

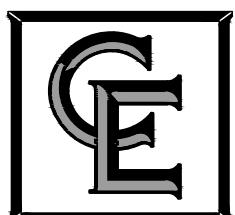
REFERENCE(S)

1. LIBER 369 OF MAPS, PAGE 26

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COSTICH ENGINEERING, D.P.C.**

Only copies from the original or the surveyor's original of the land surveyor's embossed seal shall be considered to be a valid true copy."

APPROVED BY: *[Signature]* SETBACKS
DWG FILE: H:\job\4500\4500.10 Bella Terra\Section 2\Survey\Instruments\Plot Plans\209-210 Plot Plan.dwg FRONT: 35'
PLOTTED: Oct 29, 2025 - 9:40 AM



- CIVIL
ENGINEERING
- LAND
SURVEYING
- LANDSCAPE
ARCHITECTURE

SITE DATA

1 PROJECT BULK DATA - TOWNHOUSES

	<u>REQUIRED</u>	<u>PROPOSED</u>
a. MINIMUM BUFFER (RESIDENTIAL)	150 FT.	150 FT.
b. MINIMUM WIDTH DWELLING UNIT	20 FT.	42± FT.
c. MAXIMUM BUILDING HEIGHT	30 FT.	≤ 30 FT.
d. MAXIMUM BUILDING LENGTH	165 FT.	84± FT.
e. MINIMUM HABITABLE FLOOR AREA (PER UNIT)	1,000 SQ. FT.	2,160 SQ. FT.
f. MAXIMUM UNIT DENSITY	6 UNITS/ACRE	1.9 UNITS/ACRE
g. MINIMUM DISTANCE BETWEEN STRUCTURES	40 FT.	40 FT.
h. MINIMUM DRIVEWAY SEPARATION	5 FT.	5 FT.
i. MAXIMUM IMPERVIOUS AREA	75%	19.8%
 <u>PROJECT DATA</u>		
FRONT SETBACK	<u>REQUIRED</u>	<u>PROPOSED</u>
	N/A	25 FT.

PLOT PLAN

ADDRESS: **557 TERRA VERDE WAY & TBD** 065 02-6-20 & 065 02-6-21 T.A.#

SUBDIVISION

885.0

SUBDIVISION: BEILA TERA SUBDIVISION SECTION 2A

LOT NUMBER:

TOWN:

COUNTY:

STATE:

W

2NR

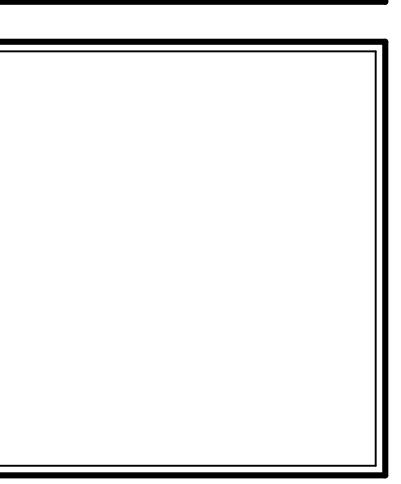
NEW YORK

217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

SCALE:

DATE: OCTOBER 20 2025

DWG. NUMBER
~~1500 10-209 PL OT~~



3033 BRIGHTON-HENRIETTA
TOWNELINE RD
ROCHESTER, NY 14623
CALL: (585) 272-9170
FAX: (585) 292-1262
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REVISIONS:		
DATE	BY	DESCRIPTION

CLIENT/LOCATION:

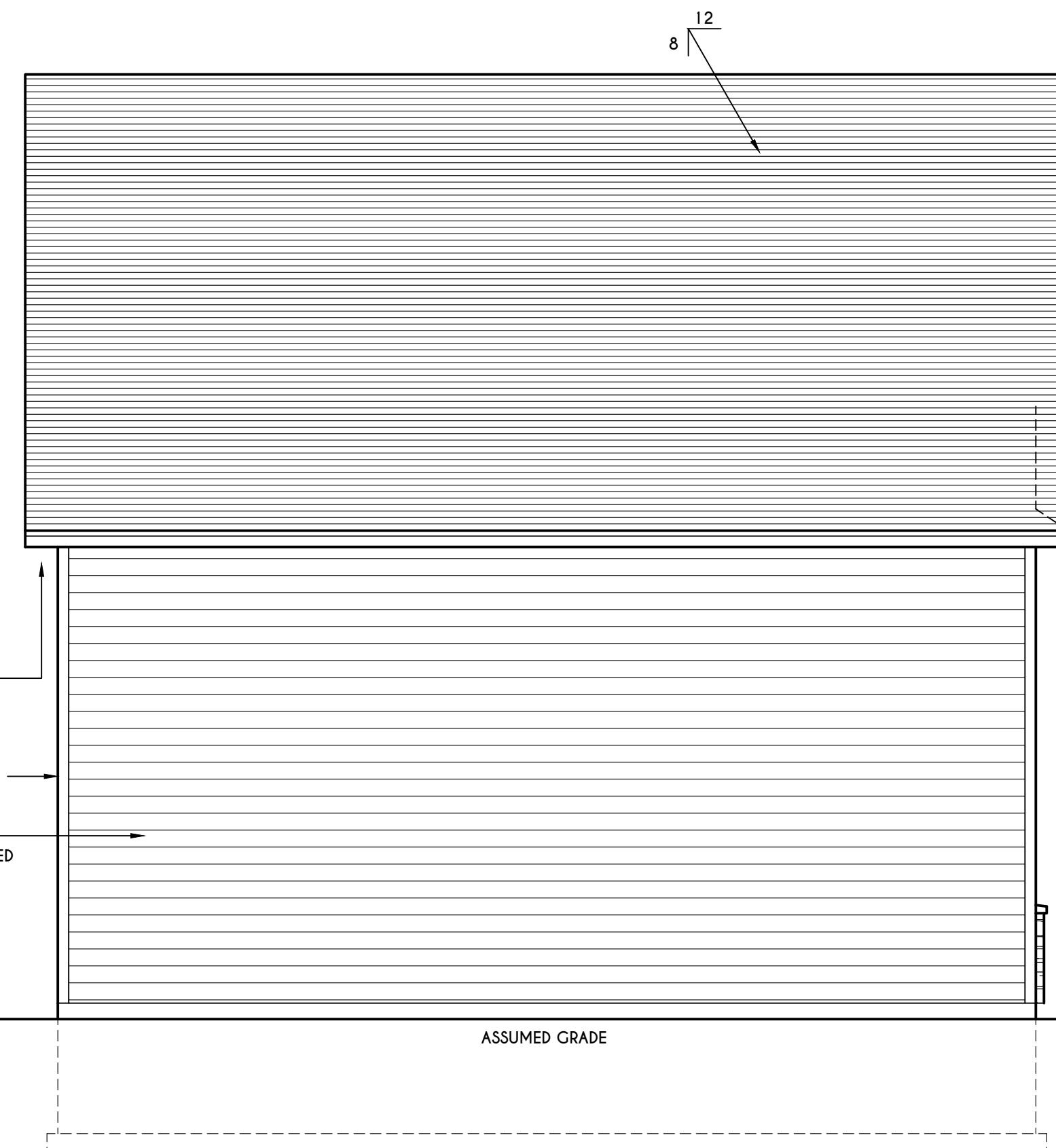
TRA-MAC GARAGE
LOT 209 BELLA TERRA
WEBSTER, NY

BUILDER:

THE TRA-MAC GROUP LLC

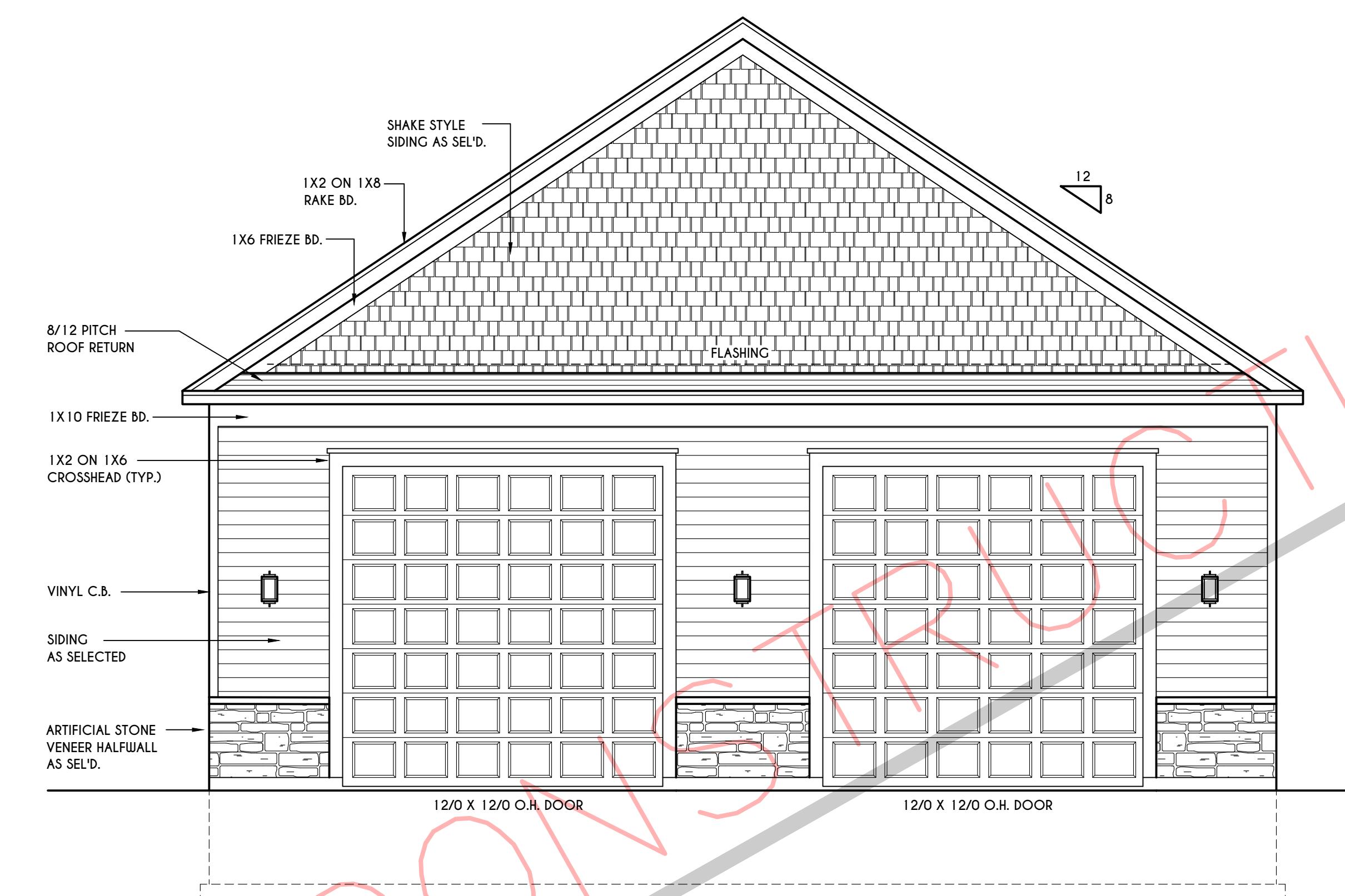
ELEVATIONS
DETACHED GARAGE

drawn: CDK checked: X
scale: AS NOTED date: 12 / 24
PROJECT: sheet: 1 / 2
6786



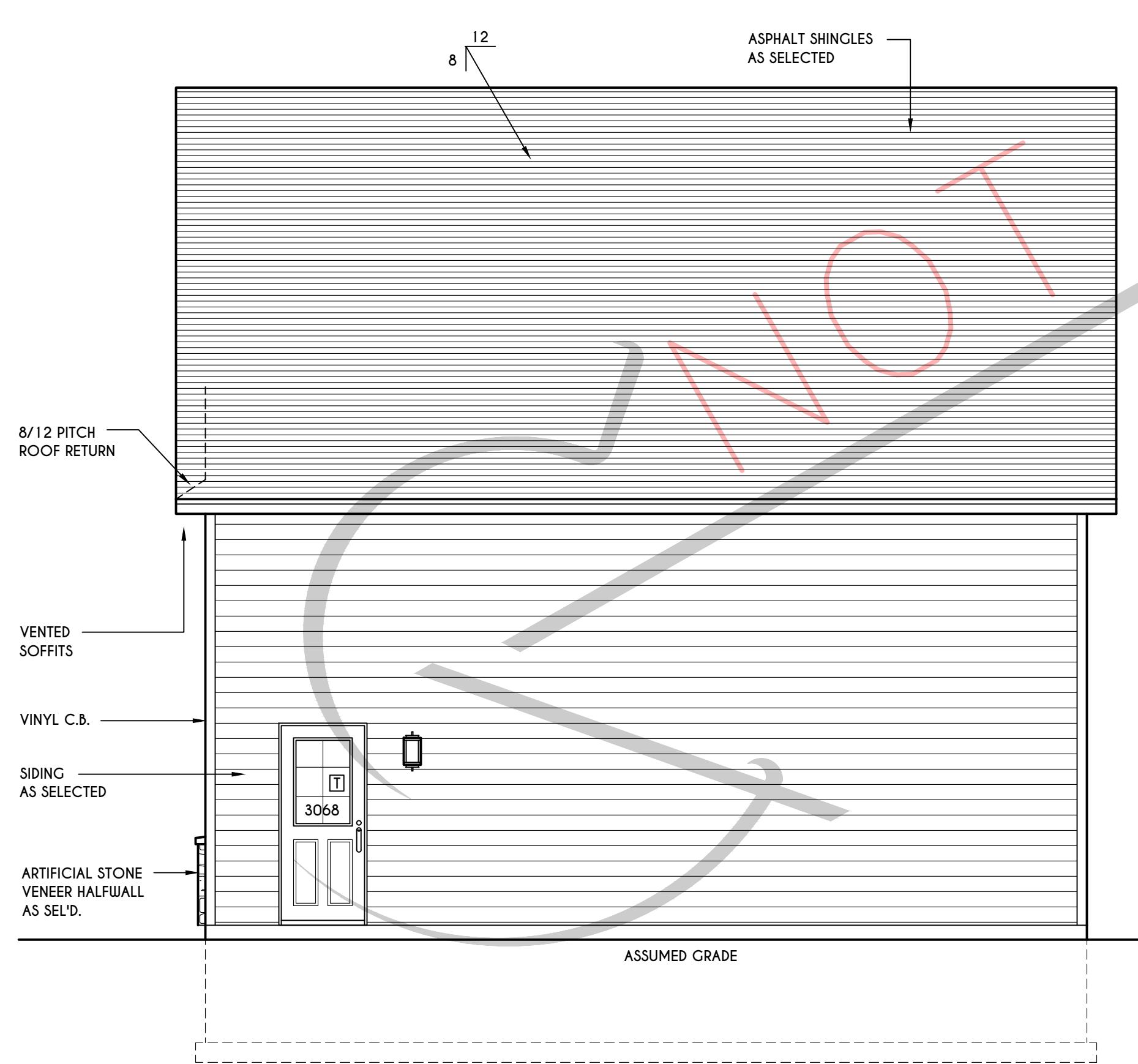
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



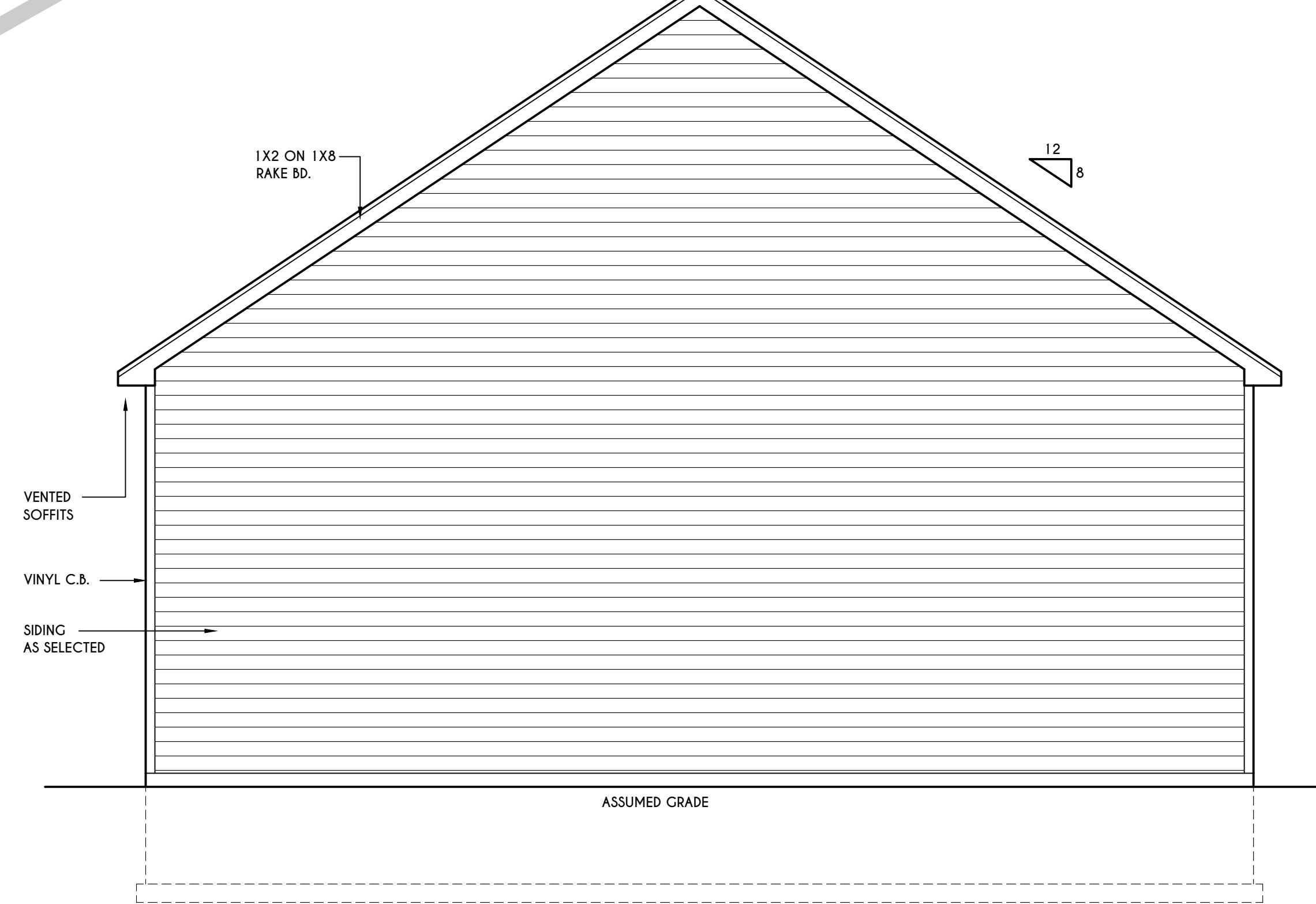
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

WINDOWS: N/A
U-FACTOR N/A
SHGC N/A
DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS,
SKYLIGHTS, & SLIDING DOORS TO BE NO
MORE THAN 0.3 CFM/ft² & SUBDOORS
NO MORE THAN 0.3 CFM/ft² AS PER SECT.
R402.4.3 OF 2020 ECBC/NYS

WINDOW / DOOR LEGEND:

- MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 - PER SECT. R310.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE
UNIT REQUIRES SAFETY GLAZING.
PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THE OPERABLE WINDOW
UNIT REQUIRES FACTORY APPLIED FALL
PROTECTION PER SECT. R312.2 OF 2020 RCNYS

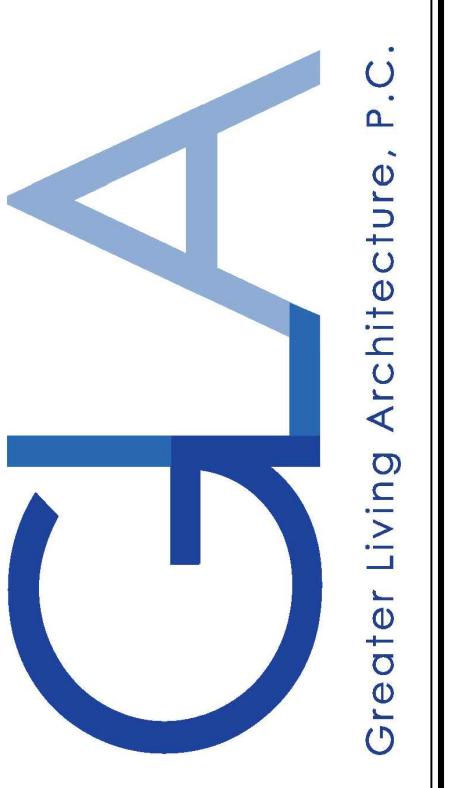
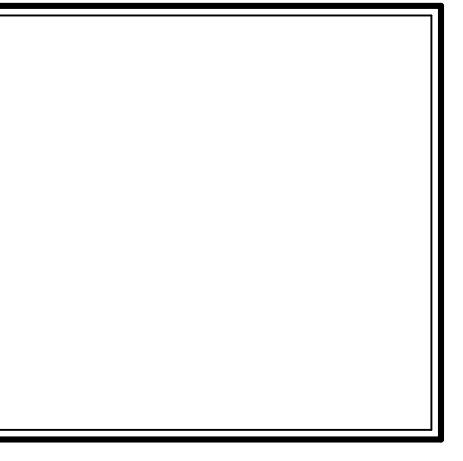
GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS
NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS
AS PER CODE- THE MINIMUM NET FREE
VENTILATION AREA SHALL BE 15% OF THE
AREA OF THE VENTED SPACE (SECT. R806.2)
4/12 PITCH ROOFS OR SHALLOWER
TO HAVE 2 LAYERS 15# FELT

CONTRACTOR TO CONTACT THIS OFFICE PRIOR
TO CONSTRUCTION IF THE ASSUMED GRADE
DEPICTED IS INACCURATE AND / OR WILL ALTER
THE DESIGN AND / OR STRUCTURE NOTED.

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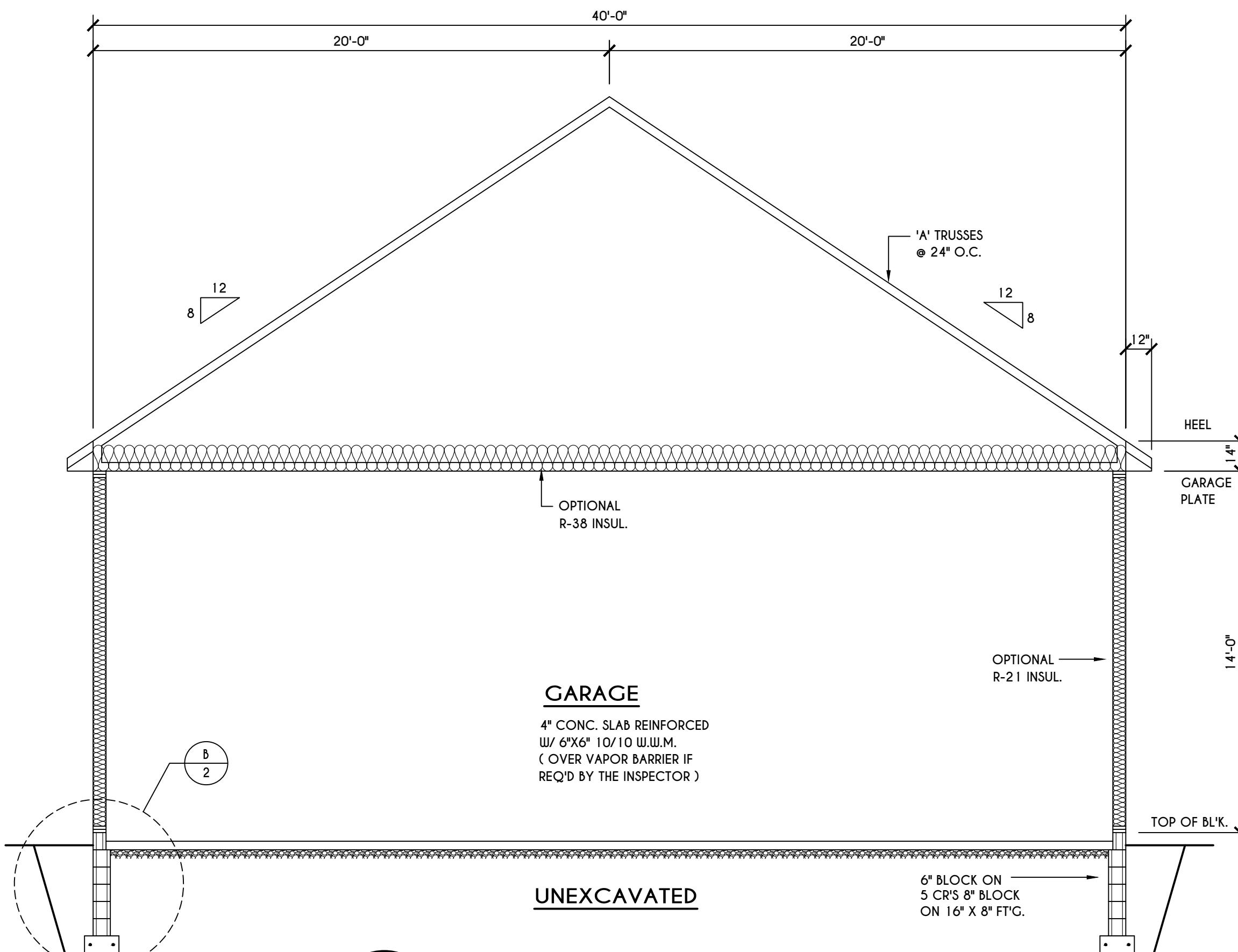
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LOT 209 BELLA TERRA
WEBSTER, NY

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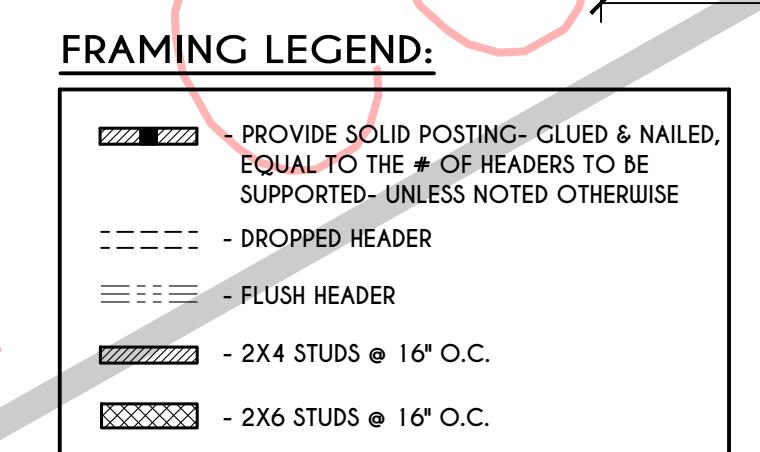
FOUNDATION PLAN
DETACHED GARAGE

drawn:	checked:
CDK	X
scale:	date:
AS NOTED	12 / 24
PROJECT:	sheet:
6786	2



BUILDING SECTION
A
2

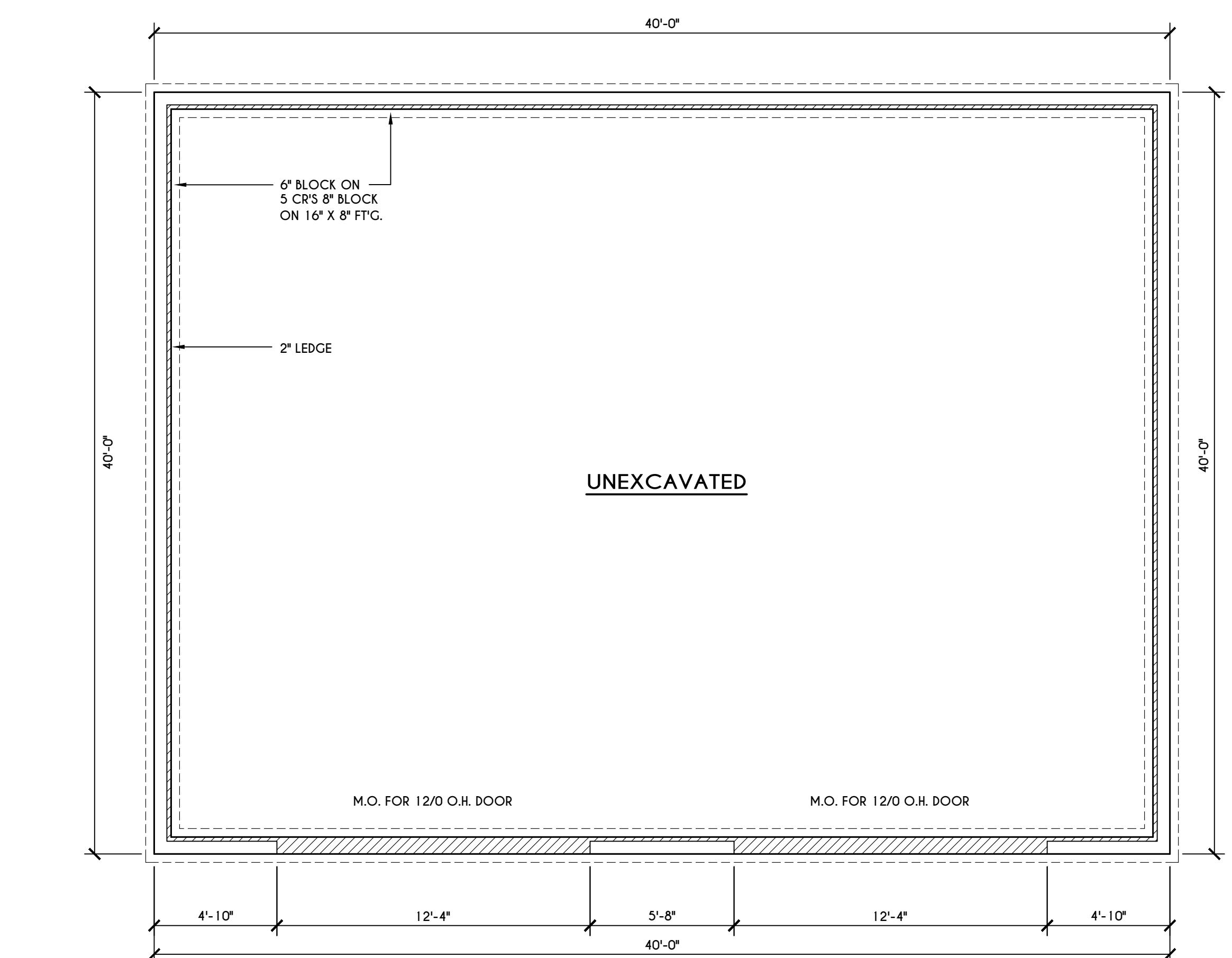
SCALE: 1/4" = 1'-0"



GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"

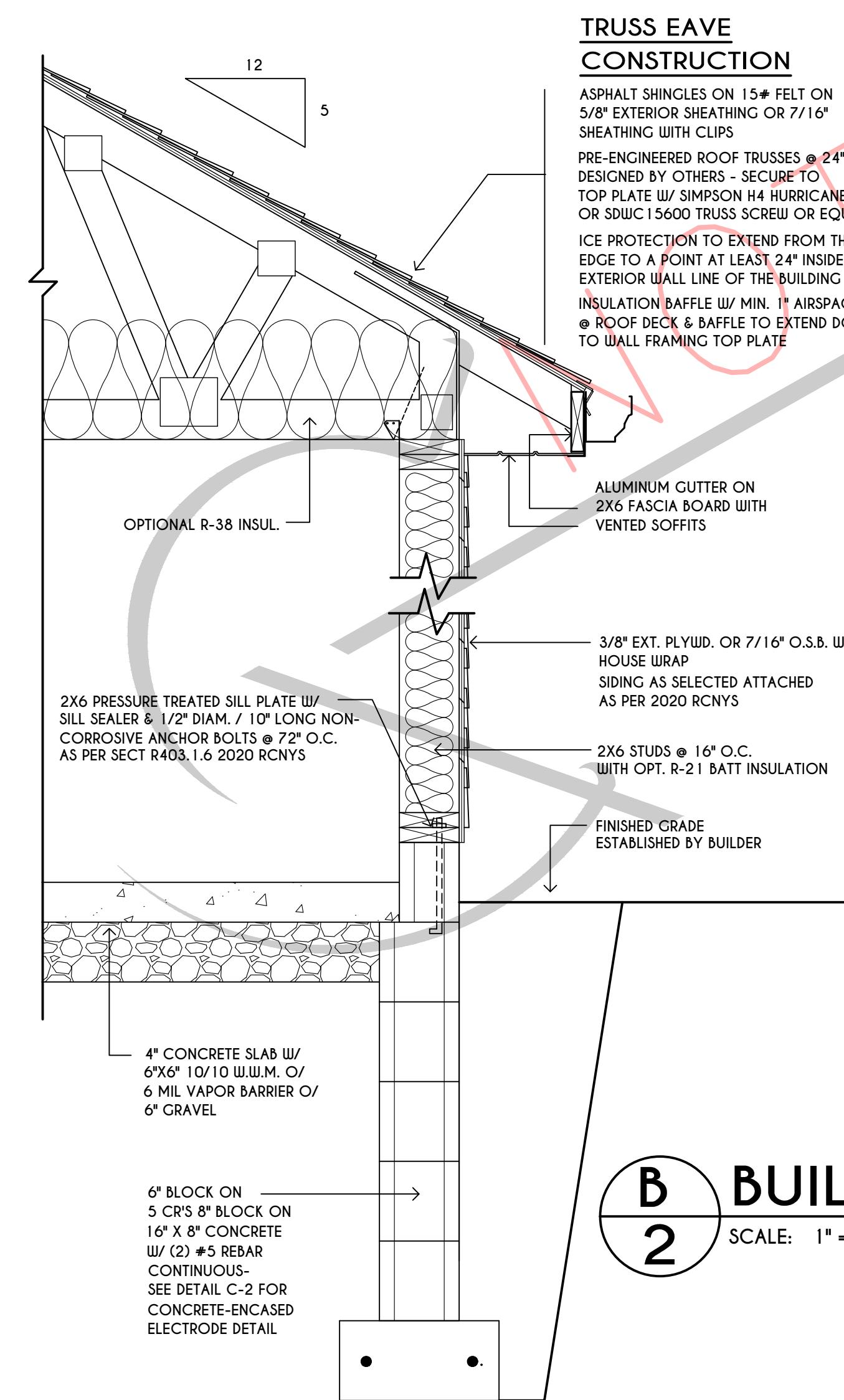
NOTES: FIRST FLOOR PLATE HOT TO BE 12'-0" (UNLESS NOTED OTHERWISE)
ALL WINDOW R.O. HTGS TO BE 6'-8" U.N.O.
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NOTES: CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED
IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND / OR STRUCTURE NOTED
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS
PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"



BUILDING SECTION
B
2

SCALE: 1" = 1'-0"