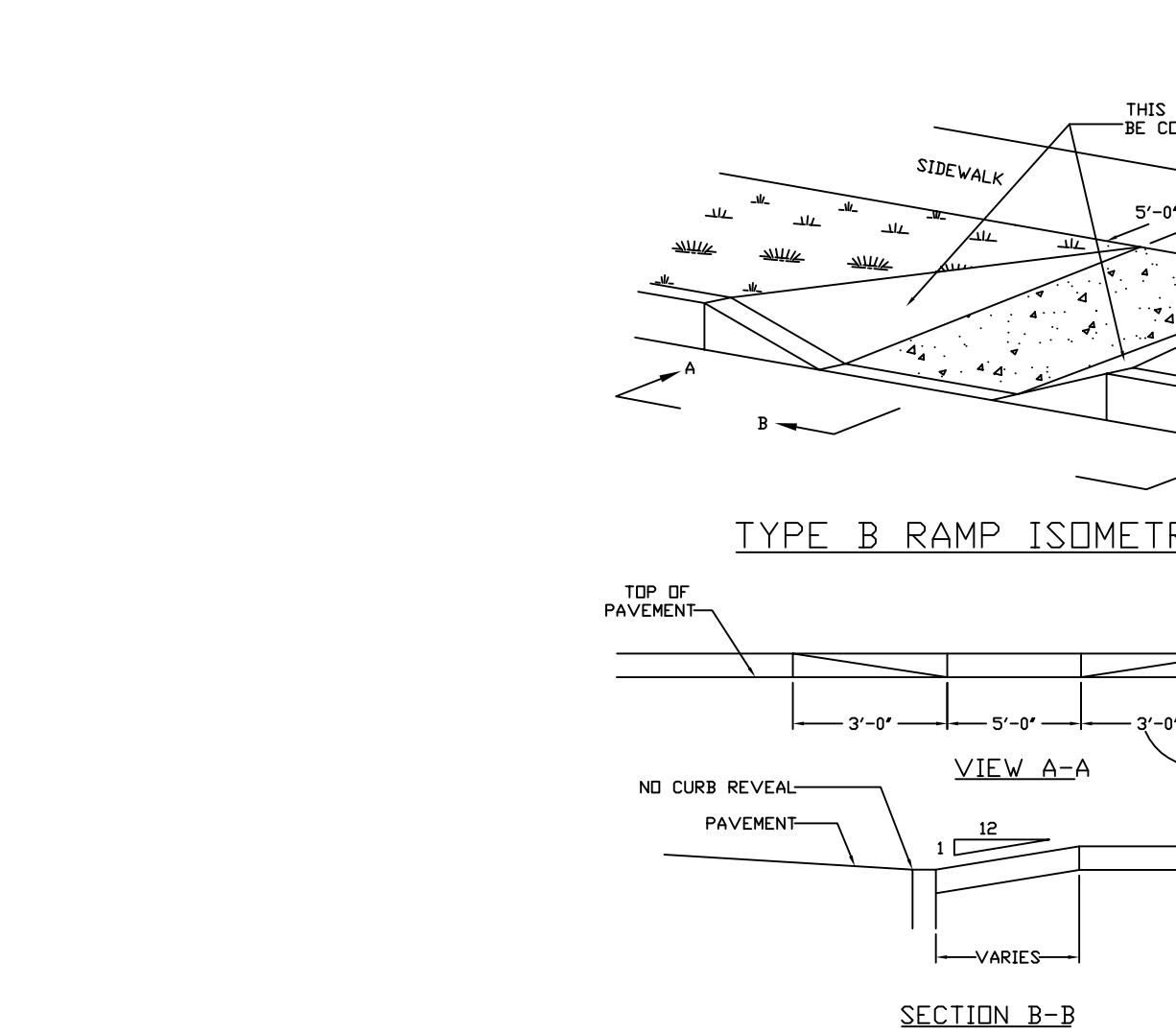
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NOTE: SAN, CLEANDUTS AND STORM CLEANDUTS TO BE LOCATED AT R.O.W. OR EASEMENT LINE. WHENEVER 3' OR GREATER, EXTEND SERVICES IF PASS R.O.W. OR EASEMENT.



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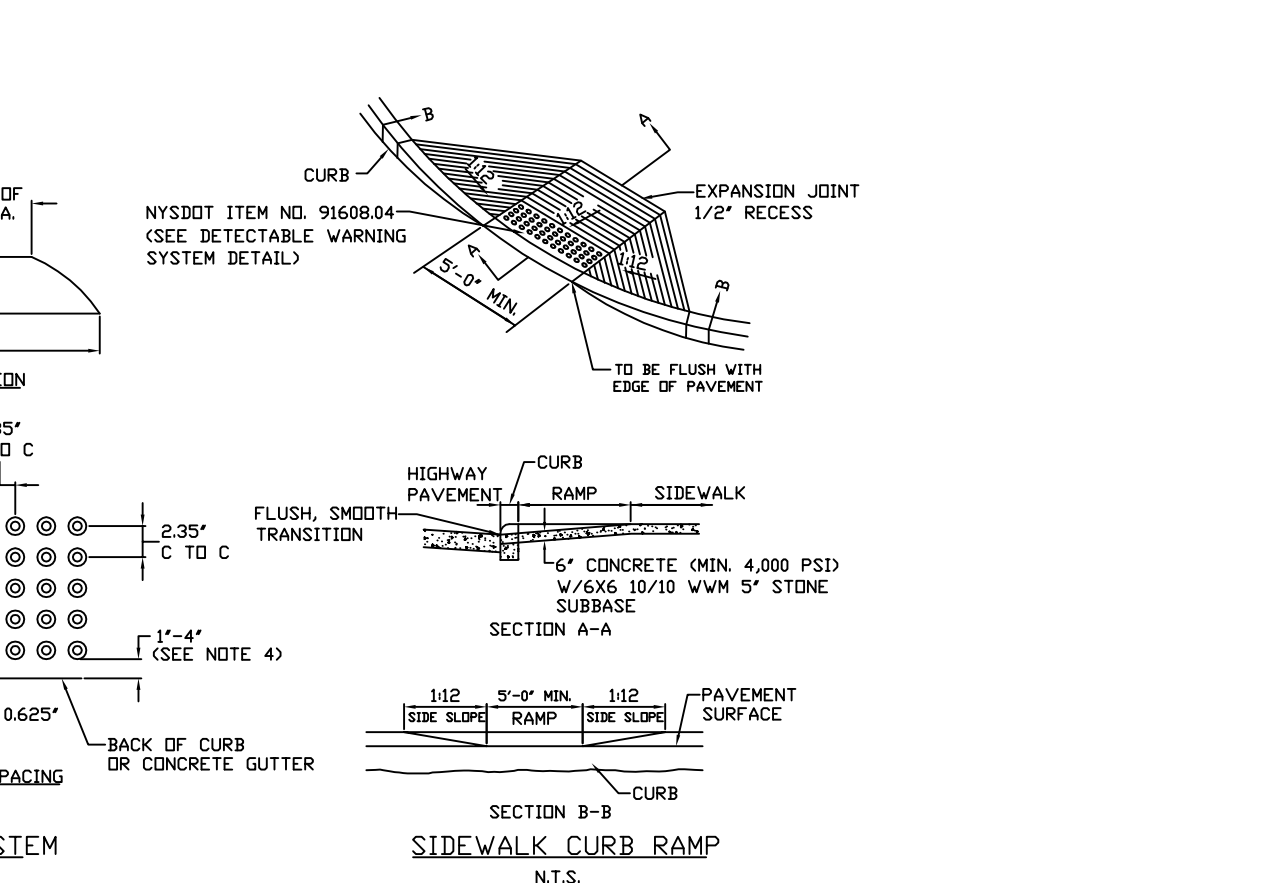
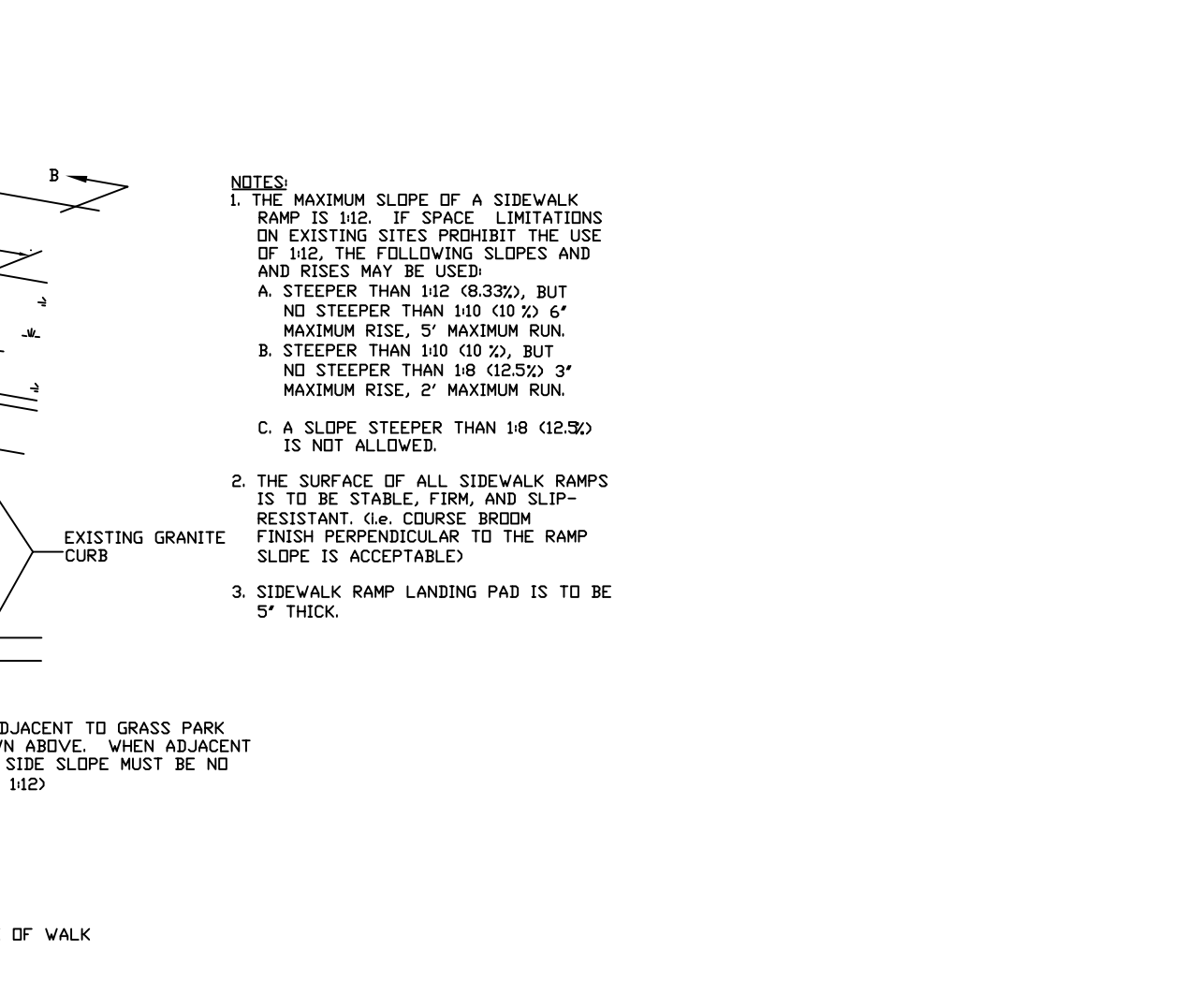
- STORM SEWER NOTES**
1. ALL WORK AND MATERIAL FOR THIS PROJECT SHALL CONFORM TO THE TOWN OF WEBSTER STORM SEWER SYSTEM STANDARDS WITH ITS LATEST REVISIONS.
 2. STORM SEWER PIPE TO BE HIGH DENSITY SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE ADS N-12 OR EQUAL.
 3. STORM SEWER PIPE CONNECTING CATCH BASINS SHALL BE 12" HIGH DENSITY SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE ADS N-12 OR EQUAL, OR AS INDICATED ON THE PLAN.
 4. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5% OF THE DEFLECTION TEST IS TO BE RUN USING A ROAD BALL OR MANHOLE. IT SHALL HAVE A DIAMETER EQUAL TO 90% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
 5. STORM LATERAL PIPE SHALL BE 6" PVC SDR-21.
 6. ALL NEW STORM SEWER WILL BE VIDEOATED AFTER 30 DAYS OF COMPLETION OF CONSTRUCTION BY THE CONTRACTOR, AND SHALL BE SUBMITTED TO THE HENRIETTA TOWN ENGINEER FOR REVIEW AND ACCEPTANCE.
 7. THE CONTRACTOR SHALL PROVIDE LOCATION MARKERS TO WHICH NEW LATERALS ARE INSTALLED (END LOCATION).

- SANITARY SEWER NOTES**
1. ALL WORK AND MATERIAL FOR THIS PROJECT SHALL CONFORM TO THE TOWN OF WEBSTER SANITARY SEWER SYSTEM STANDARDS WITH ITS LATEST REVISIONS.
 2. SANITARY SEWER MAINS ARE TO BE POLYVINYL CHLORIDE (P.V.C.) SDR-35, UNLESS DEPTHS EXCEED 12" INWHICH CASE SDR-41.
 3. SANITARY SEWER LATERALS FOR THE SINGLE FAMILY HOMES ARE TO BE P.V.C. SDR-21 OR SDR-40 AND SHALL EXTEND ELEVEN (11) FEET BEYOND THE R.O.W. OR EASEMENT LINE, WHICHEVER IS GREATER.
 4. MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER LINEAL FOOT PER DAY FOR THE SANITARY SEWER. IF ALL ARE TEST IS USED, THE TEST IS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C828-86 ENTITLED PRACTICE FOR PRE-PRESSURE AIR TEST OF UNIFIED PIPE LINES. SANITARY SEWER SHALL BE TESTED AS USUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED).
 5. FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS, DO NOT INCLUDE FOUNDATION DRAINS. IF ALL ARE TEST IS USED, THE TEST IS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C828-86 ENTITLED PRACTICE FOR PRE-PRESSURE AIR TEST OF UNIFIED PIPE LINES. SANITARY SEWER SHALL BE TESTED AS USUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED).
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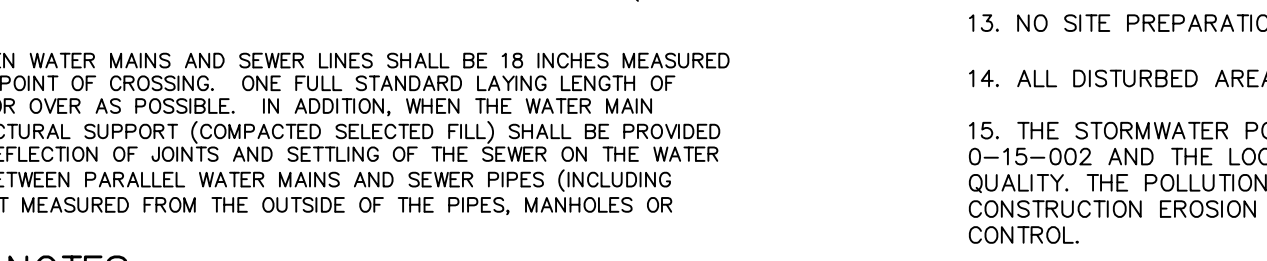
- GENERAL UTILITY NOTES**
1. LOCATION OF EXISTING UTILITIES INCLUDING UTILITIES SHOWN ON THE DRAWINGS ARE INTENDED FOR GENERAL INFORMATION ONLY.
 2. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. EXPLORATORY EXCAVATION SHALL BE MADE SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO THE PLAN TO MEET THE EXISTING CONDITIONS. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN ON THE PLAN AND ANY OTHER LINES NOT SHOWN OR OF RECORD. ANY EXPENSE DUE TO THE LOSS OF UTILITIES SHALL BE AT THE CONTRACTOR'S EXPENSE.
 3. ALL THICKNESS SHOWN ON THE DETAILS ARE COMPACTED.
 4. EROSION AND SEDIMENT CONTROL MEASURES AND SEQUENCE OF IMPLEMENTATION SHALL FOLLOW THE LATEST NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
 5. ALL UTILITIES SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO EXCAVATION, CALL BEFORE YOU DIG OR EQUIVALENT FACILITY PROTECTION ORGANIZATION UTILITY COORDINATION COMMITTEE 1-800-982-7982.

- SITE GENERAL NOTES:**
1. ALL THE IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATION OF THE TOWN OF WEBSTER.
 2. ALL ROADWAY CONSTRUCTION TO BE IN ACCORDANCE WITH THE SPECIFICATION AND REGULATIONS SET FORTH BY THE TOWN OF WEBSTER AND M.C.D.O.T.
 3. ALL SITE WORK IS TO BE IN COMPLIANCE WITH THE STANDARDS OF THE TOWN OF WEBSTER.
 4. THE PRESERVATION OF ALL THE MATURE TREES ON THE SITE WHERE POSSIBLE AND THE MARKING OF SAID TREES BY THE DEVELOPER'S ENGINEER OF TREES TO BE REMOVED PRIOR TO THE COMMENCING OF ANY SITE WORK.
 5. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS OF THE STATE, COUNTY AND TOWN AGENCY.
 6. ANY AND ALL COSTS RELATED TO THE RELOCATION OF UTILITIES NECESSITATED BY THIS PROJECT SHALL BE BORNE BY THE INDIVIDUAL AND/OR THE UTILITY COMPANY REQUESTING THE RELOCATION.
 7. A RECORD UTILITY PLAN SHALL BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT. THIS PLAN SHALL INDICATE ALL UTILITY IMPROVEMENTS INCLUDING WATER VALVES, HYDRANTS AND MANHOLES, PIPE RINGS AND SUBSIDIARIES SUCH AS GUTTERS, CURBS, ETC. IN ACCORDANCE WITH THE TOWN'S RECORD DRAWING REQUIREMENTS FOR UTILITIES. INDIVIDUAL LOT UTILITY SERVICE MAPS SHALL BE PROVIDED TO THE TOWN'S ENGINEERING DEPARTMENT. EACH MAP SHALL INDICATE STAKE LOCATIONS FOR WATER CURB BOXES AND ALL LATERAL CLEANDUTS.
 8. HYDRANTS MUST BE INSTALLED AND FLOW-TESTED BEFORE HOUSE WOOD FRAMING CONSTRUCTION IS TO COMMENCE. FLOW TESTS SHALL COMPLY WITH THE SPECIFICATIONS OF THE INSURANCE SERVICES OFFICE TO PROVIDE AN A-RATING.
 9. NO HOUSE WOOD FRAMING CONSTRUCTION IS TO COMMENCE UNTIL AN APPROVED ROADWAY BASE CAPABLE OF CARRYING THE WEIGHT OF FIRE APPARATUS IS INSTALLED.
 10. ALL IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF HENRIETTA AND/OR MONROE COUNTY HEALTH DEPARTMENT.
 11. EXISTING UTILITY LOCATIONS ARE APPROPRIATE. CONTRACTOR SHALL CALL FOR STAKE OUT OF ALL UTILITIES BEFORE COMMENCING WORK.
 12. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS REQUIRED TO MEET EXISTING CONDITIONS.
 13. ALL COSTS RELATED TO THE RELOCATION OF EXISTING UTILITIES NECESSITATED BY THIS PROJECT SHALL BE BORNE BY THE INDIVIDUAL REQUESTING THE RELOCATION AND/OR THE UTILITY COMPANY. ALL UTILITIES WILL BE INSTALLED UNDERGROUND.
 14. ROOF RUNOFF LEADERS SHALL DISCHARGE AWAY FROM ADJOINING PROPERTIES.
 15. OWNER/DEVELOPER IS RESPONSIBLE FOR MAINTENANCE OF EROSION/SILTATION CONTROL DURING CONSTRUCTION AND UNTIL SUCH TIME AS THEIR REMOVAL IS APPROVED BY THE TOWN OR ITS ASSIGNS.
 16. SIDEWALKS SHALL BE INSTALLED PER THE TOWN DETAIL.
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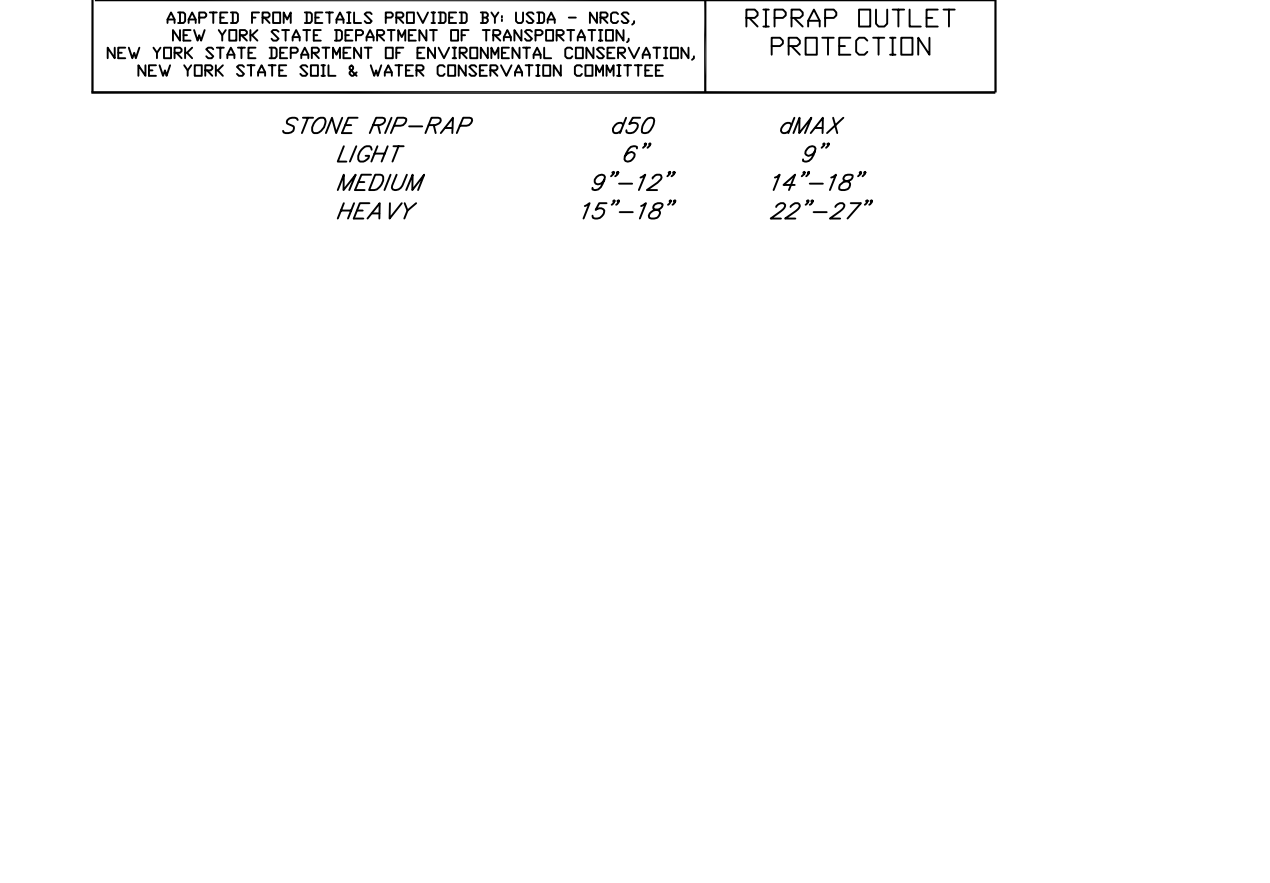
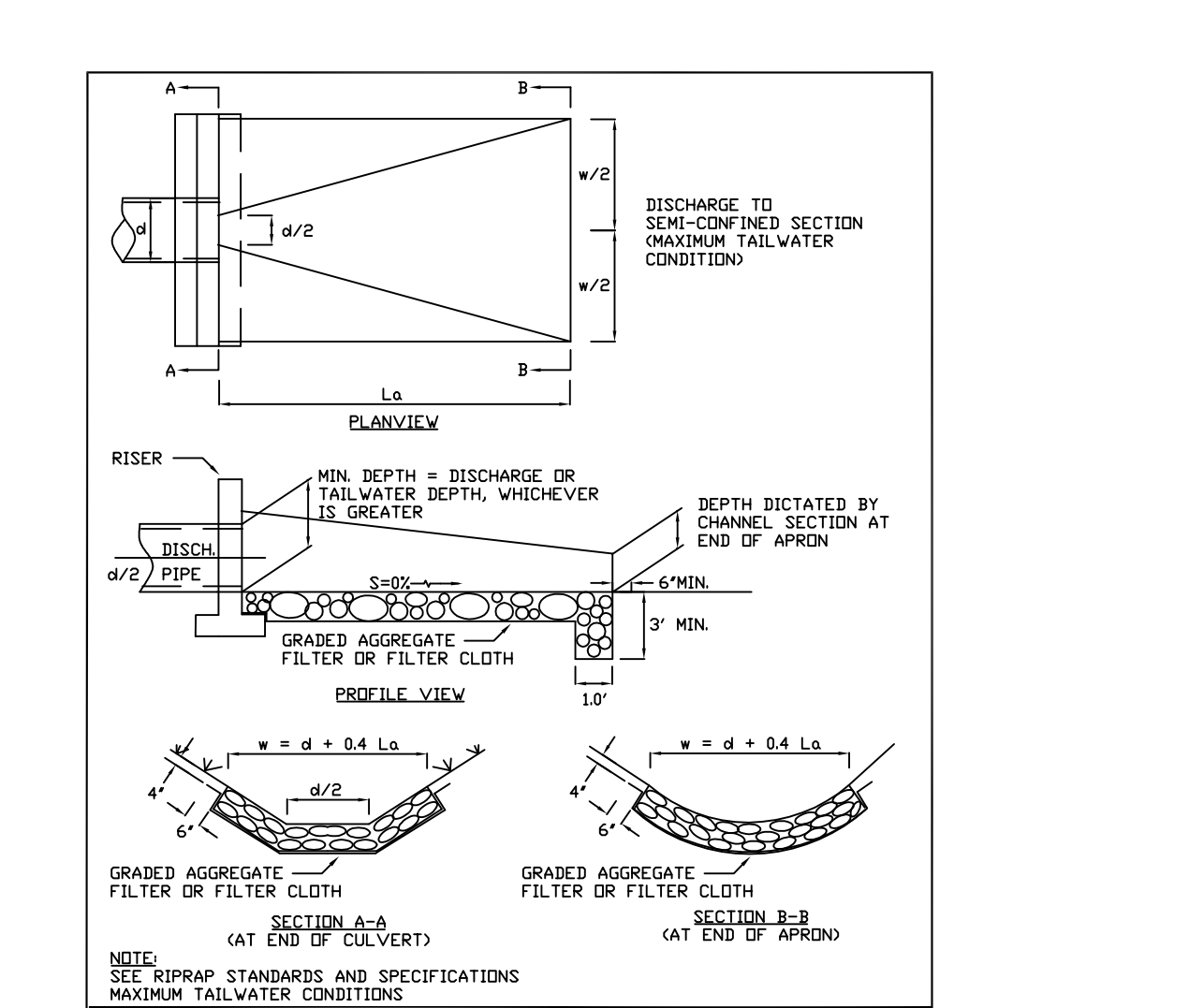
- STORM SEWER NOTES**
1. ALL WORK AND MATERIAL FOR THIS PROJECT SHALL CONFORM TO THE TOWN OF WEBSTER STORM SEWER SYSTEM STANDARDS WITH ITS LATEST REVISIONS.
 2. STORM SEWER PIPE TO BE HIGH DENSITY SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE ADS N-12 OR EQUAL.
 3. STORM SEWER PIPE CONNECTING CATCH BASINS SHALL BE 12" HIGH DENSITY SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE ADS N-12 OR EQUAL, OR AS INDICATED ON THE PLAN.
 4. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5% OF THE DEFLECTION TEST IS TO BE RUN USING A ROAD BALL OR MANHOLE. IT SHALL HAVE A DIAMETER EQUAL TO 90% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
 5. STORM LATERAL PIPE SHALL BE 6" PVC SDR-21.
 6. ALL NEW STORM SEWER WILL BE VIDEOATED AFTER 30 DAYS OF COMPLETION OF CONSTRUCTION BY THE CONTRACTOR, AND SHALL BE SUBMITTED TO THE HENRIETTA TOWN ENGINEER FOR REVIEW AND ACCEPTANCE.
 7. THE CONTRACTOR SHALL PROVIDE LOCATION MARKERS TO WHICH NEW LATERALS ARE INSTALLED (END LOCATION).

- SANITARY SEWER NOTES**
1. ALL WORK AND MATERIAL FOR THIS PROJECT SHALL CONFORM TO THE TOWN OF WEBSTER SANITARY SEWER SYSTEM STANDARDS WITH ITS LATEST REVISIONS.
 2. SANITARY SEWER MAINS ARE TO BE POLYVINYL CHLORIDE (P.V.C.) SDR-35, UNLESS DEPTHS EXCEED 12" INWHICH CASE SDR-41.
 3. SANITARY SEWER LATERALS FOR THE SINGLE FAMILY HOMES ARE TO BE P.V.C. SDR-21 OR SDR-40 AND SHALL EXTEND ELEVEN (11) FEET BEYOND THE R.O.W. OR EASEMENT LINE, WHICHEVER IS GREATER.
 4. MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER LINEAL FOOT PER DAY FOR THE SANITARY SEWER. IF ALL ARE TEST IS USED, THE TEST IS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C828-86 ENTITLED PRACTICE FOR PRE-PRESSURE AIR TEST OF UNIFIED PIPE LINES. SANITARY SEWER SHALL BE TESTED AS USUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED).
 5. FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS, DO NOT INCLUDE FOUNDATION DRAINS. IF ALL ARE TEST IS USED, THE TEST IS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C828-86 ENTITLED PRACTICE FOR PRE-PRESSURE AIR TEST OF UNIFIED PIPE LINES. SANITARY SEWER SHALL BE TESTED AS USUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED).
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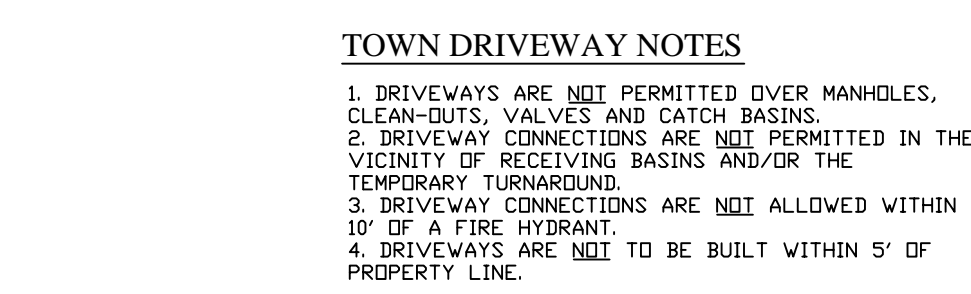
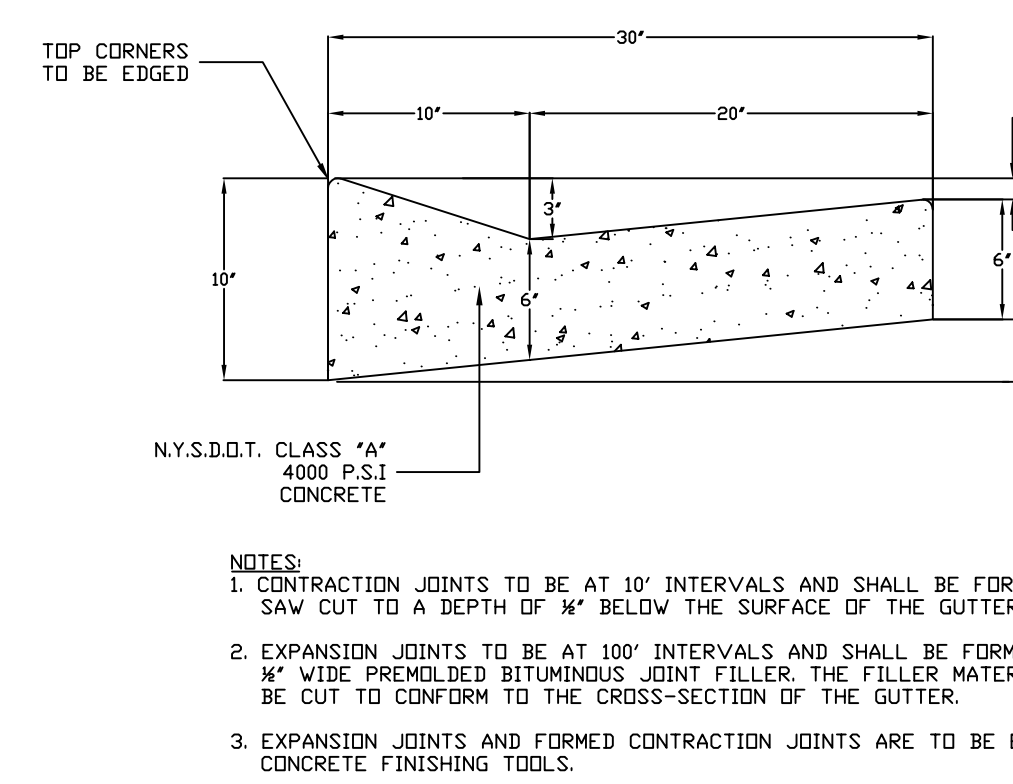
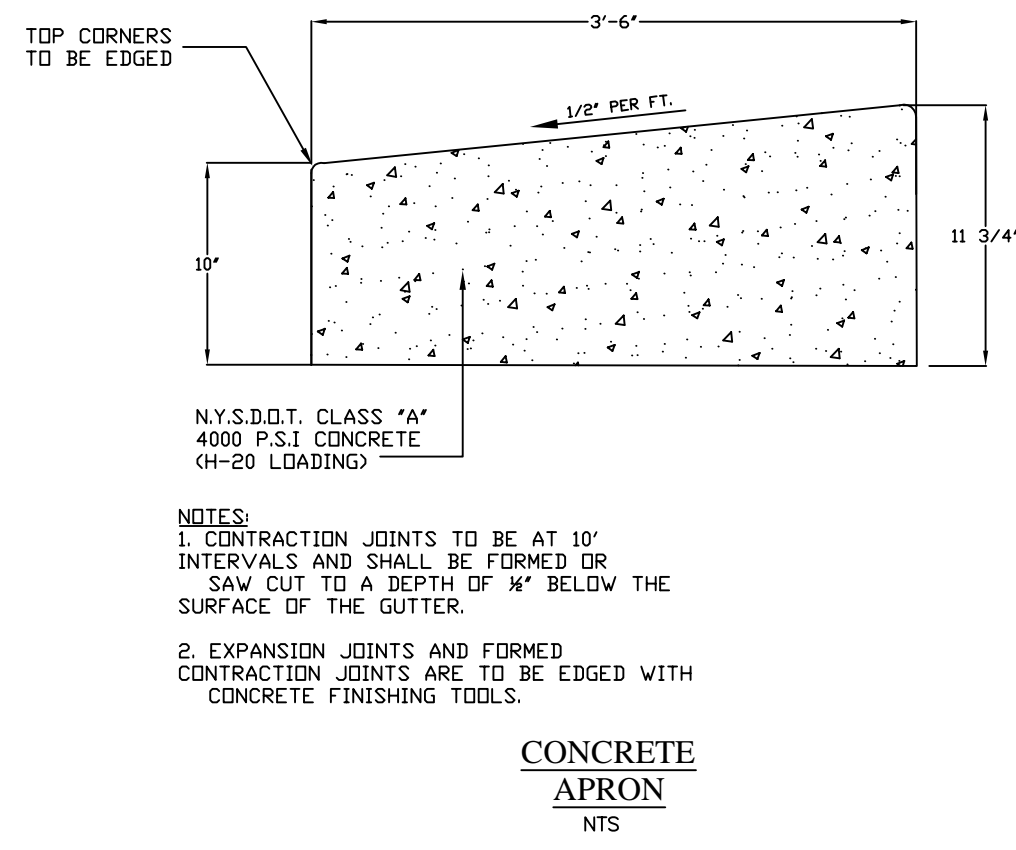
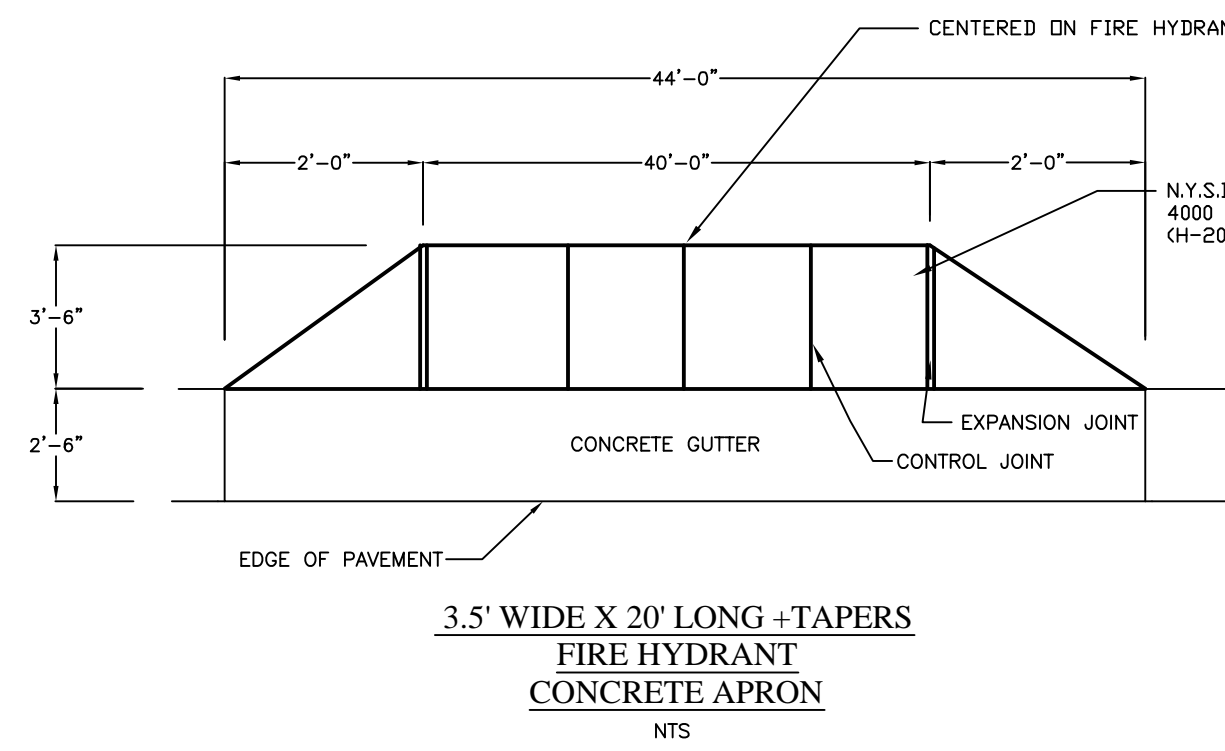
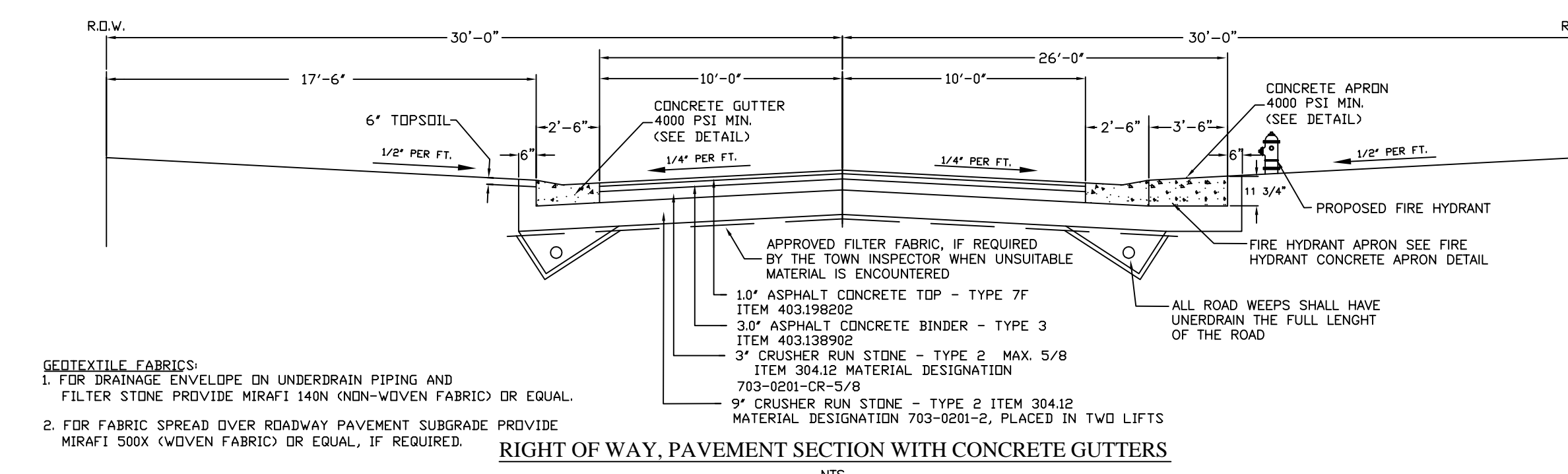
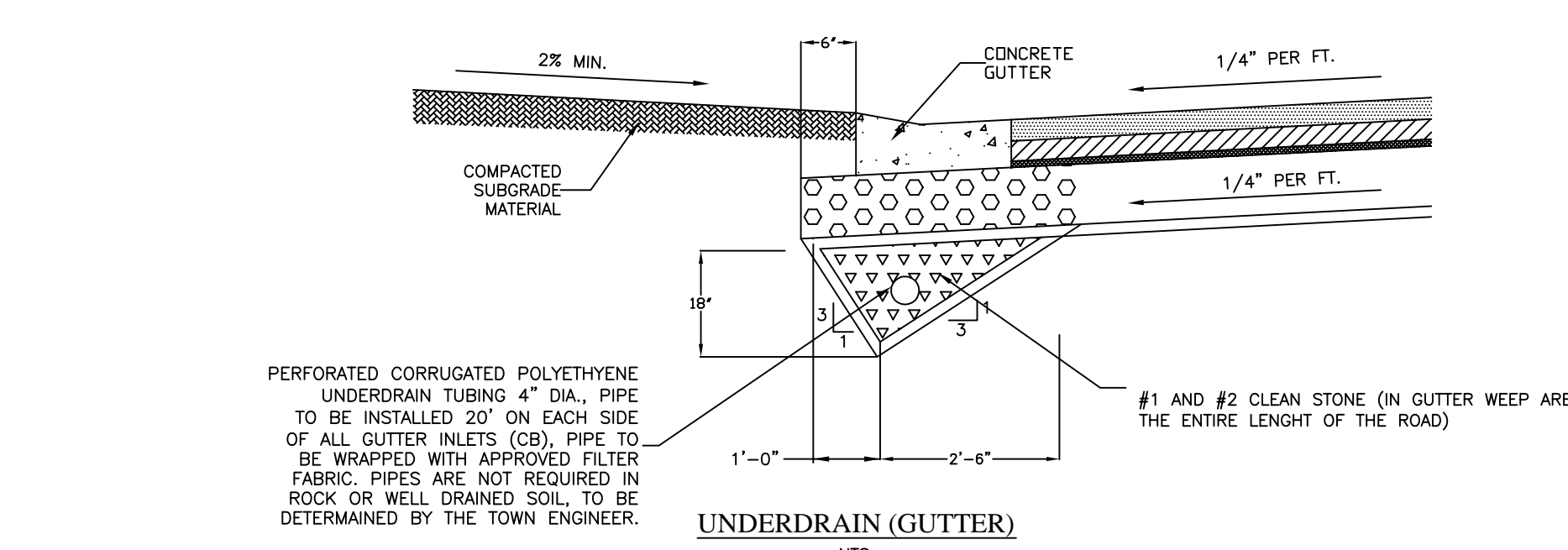
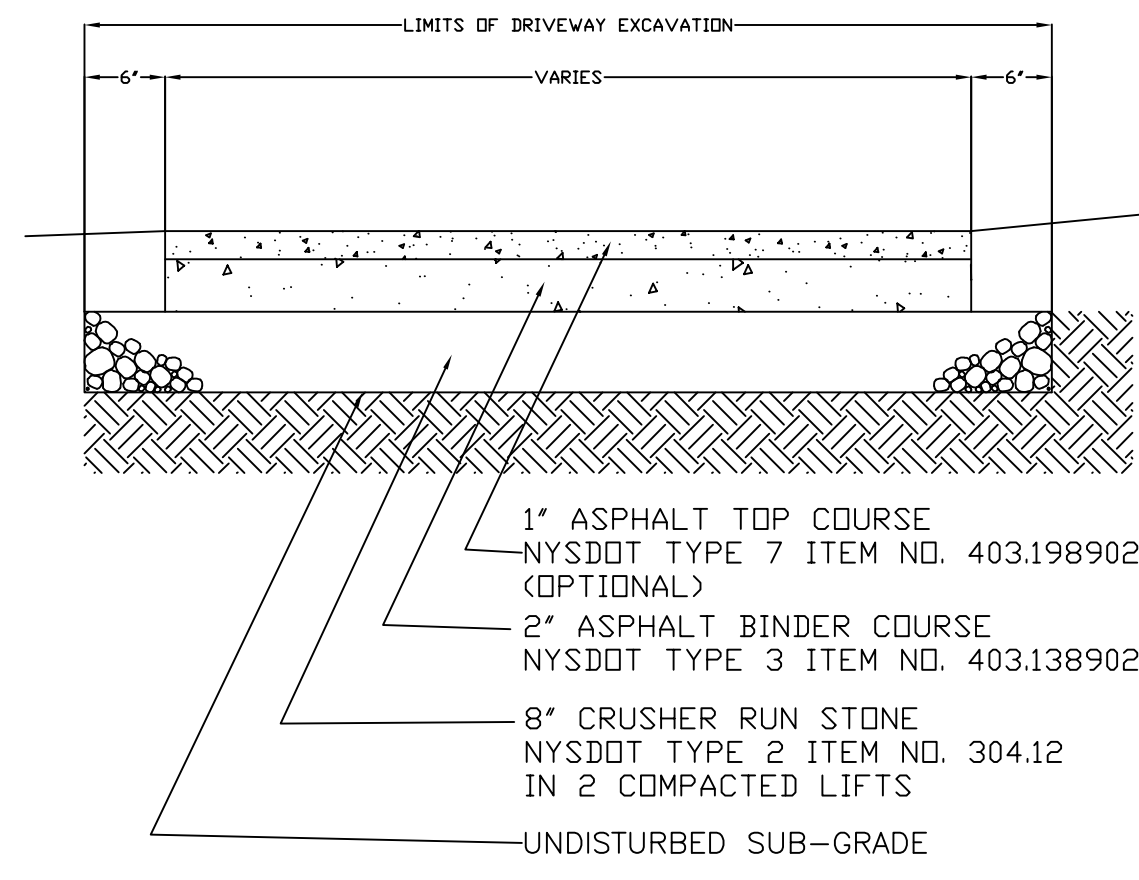
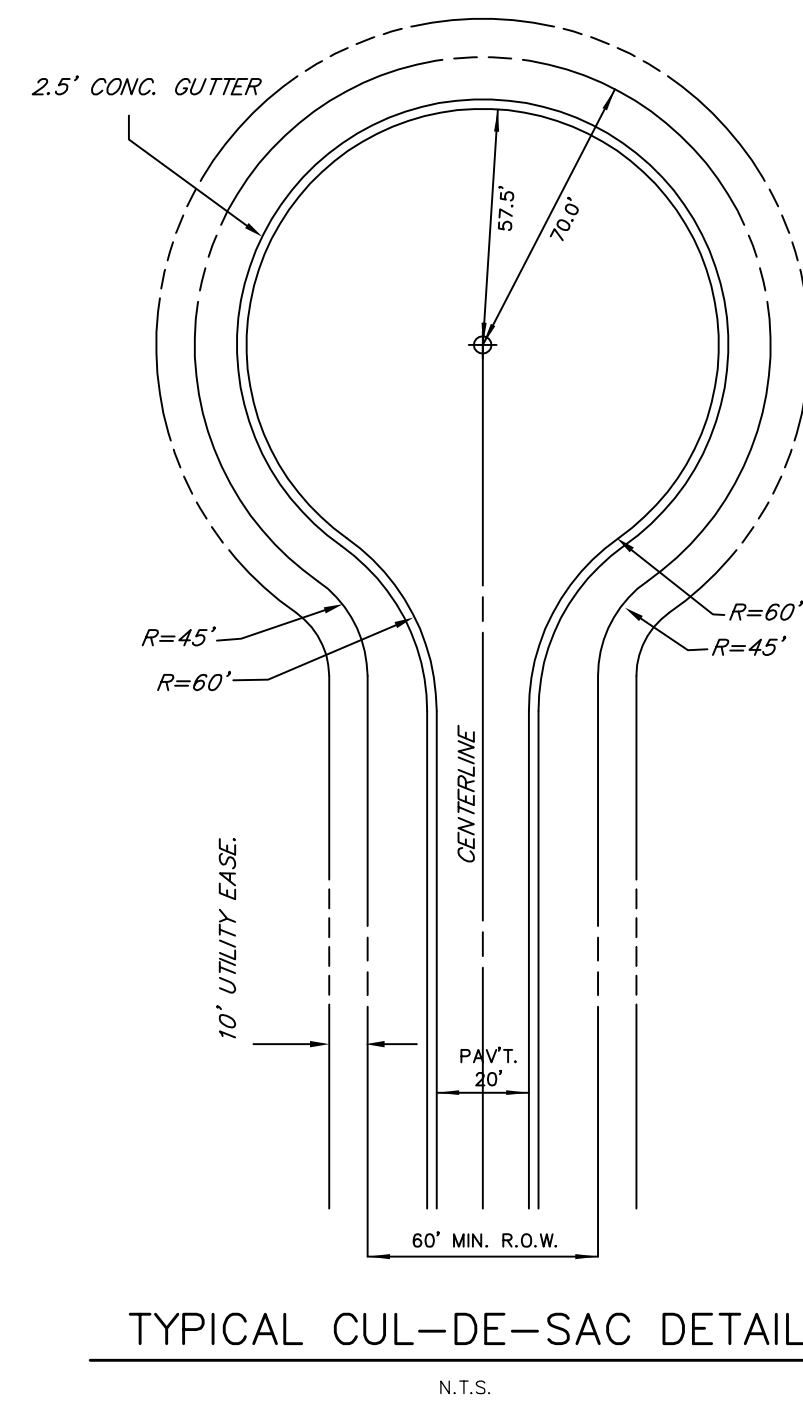
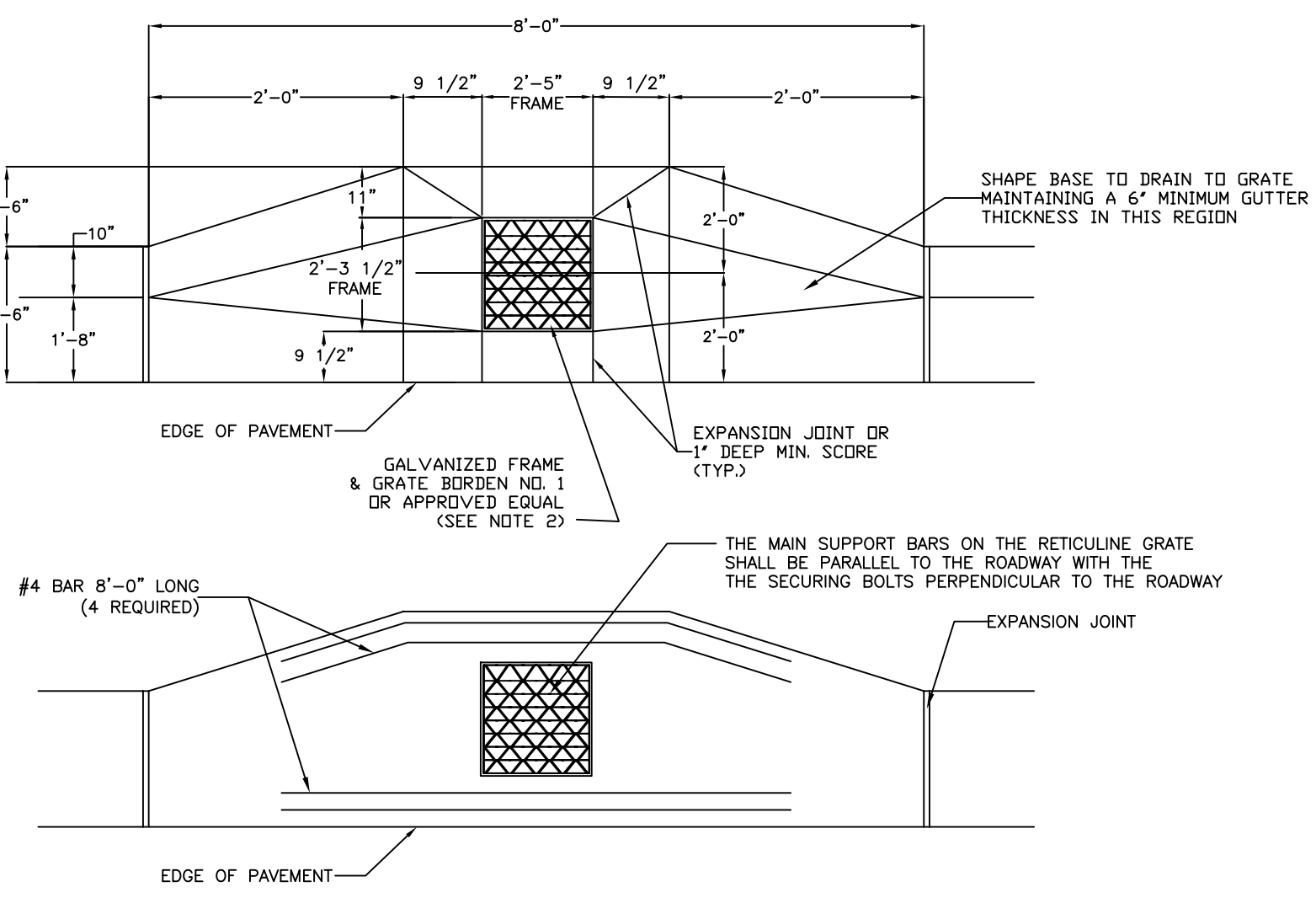
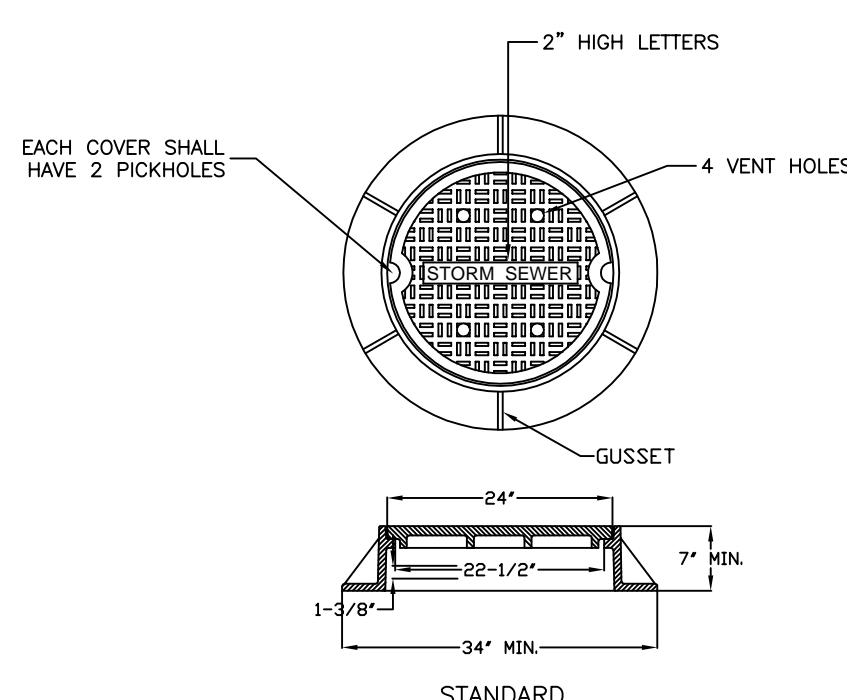
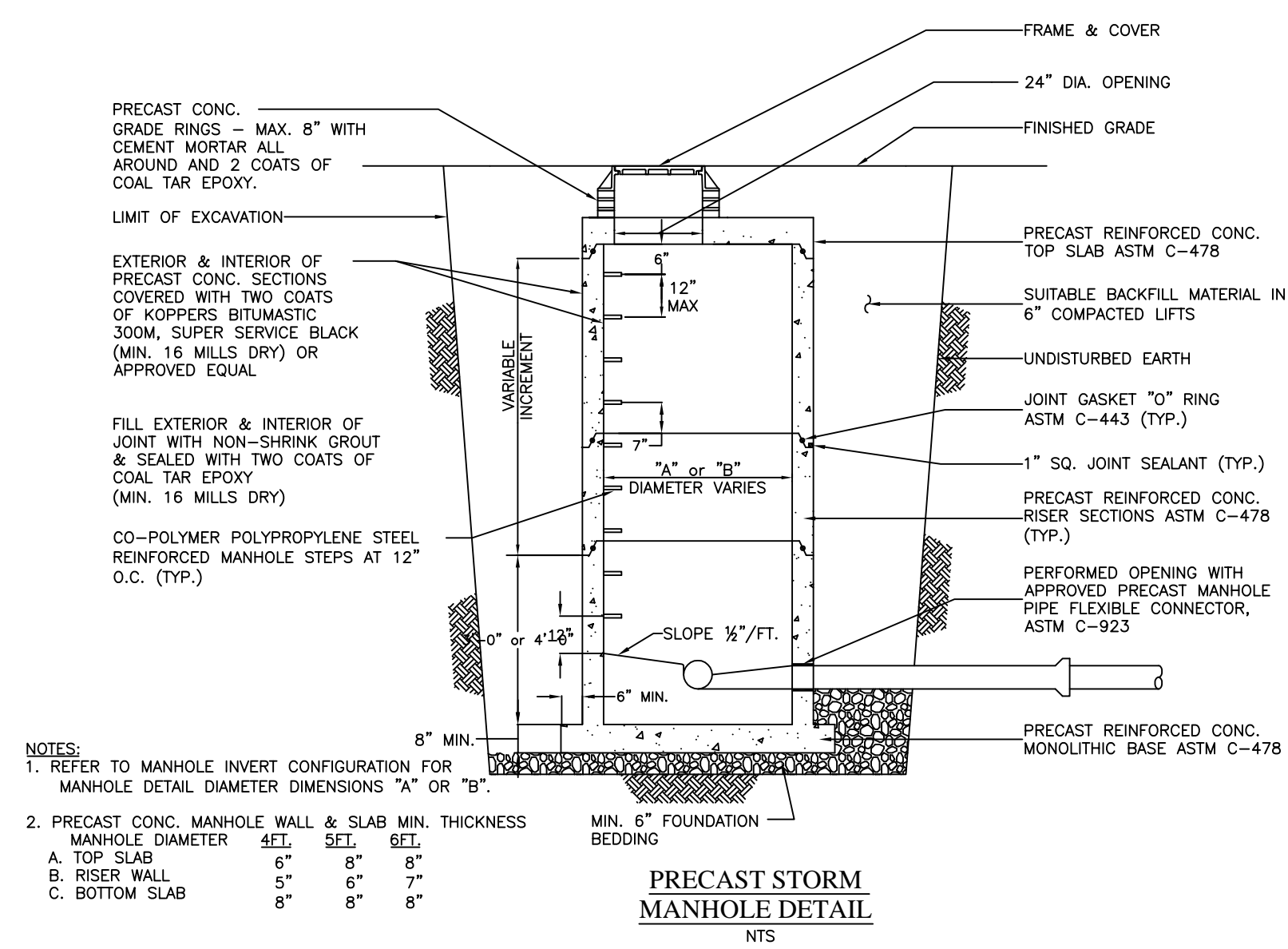
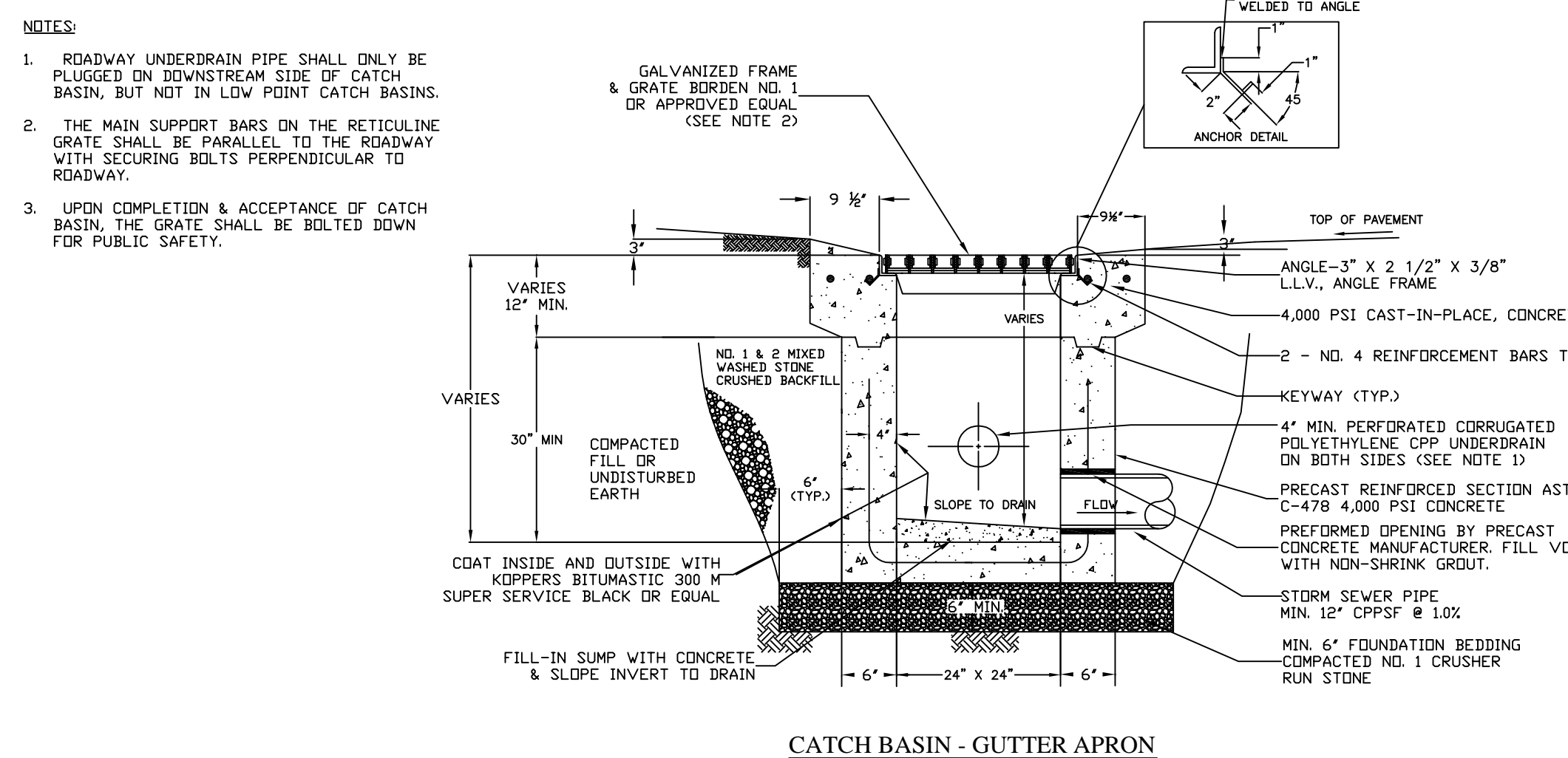
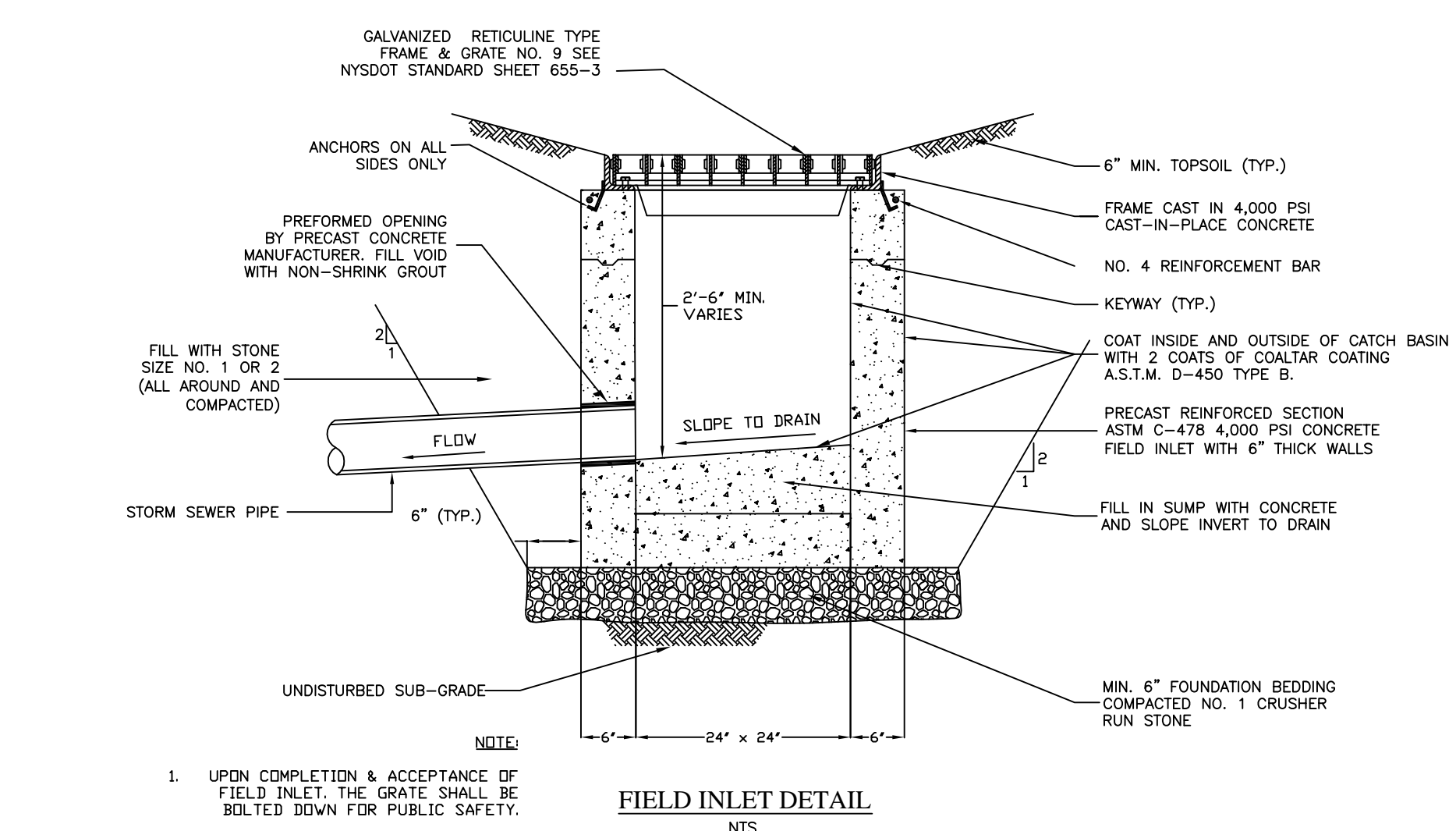
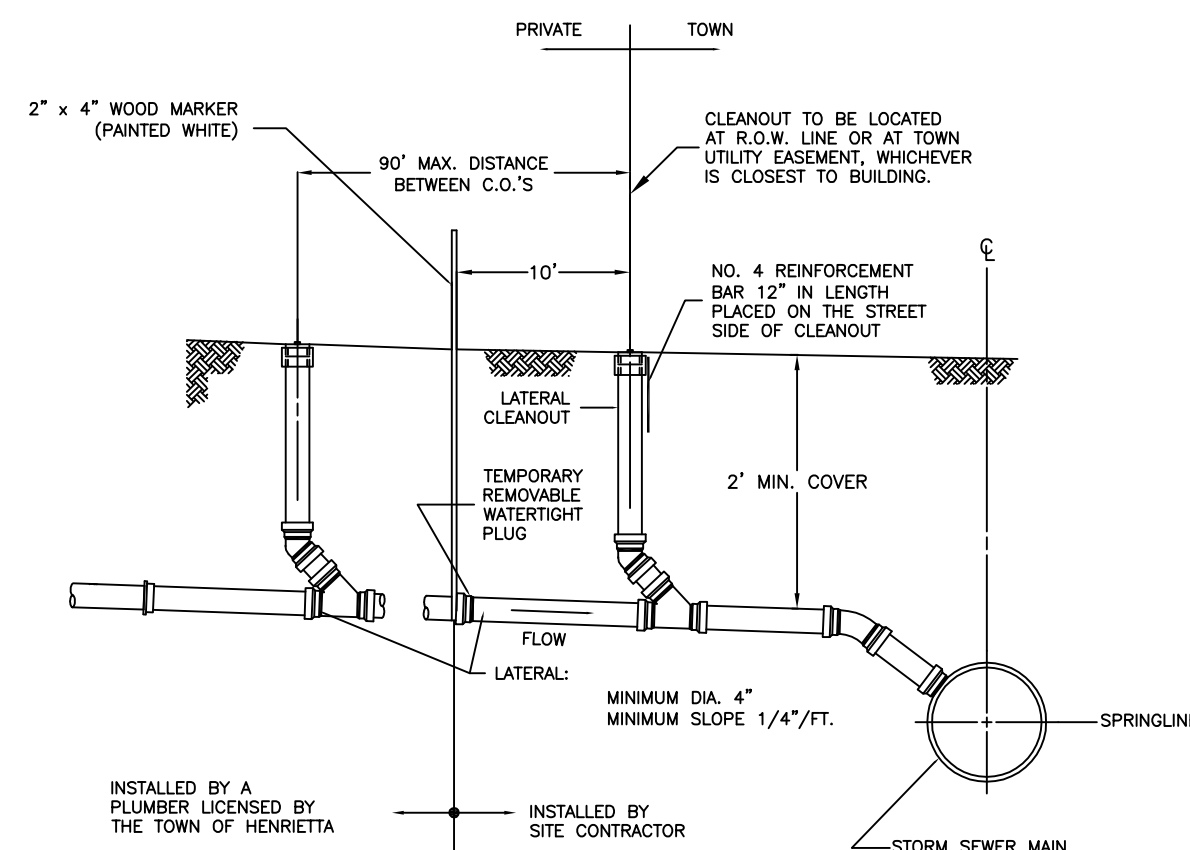
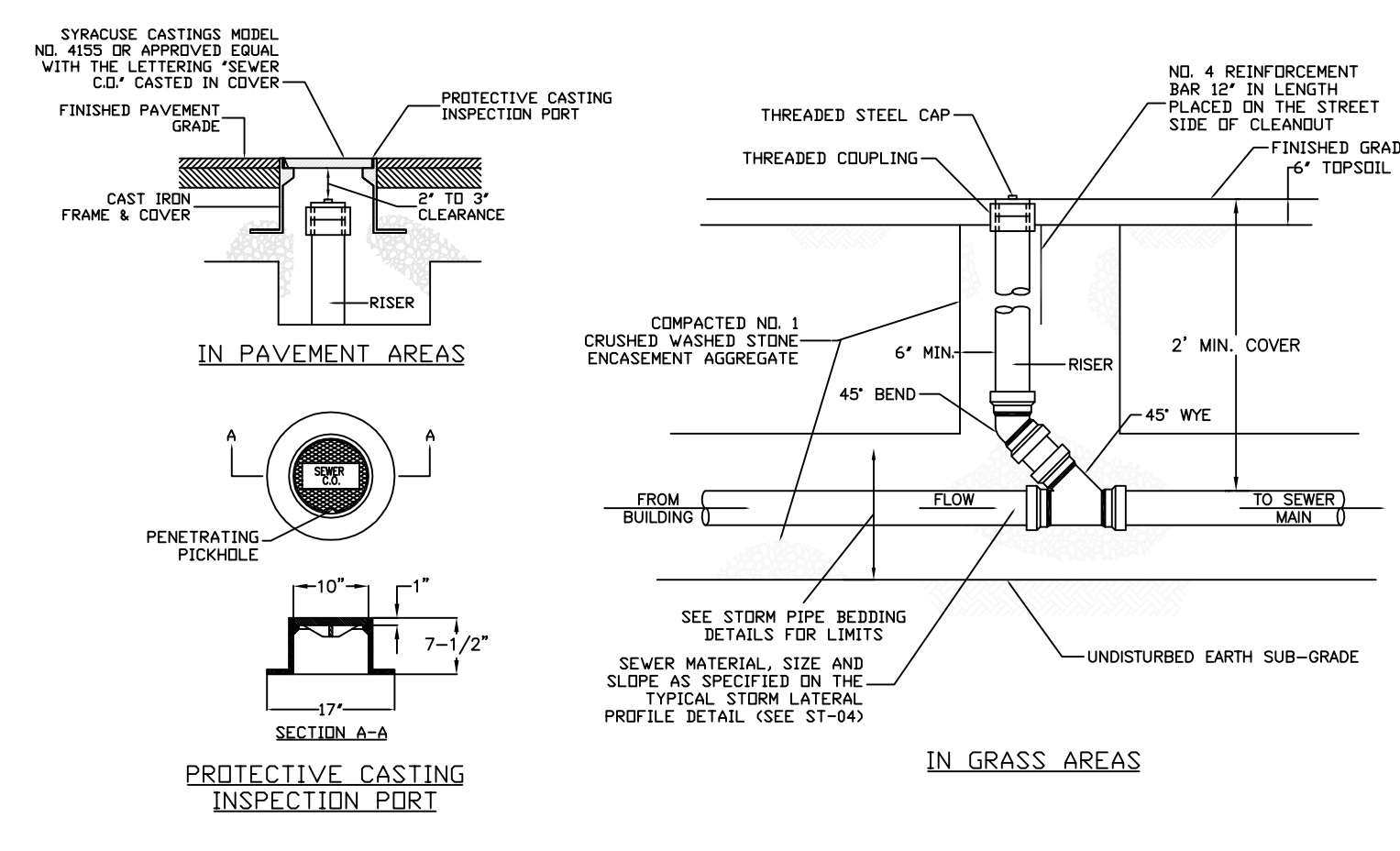
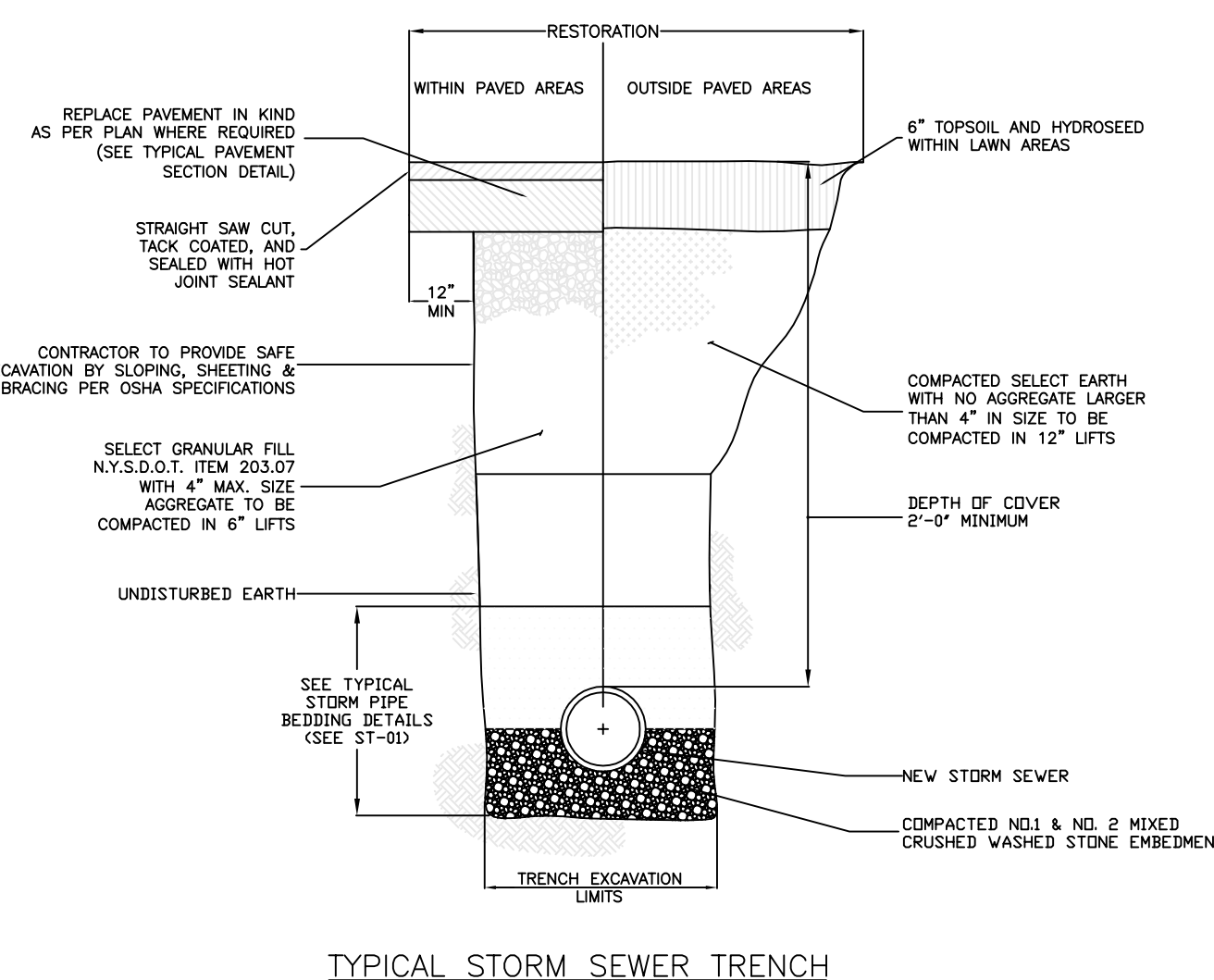
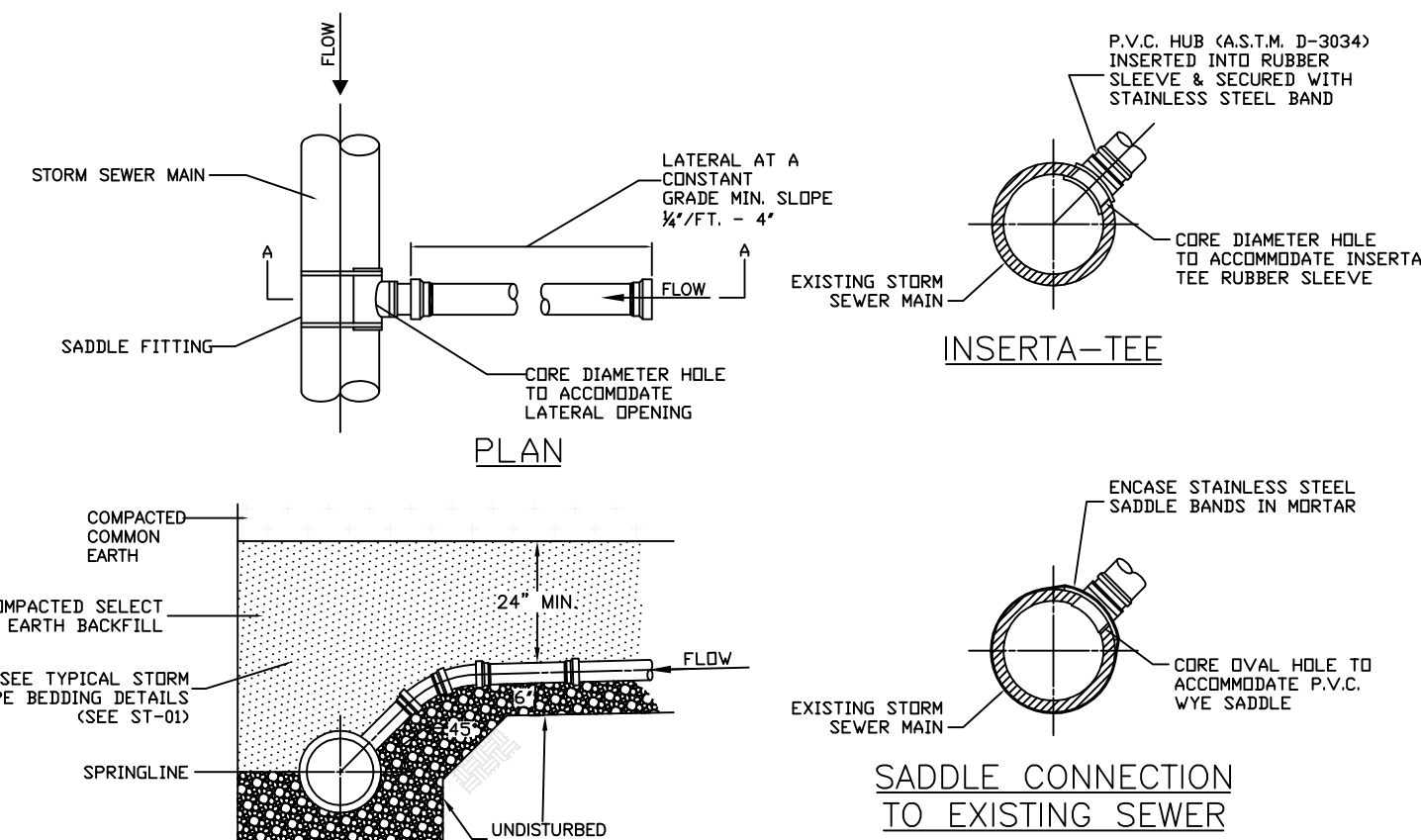
- GENERAL UTILITY NOTES**
1. LOCATION OF EXISTING UTILITIES INCLUDING UTILITIES SHOWN ON THE DRAWINGS ARE INTENDED FOR GENERAL INFORMATION ONLY.
 2. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. EXPLORATORY EXCAVATION SHALL BE MADE SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO THE PLAN TO MEET THE EXISTING CONDITIONS. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN ON THE PLAN AND ANY OTHER LINES NOT SHOWN OR OF RECORD. ANY EXPENSE DUE TO THE LOSS OF UTILITIES SHALL BE AT THE CONTRACTOR'S EXPENSE.
 3. ALL THICKNESS SHOWN ON THE DETAILS ARE COMPACTED.
 4. EROSION AND SEDIMENT CONTROL MEASURES AND SEQUENCE OF IMPLEMENTATION SHALL FOLLOW THE LATEST NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
 5. ALL UTILITIES SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO EXCAVATION, CALL BEFORE YOU DIG OR EQUIVALENT FACILITY PROTECTION ORGANIZATION UTILITY COORDINATION COMMITTEE 1-800-982-7982.


- SITE GENERAL NOTES:**
1. ALL THE IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATION OF THE TOWN OF WEBSTER.
 2. ALL ROADWAY CONSTRUCTION TO BE IN ACCORDANCE WITH THE SPECIFICATION AND REGULATIONS SET FORTH BY THE TOWN OF WEBSTER AND M.C.D.O.T.
 3. ALL SITE WORK IS TO BE IN COMPLIANCE WITH THE STANDARDS OF THE TOWN OF WEBSTER.
 4. THE PRESERVATION OF ALL THE MATURE TREES ON THE SITE WHERE POSSIBLE AND THE MARKING OF SAID TREES BY THE DEVELOPER'S ENGINEER OF TREES TO BE REMOVED PRIOR TO THE COMMENCING OF ANY SITE WORK.
 5. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS OF THE STATE, COUNTY AND TOWN AGENCY.
 6. ANY AND ALL COSTS RELATED TO THE RELOCATION OF UTILITIES NECESSITATED BY THIS PROJECT SHALL BE BORNE BY THE INDIVIDUAL AND/OR THE UTILITY COMPANY REQUESTING THE RELOCATION.
 7. A RECORD UTILITY PLAN SHALL BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT. THIS PLAN SHALL INDICATE ALL UTILITY IMPROVEMENTS INCLUDING WATER VALVES, HYDRANTS AND MANHOLES, PIPE RINGS AND SUBSIDIARIES SUCH AS GUTTERS, CURBS, ETC. IN ACCORDANCE WITH THE TOWN'S RECORD DRAWING REQUIREMENTS FOR UTILITIES. INDIVIDUAL LOT UTILITY SERVICE MAPS SHALL BE PROVIDED TO THE TOWN'S ENGINEERING DEPARTMENT. EACH MAP SHALL INDICATE STAKE LOCATIONS FOR WATER CURB BOXES AND ALL LATERAL CLEANDUTS.
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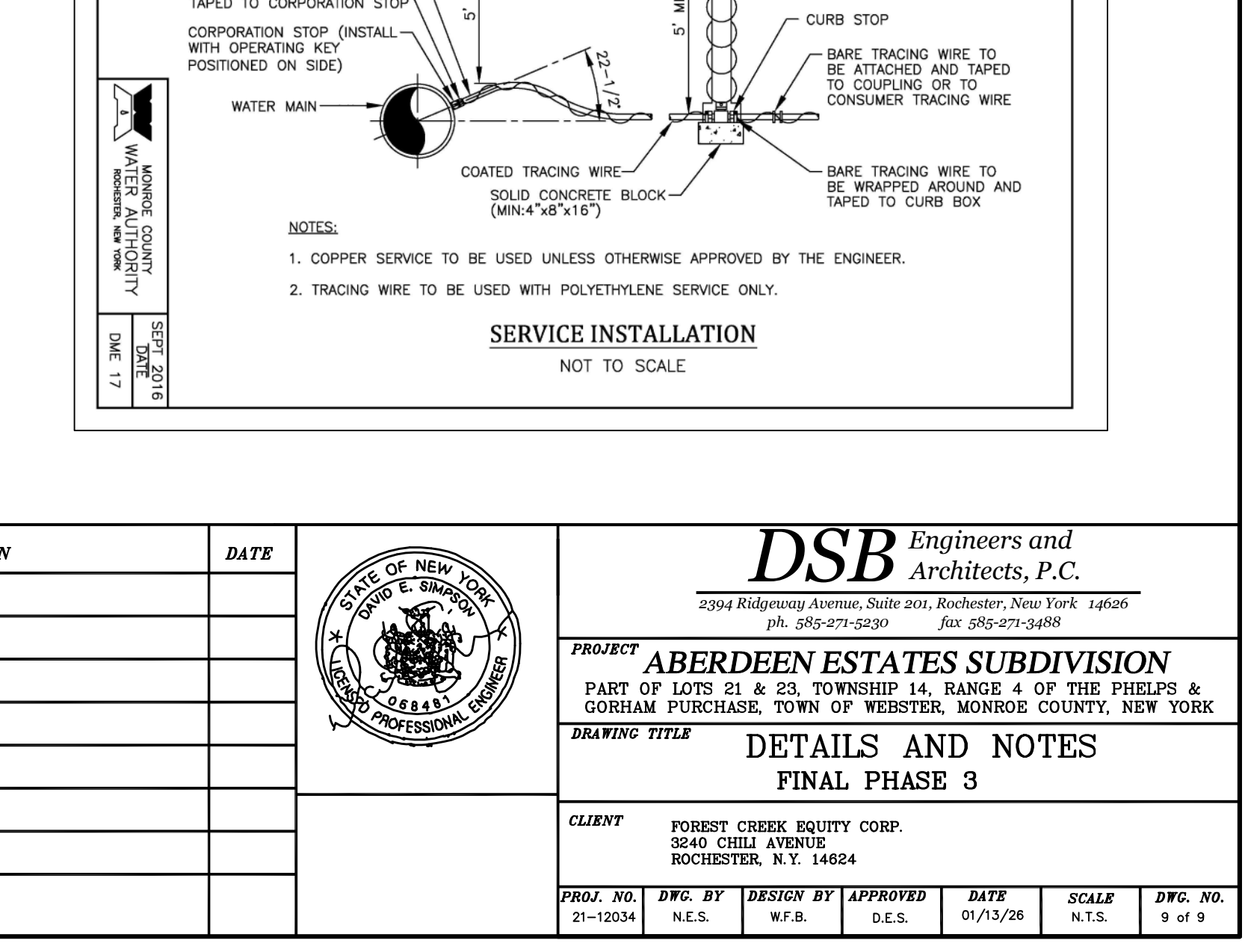
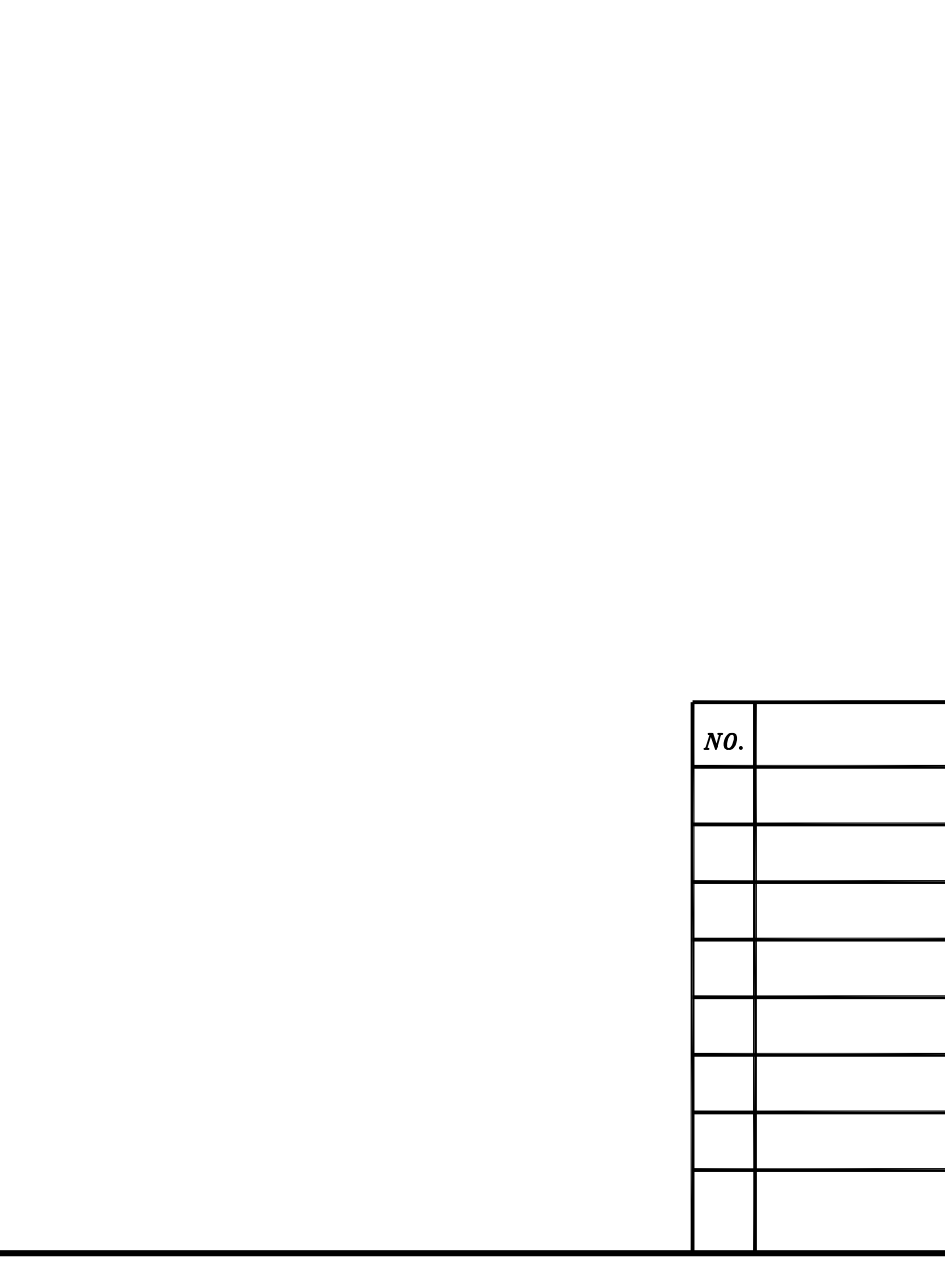
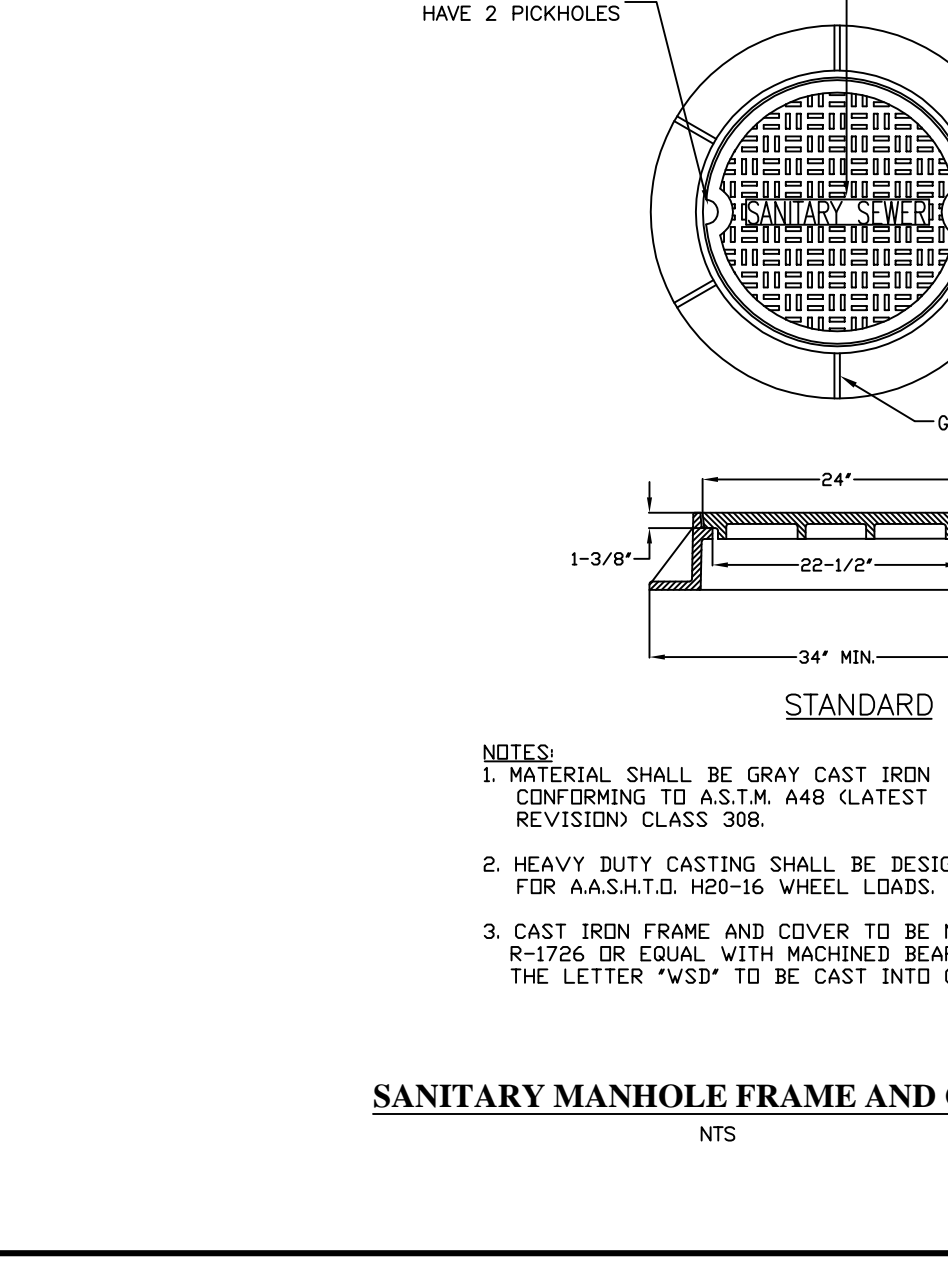
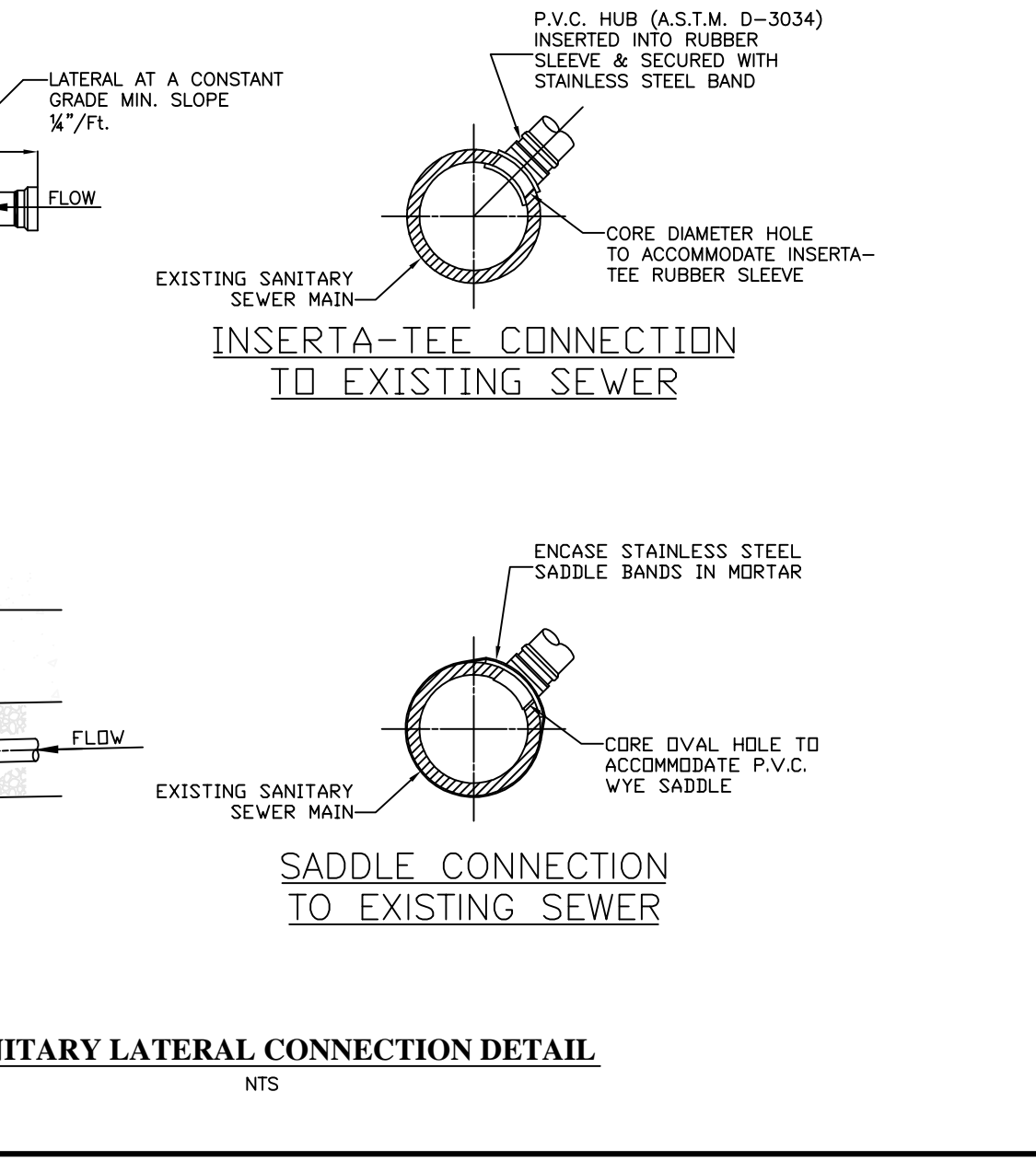
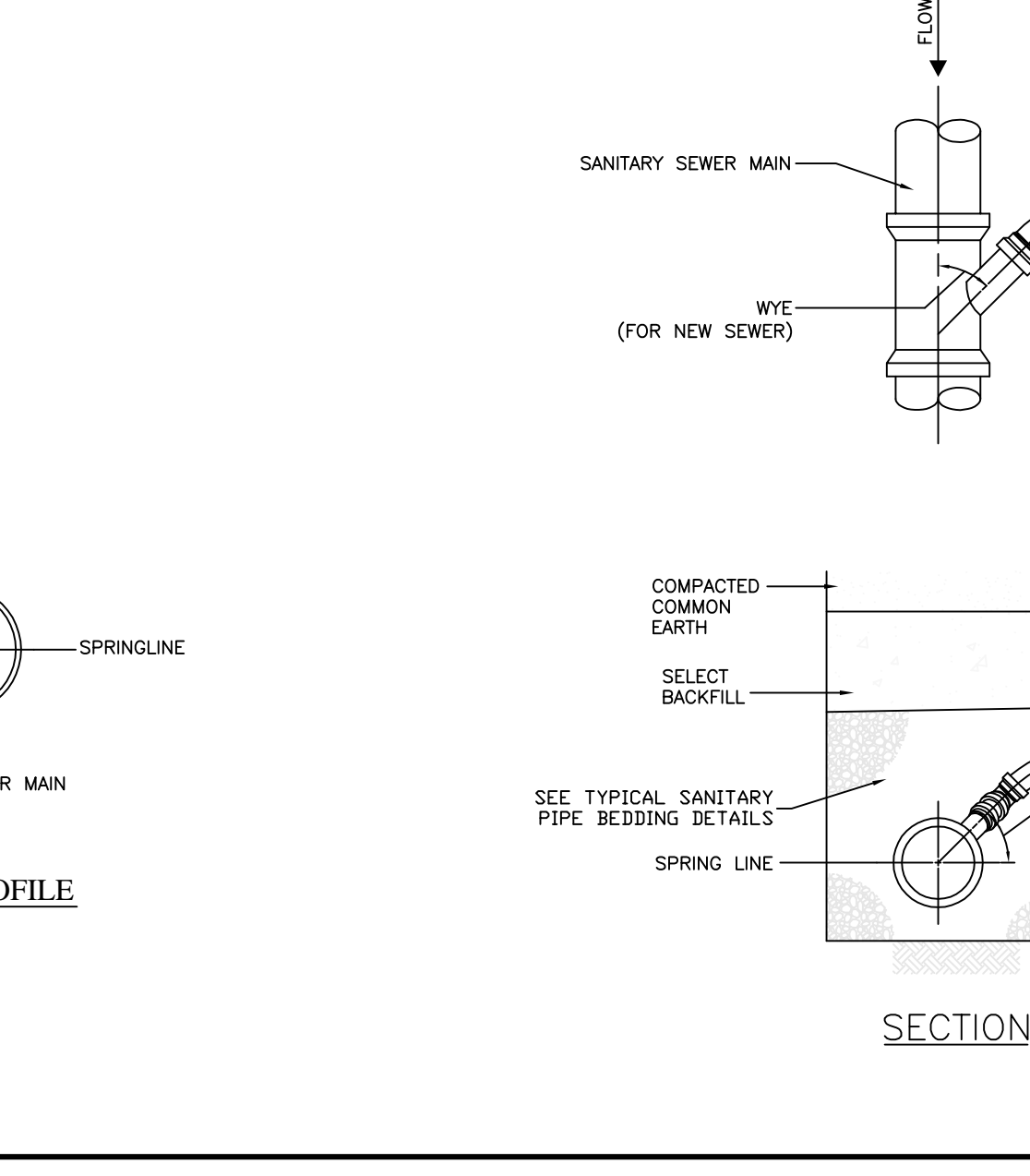
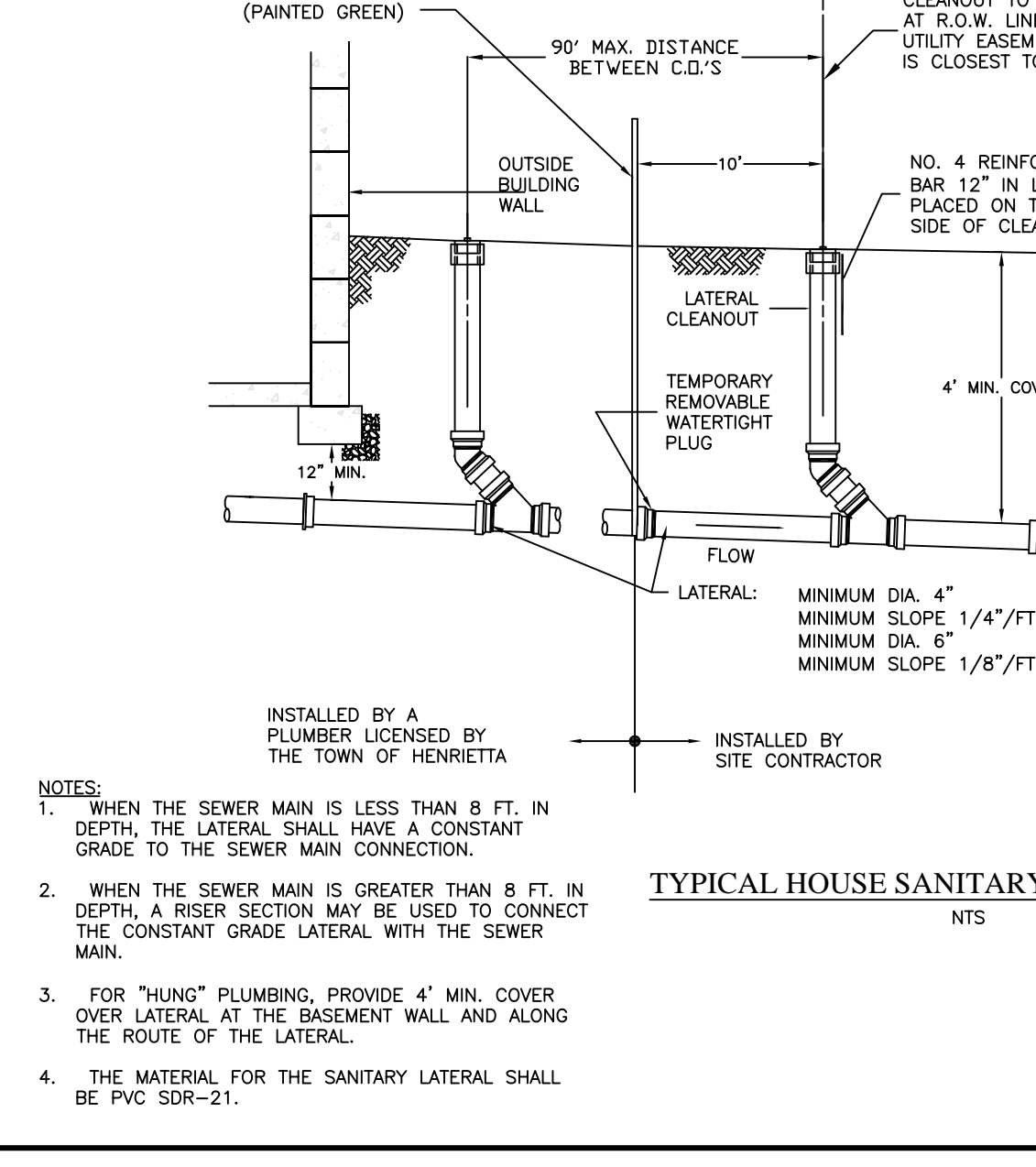
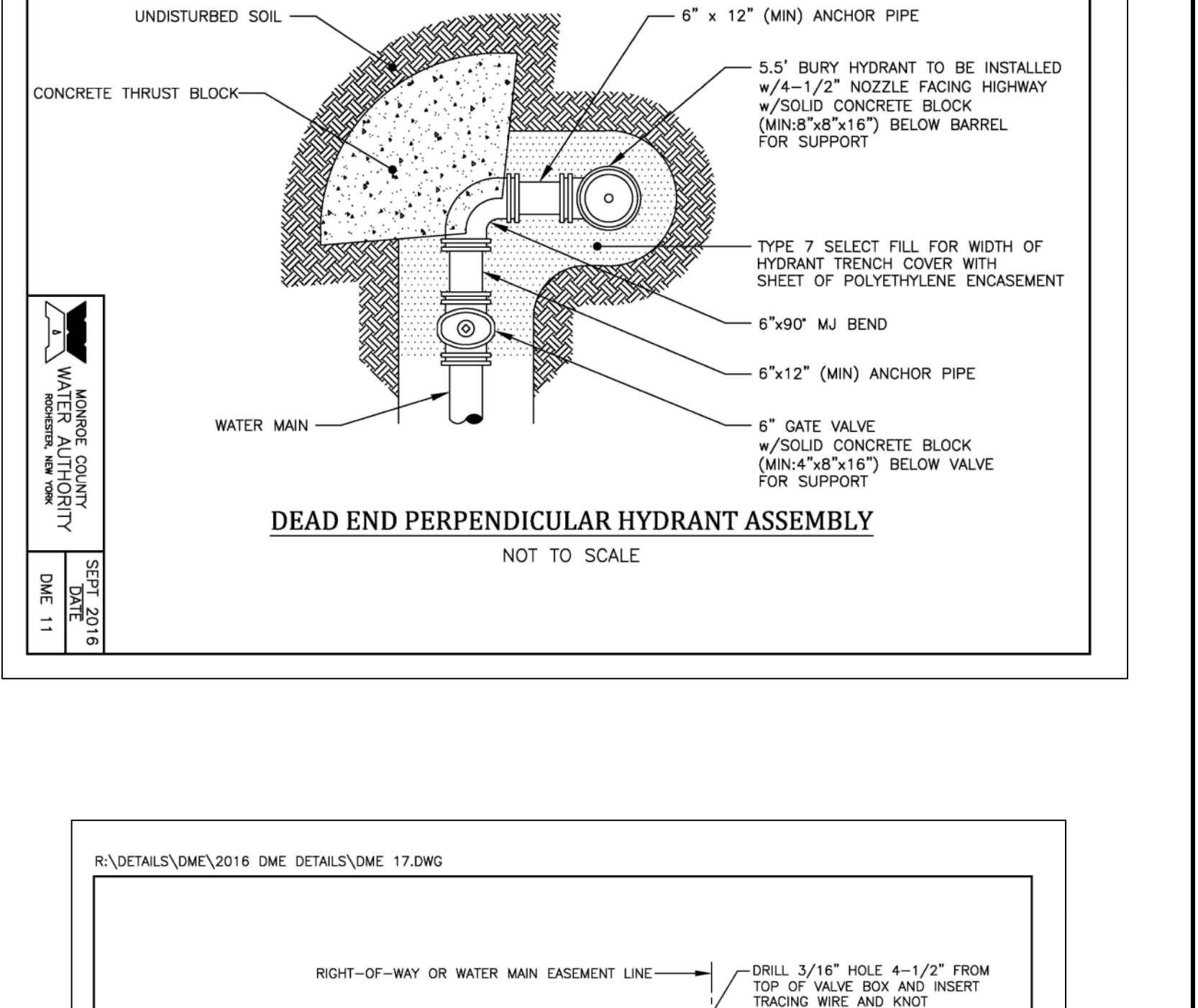
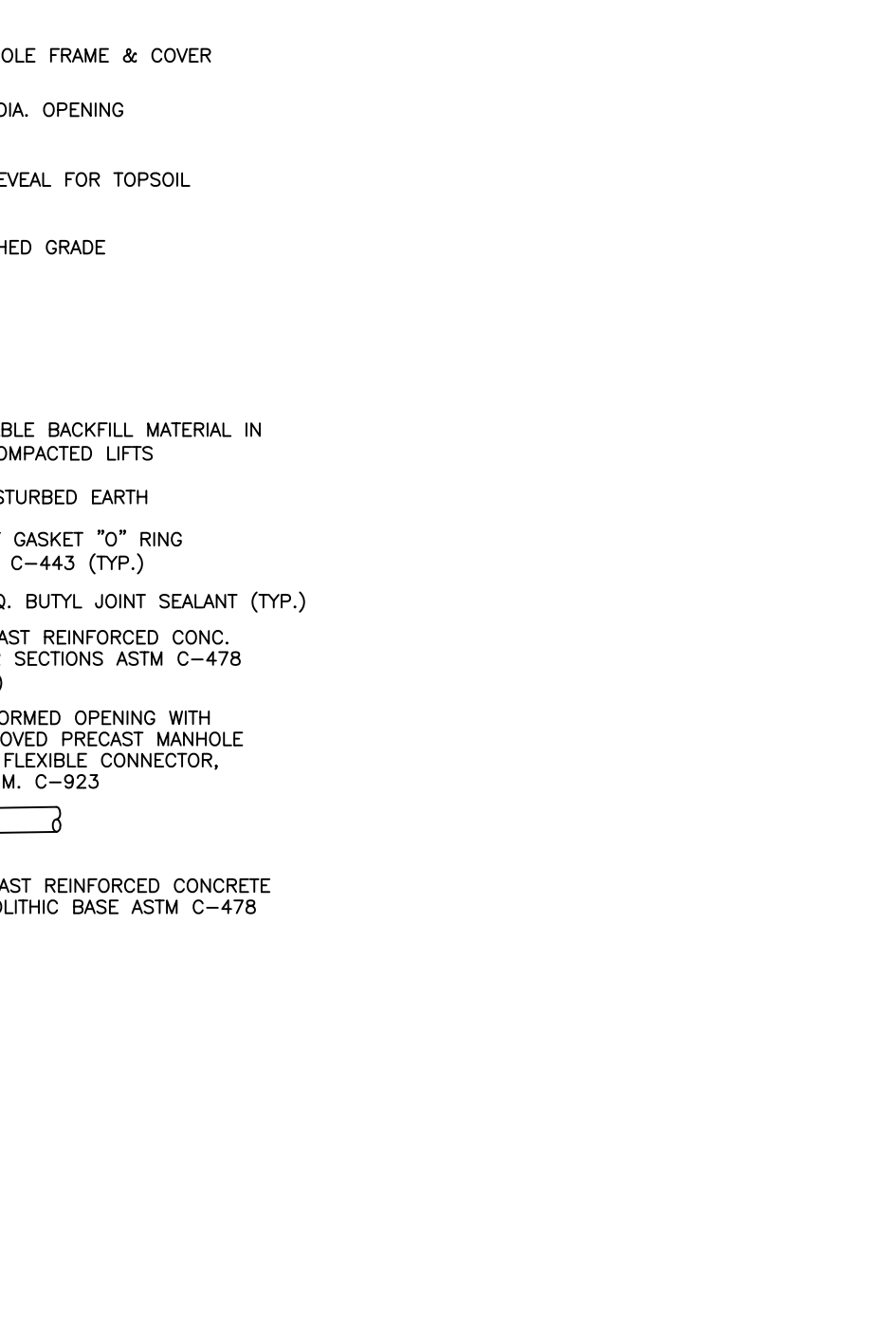
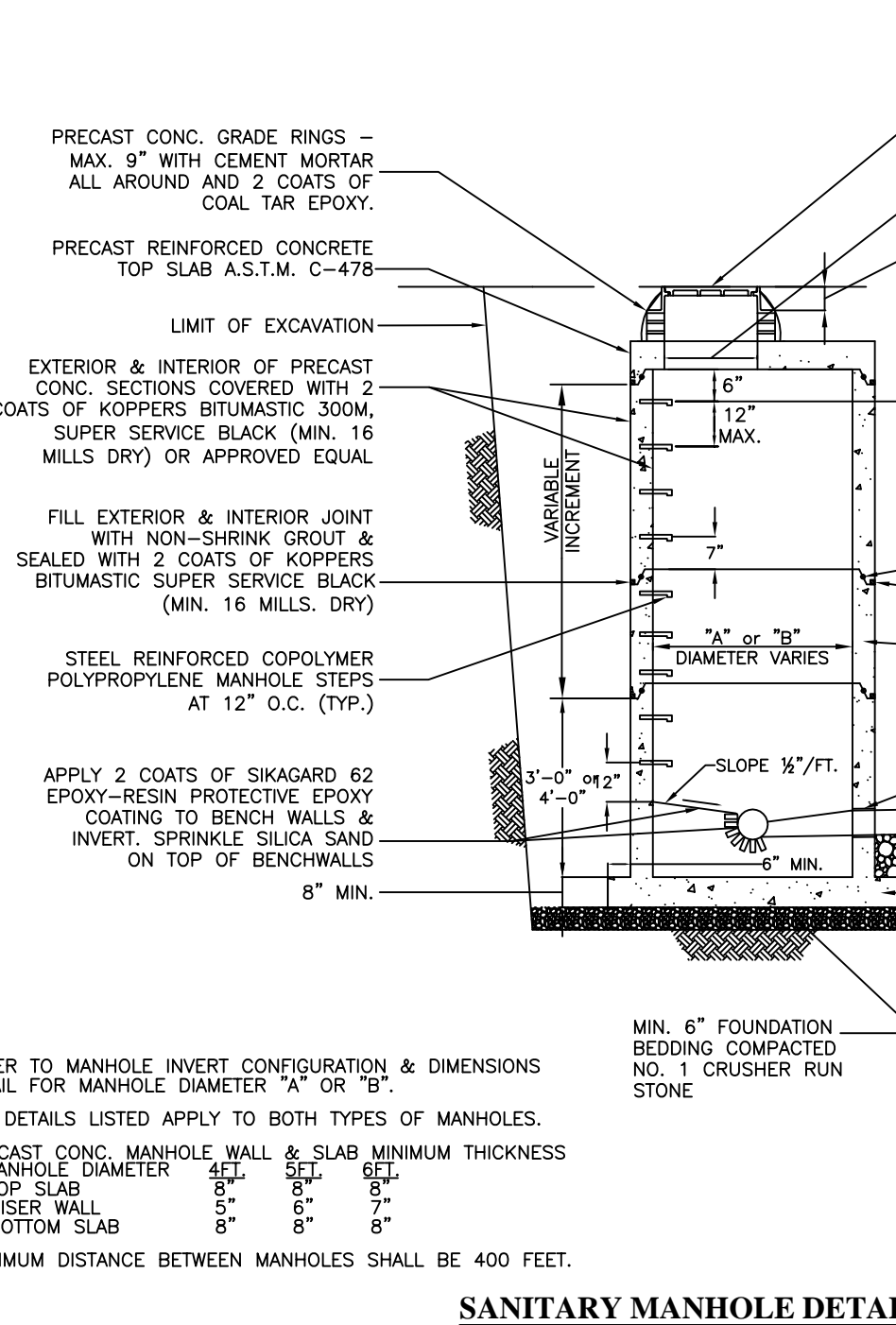
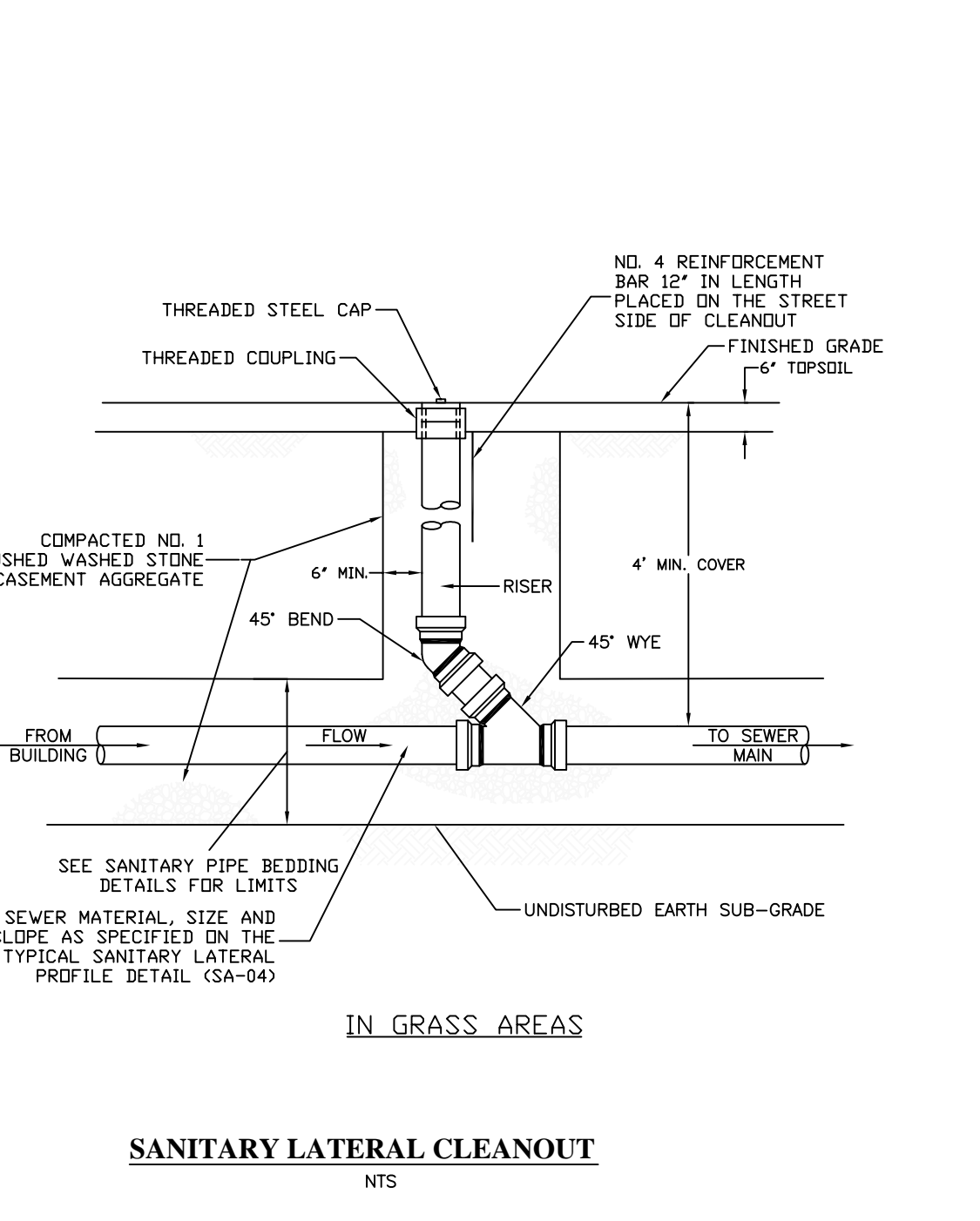
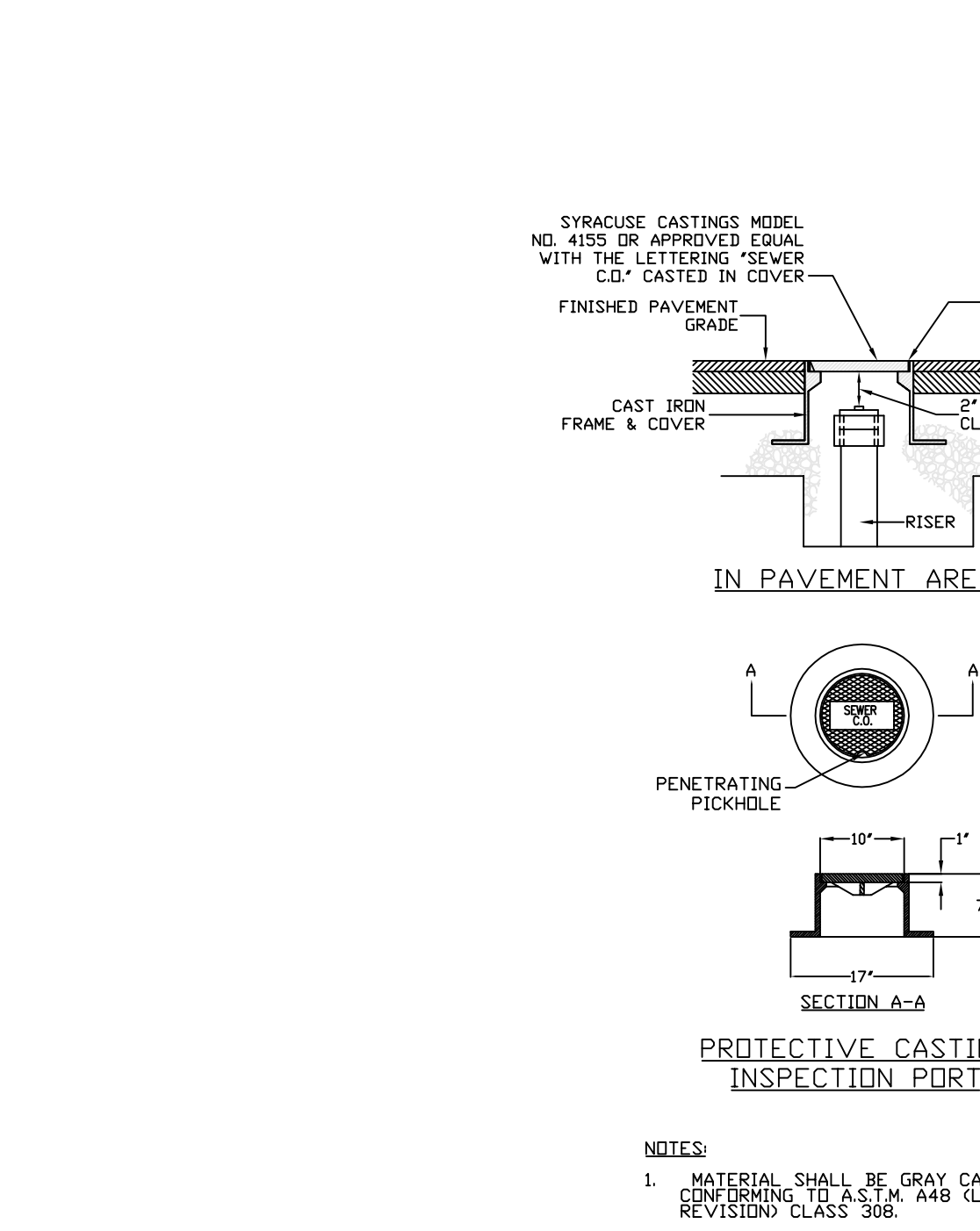
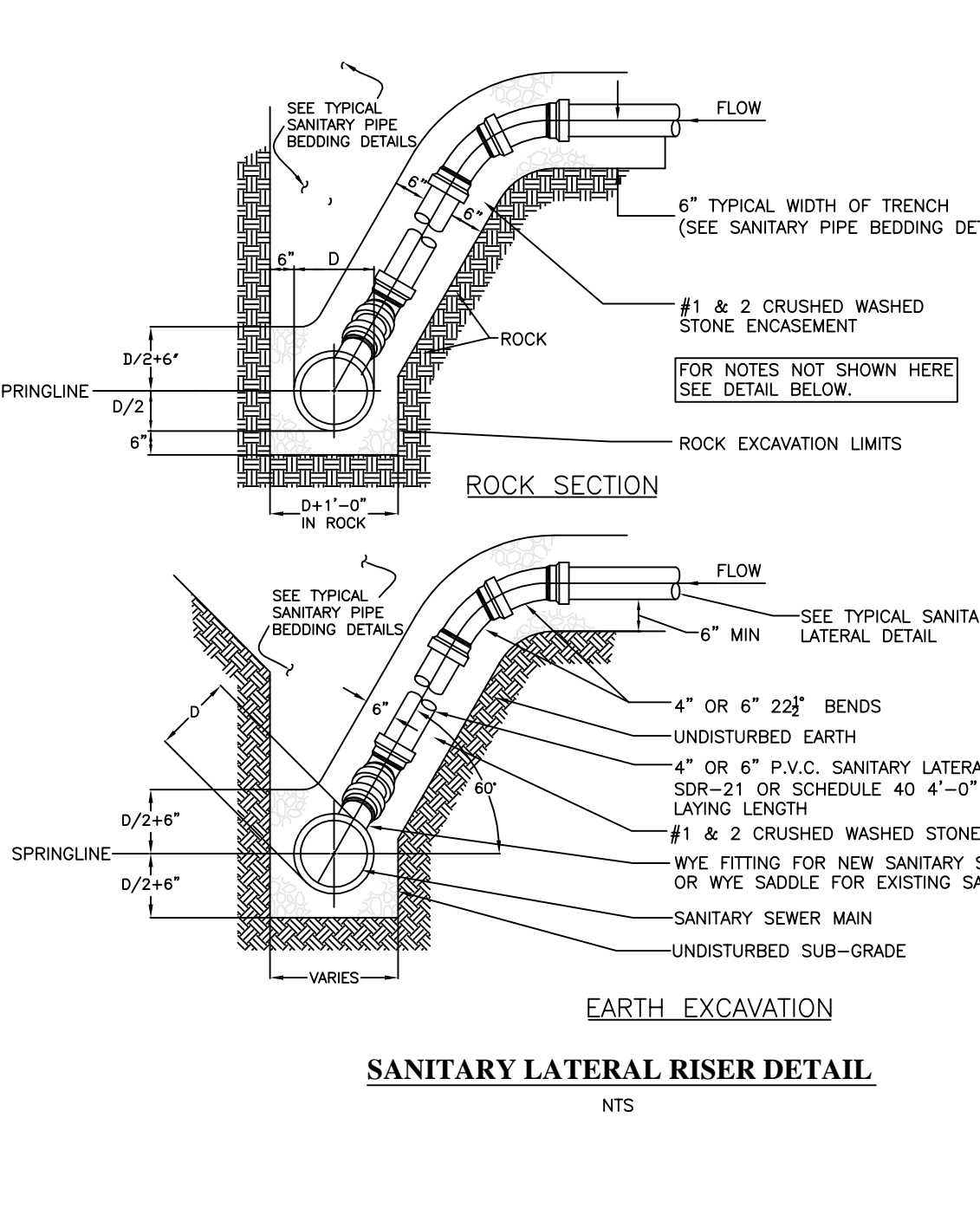
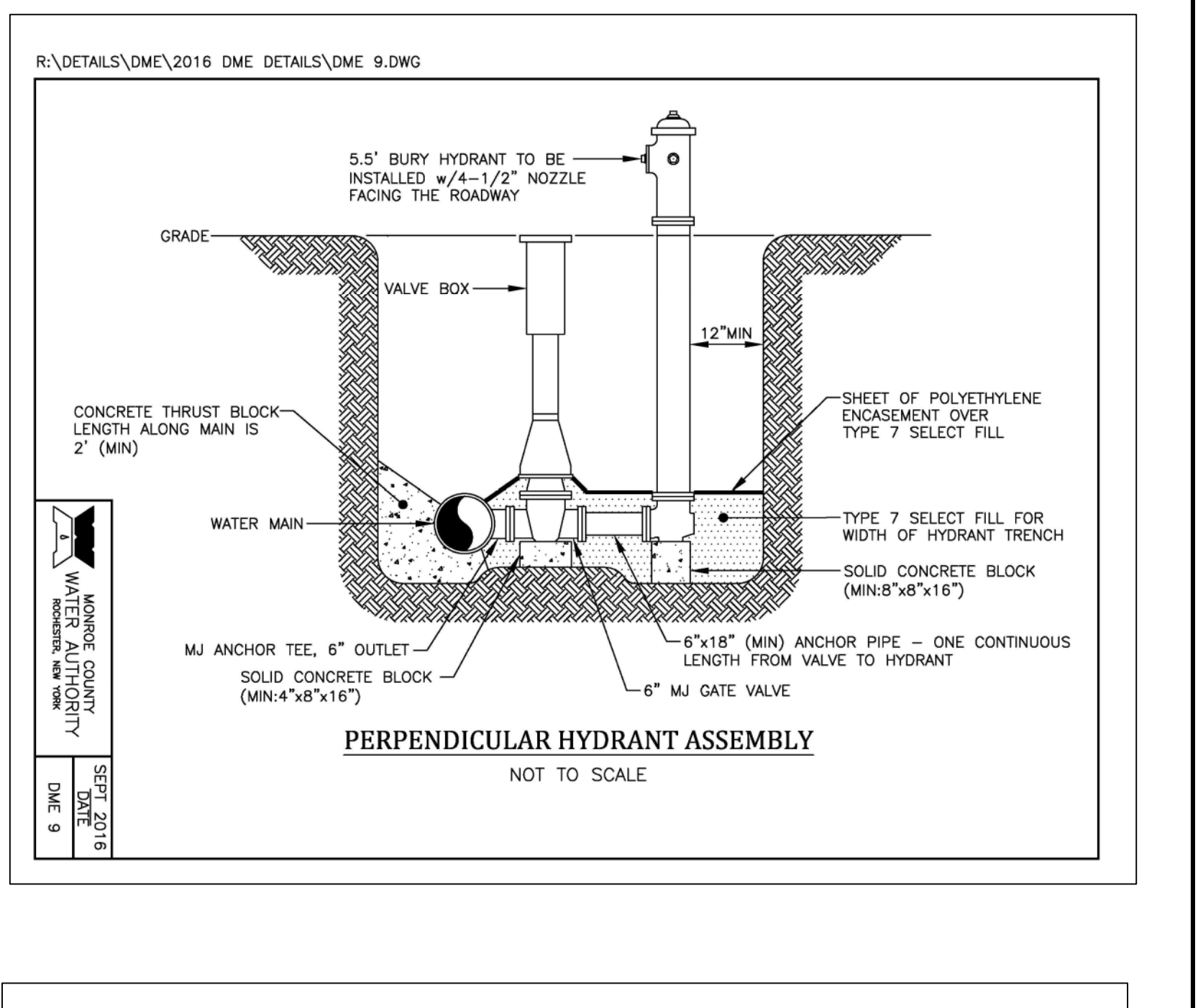
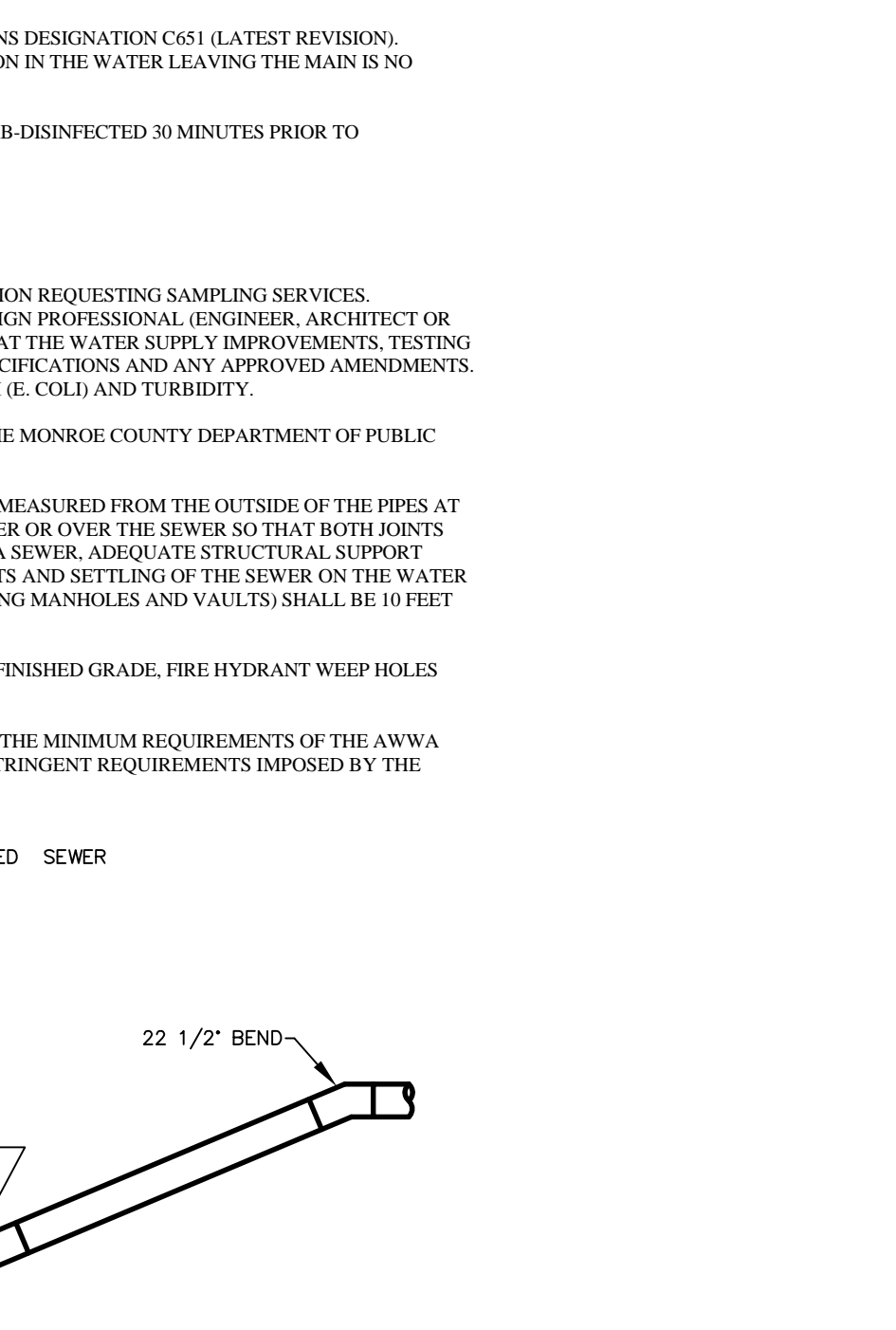
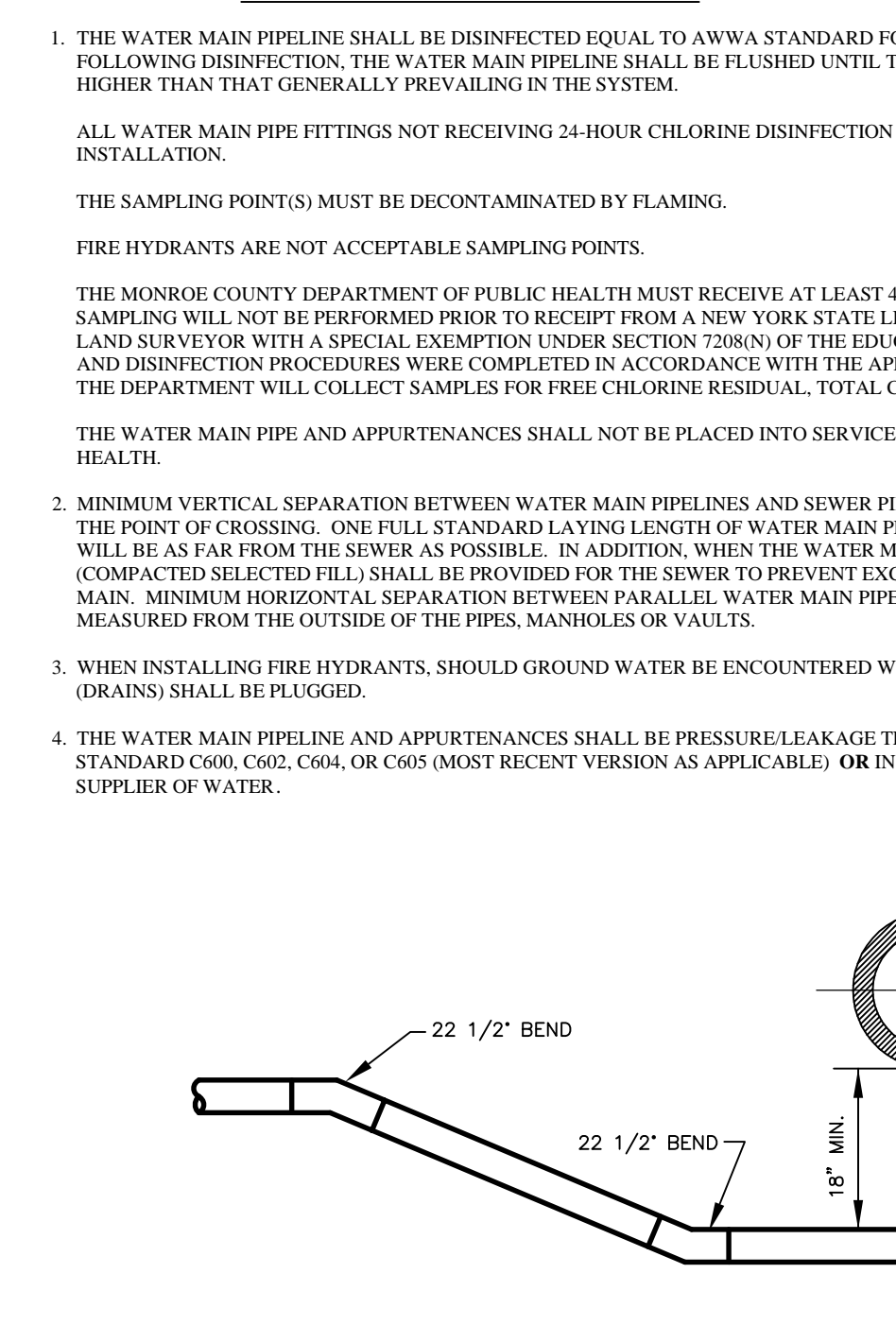
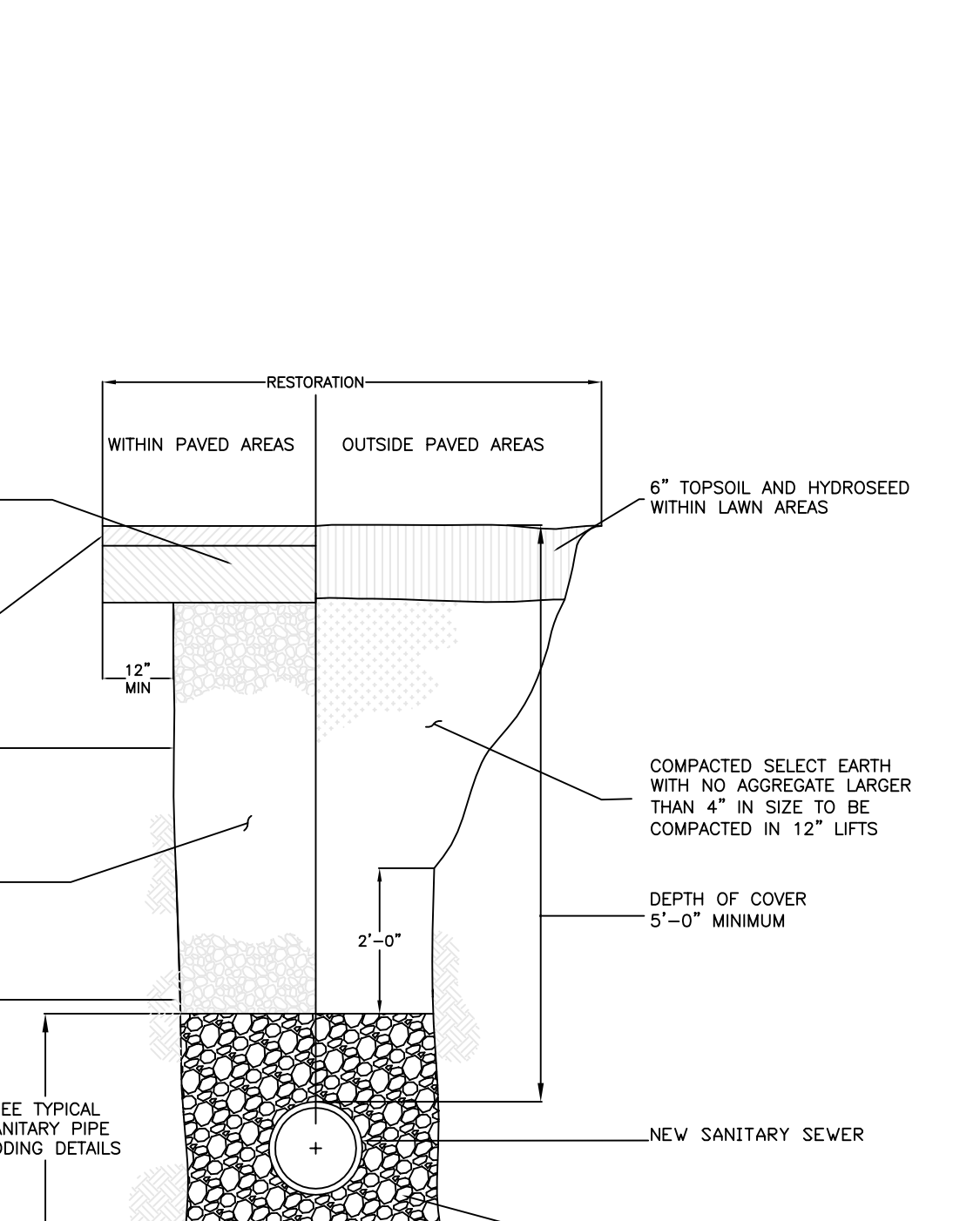
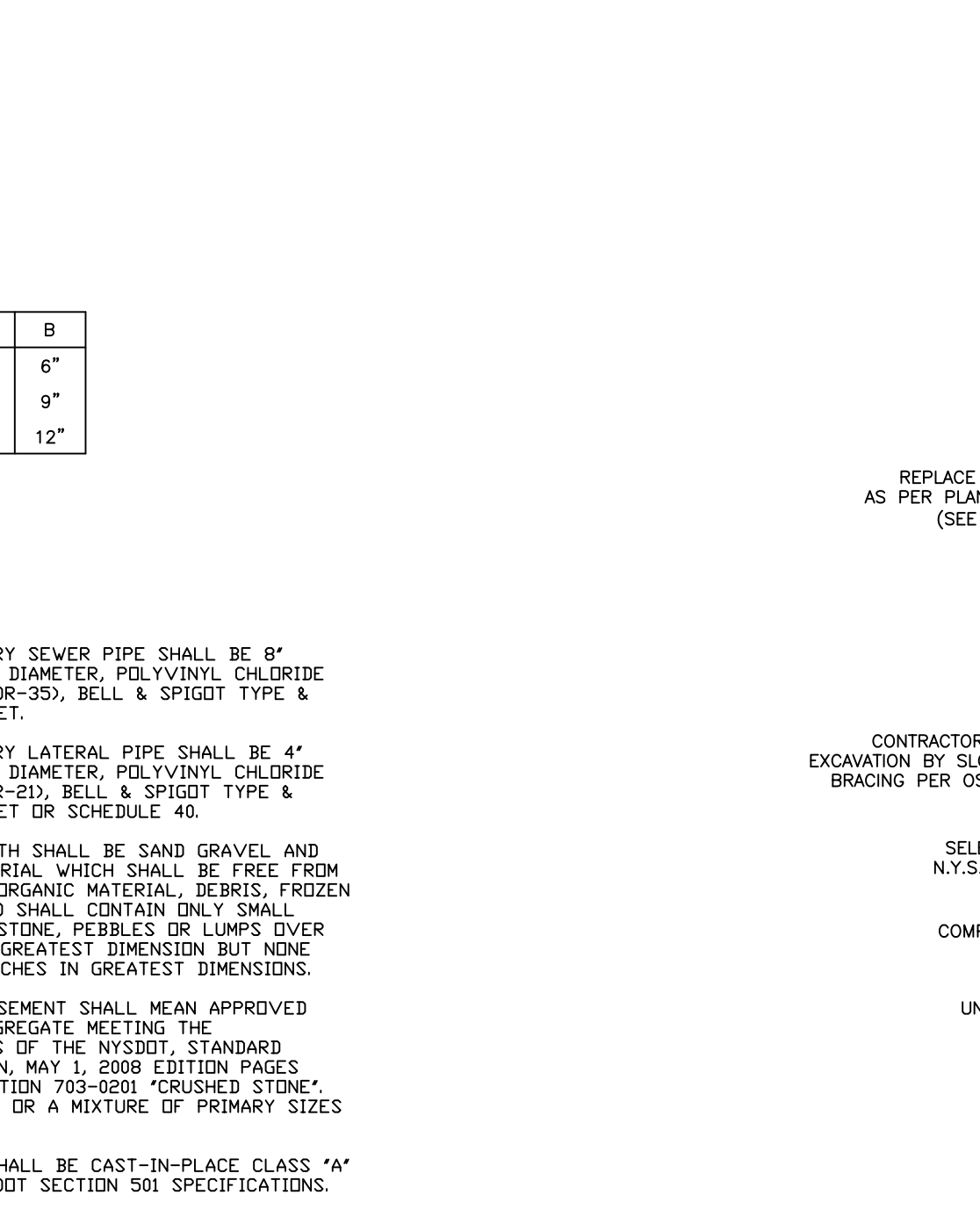
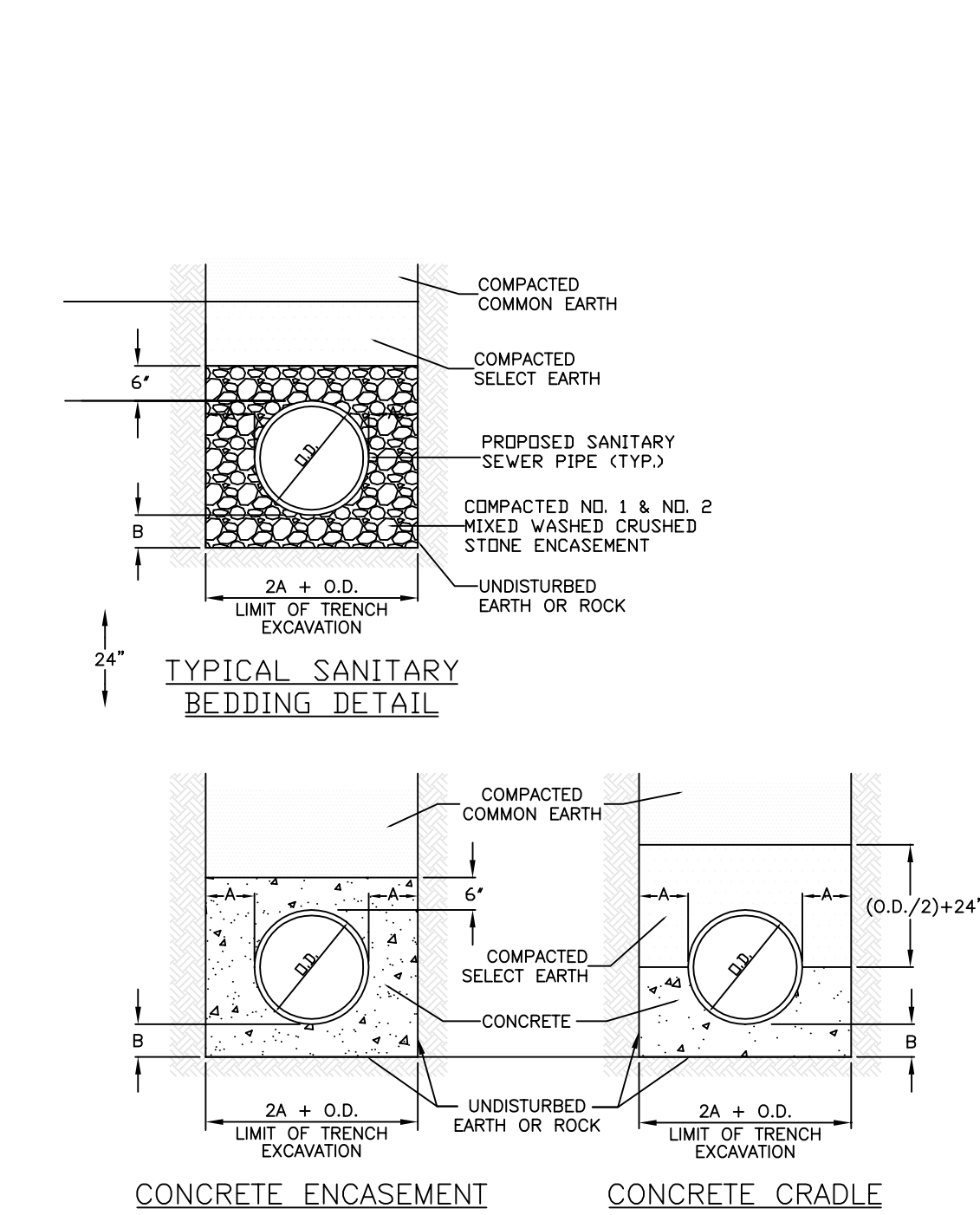
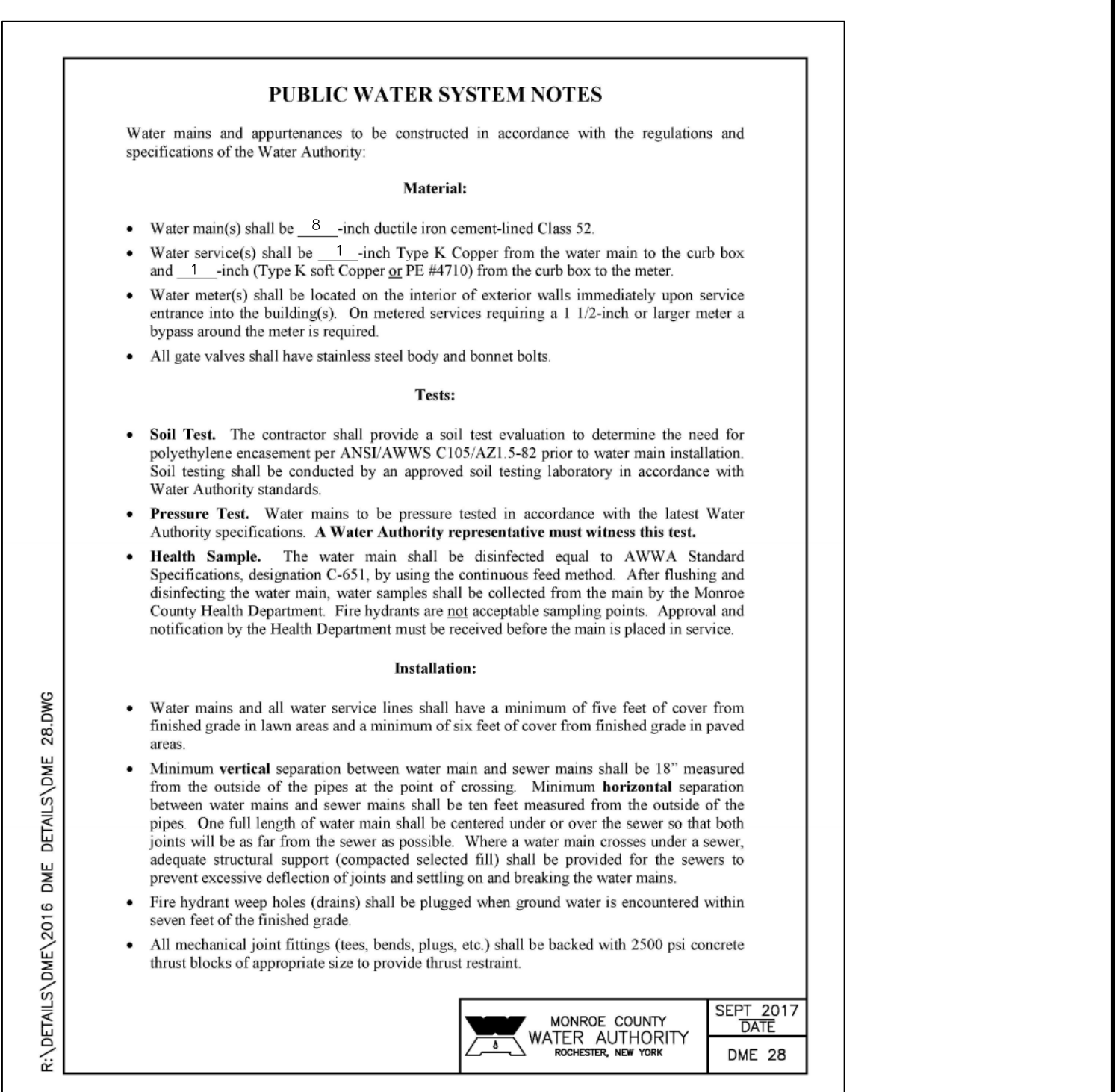
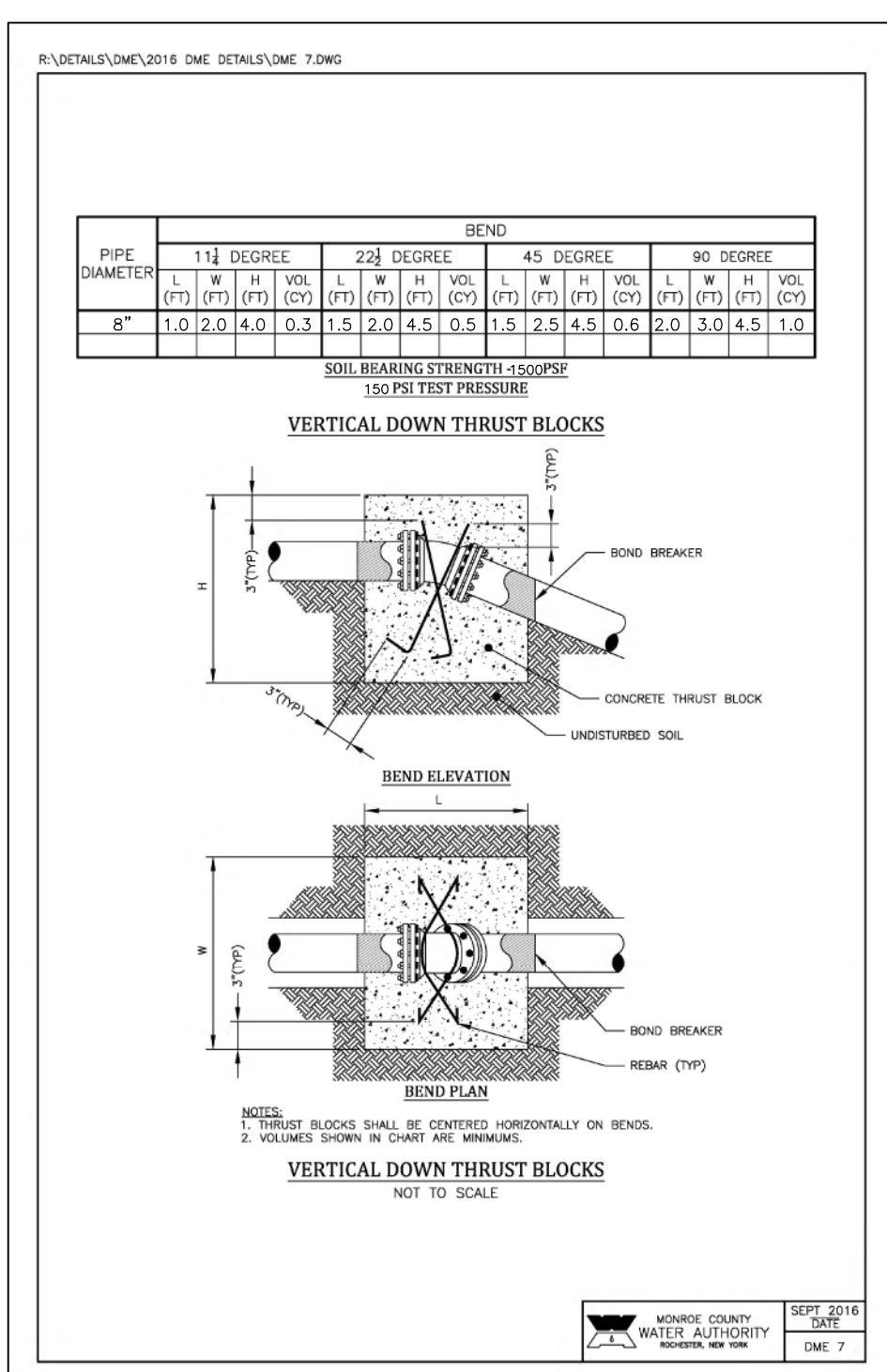
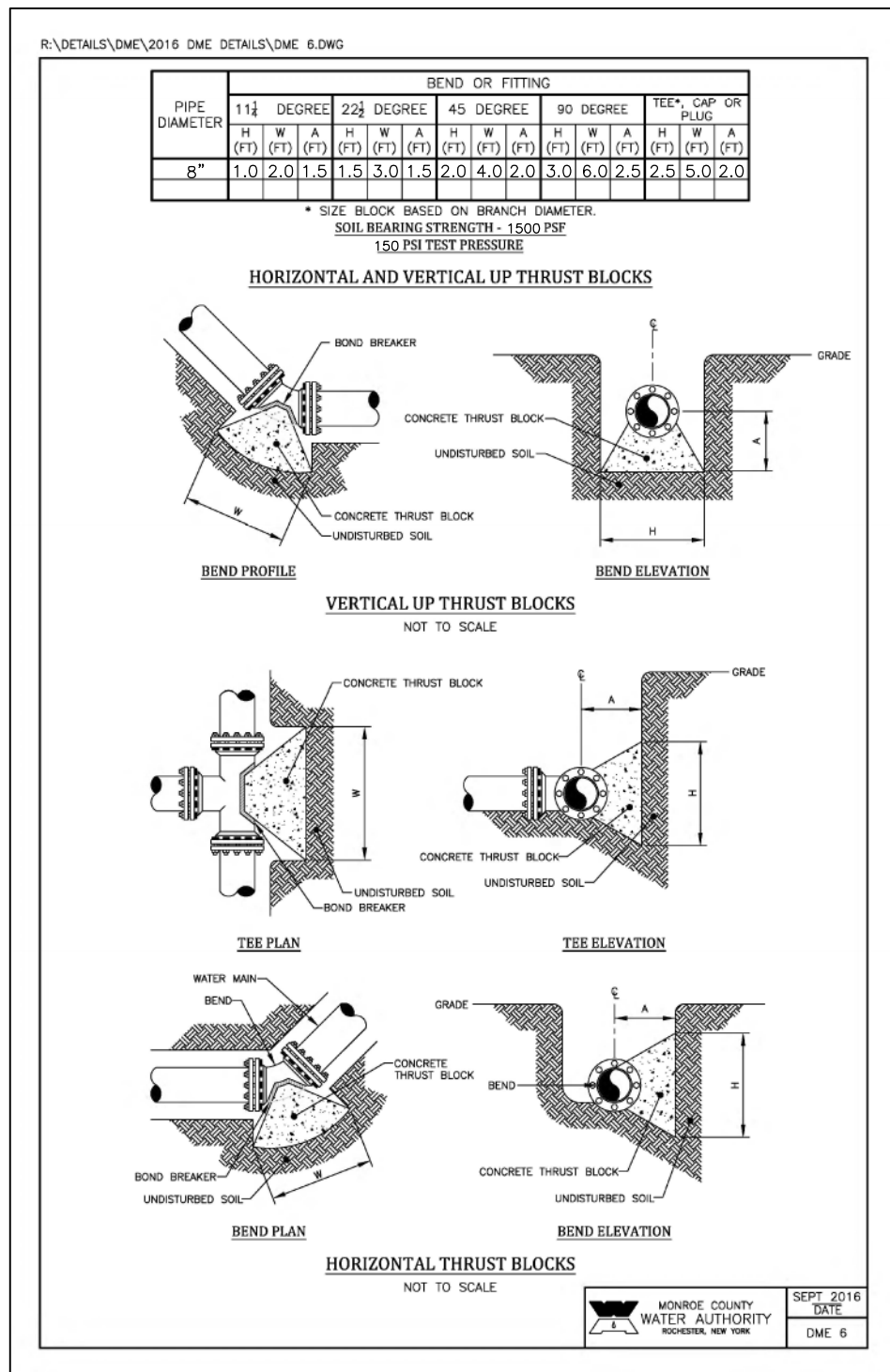
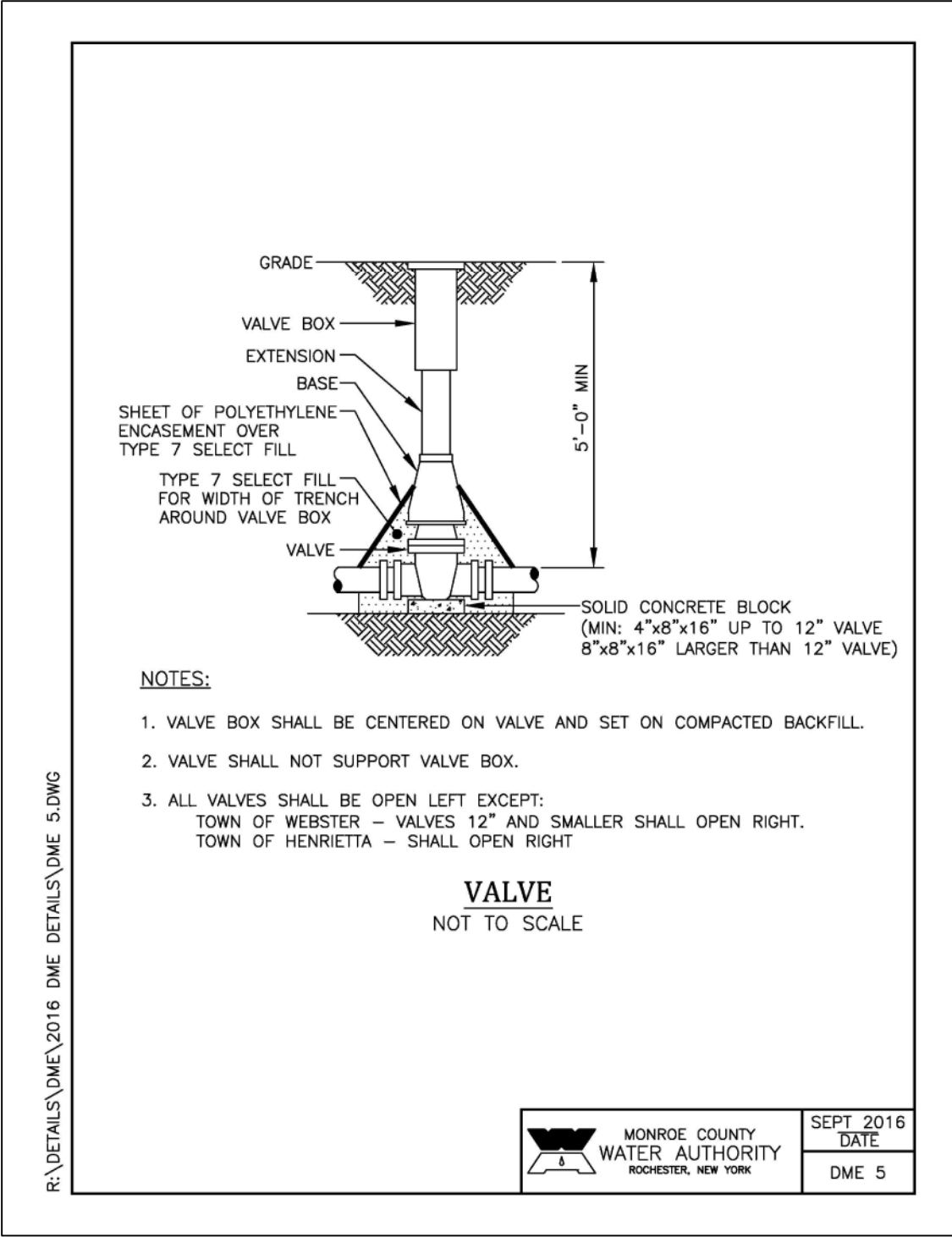
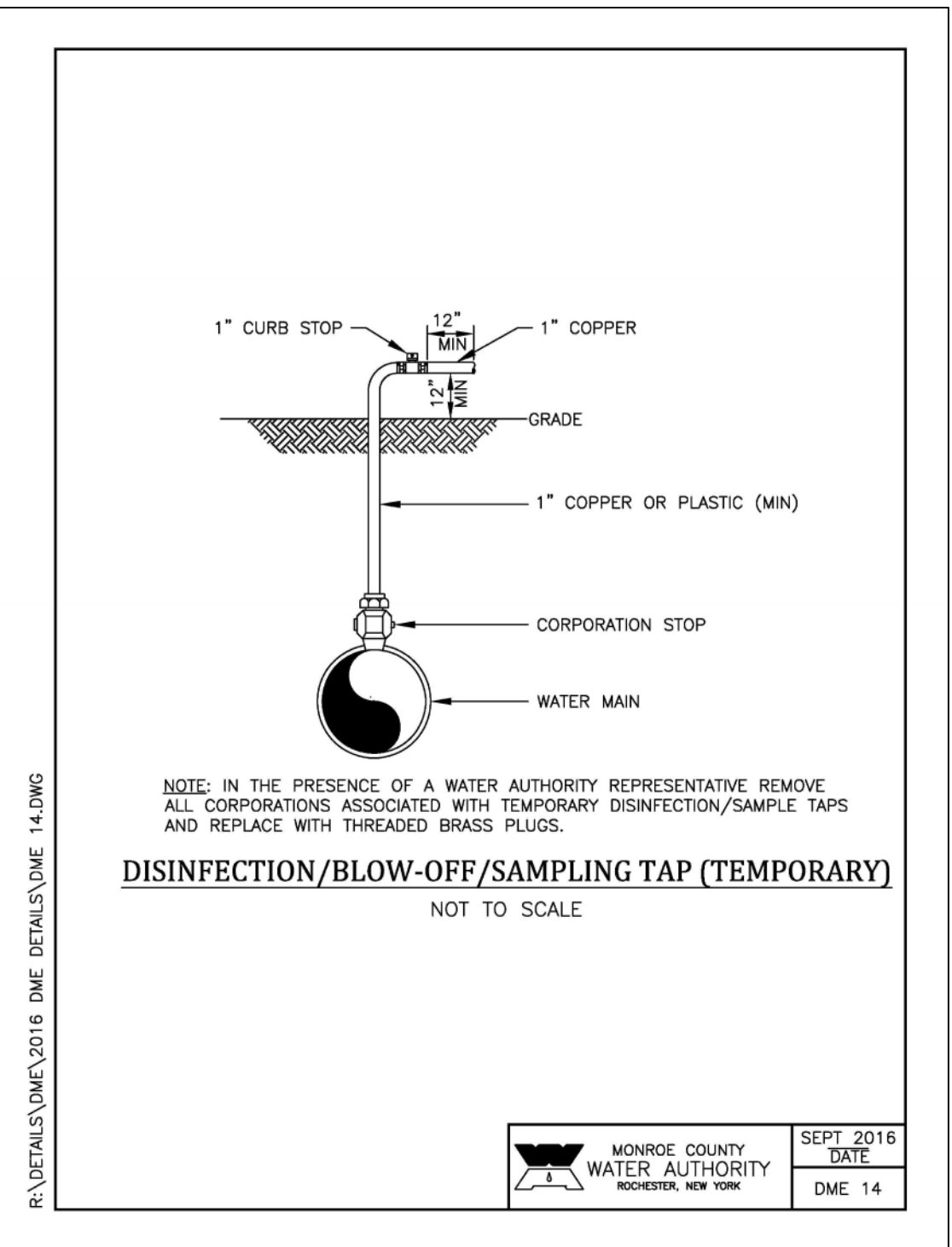
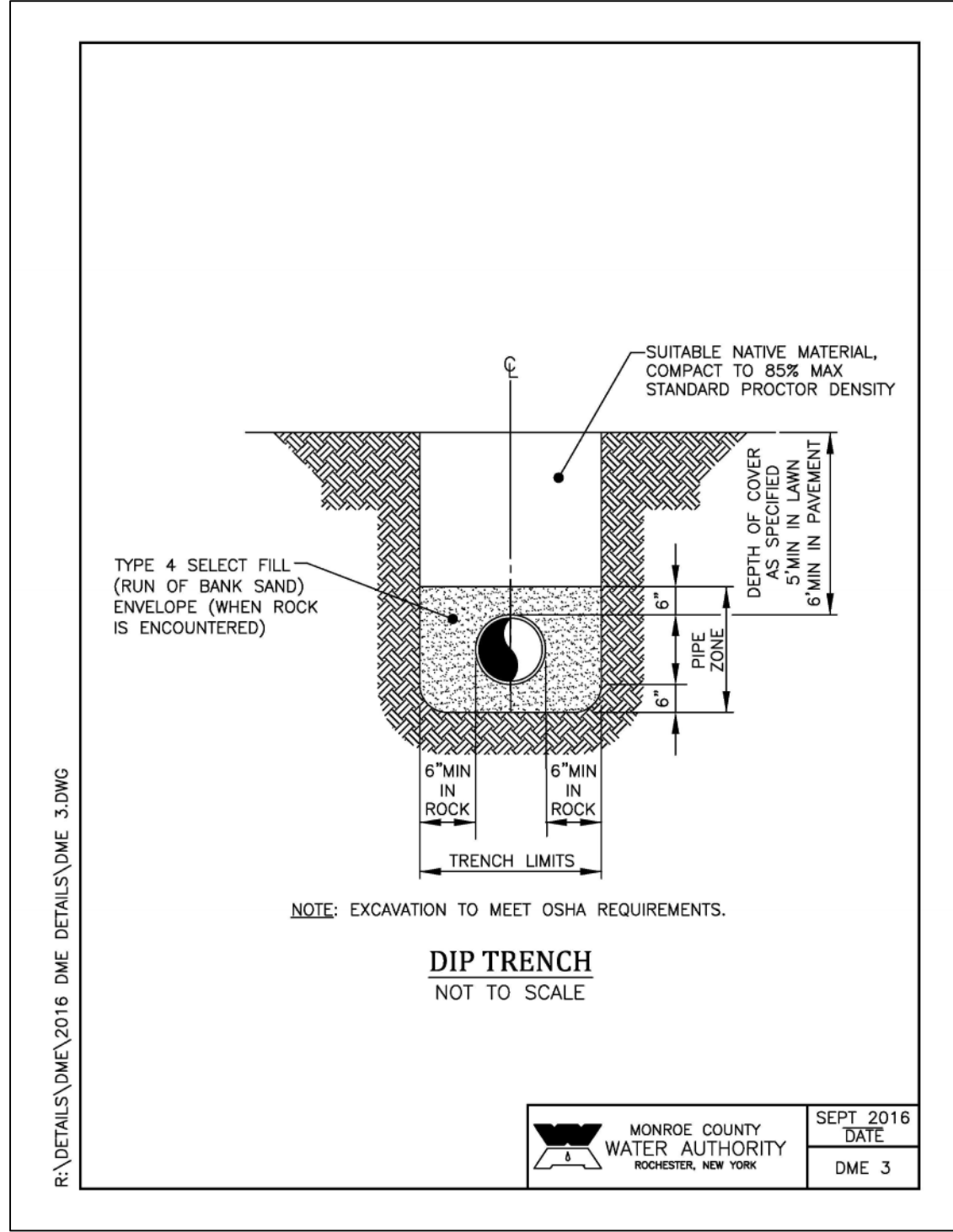


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| NO. | REVISION | DATE |  | DSB Engineers and Architects, P.C. 2304 Ridgeway Avenue, Suite 201, Rochester, New York 14626 ph. 936-971-2520 fax 936-971-2688 | | | | | | | | | | | | | | | | | | | |
|-----------|----------|--------|---|---|----------|--------|----------|-----------|------|----|-----------|-------------|------|-------|----------|----------|--------|--------|--|--------|----------|--------|--------|
| | | | | PROJECT ABERDEEN ESTATES SUBDIVISION PART OF LOTS 8 & 25, TOWNHIP 14, RANGE 4 OF THE FIRST & 6 & 6TH MAIN PURCHASE, TOWN OF WESTER, MONROE COUNTY, NEW YORK | | | | | | | | | | | | | | | | | | | |
| | | | | DRAWING TITLE DETAILS AND NOTES FINAL PHASE 3 | | | | | | | | | | | | | | | | | | | |
| | | | | CLIENT FOREST CREEK EQUITY CORP. 3240 CHILI AVENUE ROCHESTER, N.Y. 14624 | | | | | | | | | | | | | | | | | | | |
| | | | | <table border="1"> <thead> <tr> <th>PROJ. NO.</th> <th>DATE</th> <th>BY</th> <th>DESIGN BY</th> <th>APPROVED BY</th> <th>DATE</th> <th>SCALE</th> <th>DWG. NO.</th> </tr> </thead> <tbody> <tr> <td>21-12024</td> <td>N.E.S.</td> <td>W.F.B.</td> <td></td> <td>O.E.S.</td> <td>01/13/20</td> <td>N.T.S.</td> <td>8 OF 9</td> </tr> </tbody> </table> | | | | PROJ. NO. | DATE | BY | DESIGN BY | APPROVED BY | DATE | SCALE | DWG. NO. | 21-12024 | N.E.S. | W.F.B. | | O.E.S. | 01/13/20 | N.T.S. | 8 OF 9 |
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| 21-12024 | N.E.S. | W.F.B. | | O.E.S. | 01/13/20 | N.T.S. | 8 OF 9 | | | | | | | | | | | | | | | | |



| NO. | REVISION | DATE |
|-----|--|------------|
| 1 | 1. REFER TO MANHOLE INVERT CONFIGURATION & DIMENSIONS DETAIL FOR MANHOLE DIAMETER "A" OR "B". | SEPT. 2016 |
| 2 | 2. ALL DETAILS LISTED APPLY TO BOTH TYPES OF MANHOLES. | SEPT. 2016 |
| 3 | 3. PRECAST CONC. MANHOLE WALL & SLAB MINIMUM THICKNESS: | SEPT. 2016 |
| 4 | 4. MAXIMUM DISTANCE BETWEEN MANHOLES SHALL BE 400 FEET. | SEPT. 2016 |
| 5 | 5. CONCRETE SHALL BE CAST-IN-PLACE CLASS "A" MEETING NYS DOT SECTION 501 SPECIFICATIONS. | SEPT. 2016 |
| 6 | 6. RUBBER GASKET OR SCHEDULE 40. | SEPT. 2016 |
| 7 | 7. SAND GRAVEL AND UNDISTURBED EARTH MEETING THE REQUIREMENTS OF THE NYS DOT STANDARD SPECIFICATION, MAY 1, 2008 EDITION, PAGES 7-14. SUBSTITUTION 702-1001 CRUSHED STONE, PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2. | SEPT. 2016 |
| 8 | 8. BROOKS AGGREGATE MEETING THE REQUIREMENTS OF THE NYS DOT STANDARD SPECIFICATION, MAY 1, 2008 EDITION, PAGES 7-14. SUBSTITUTION 702-1001 CRUSHED STONE, PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2. | SEPT. 2016 |
| 9 | 9. CRUSHED STONE, PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2. | SEPT. 2016 |
| 10 | 10. CRUSHED STONE, PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2. | SEPT. 2016 |
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| 15 | 15. CRUSHED STONE, PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2. | SEPT. 2016 |
| 16 | 16. CRUSHED STONE, PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2. | SEPT. 2016 |
| 17 | 17. CRUSHED STONE, PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2. | SEPT. 2016 |
| 18 | 18. CRUSHED STONE, PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2. | SEPT. 2016 |
| 19 | 19. CRUSHED STONE, PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2. | SEPT. 2016 |
| 20 | 20. CRUSHED STONE, PRIMARY SIZE OR A MIXTURE OF PRIMARY SIZES 1 AND 2. | SEPT. 2016 |

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PROJECT: ABERDEEN ESTATES SUBDIVISION
PART OF LOTS 21 & 23, TOWNSHIP 14, RANGE 4 OF THE PHELPS & CORHAM PURCHASE, TOWN OF WEBSTER, MONROE COUNTY, NEW YORK

DRAWING TITLE: DETAILS AND NOTES FINAL PHASE 3

CLIENT: FOREST CREEK EQUITY CORP.
3501 CHIEF AVENUE
ROCHESTER, N.Y. 14624

PROJ. NO.: 03-0334 **DWG. NO.:** 03-0334 **DESIGN BY:** N.E.S. **APPROVED:** N.E.S. **DATE:** 07/25/2016 **SCALE:** N.T.S. **DWG. NO.:** 03-0334