

REFERENCE(S)

1. LIBER 369 OF MAPS, PAGE 26

SITE DATA

1. PROJECT BULK DATA - TOWNHOUSES

- a. MINIMUM BUFFER (RESIDENTIAL)  
b. MINIMUM WIDTH DWELLING UNIT  
c. MAXIMUM BUILDING HEIGHT  
d. MAXIMUM BUILDING LENGTH  
e. MINIMUM HABITABLE FLOOR AREA (PER UNIT)  
f. MAXIMUM UNIT DENSITY  
g. MINIMUM DISTANCE BETWEEN STRUCTURES  
h. MINIMUM DRIVEWAY SEPARATION  
i. MAXIMUM IMPERIOUS AREA

REQUIRED

- 150 FT.  
20 FT.  
30 FT.  
165 FT.  
1,000 SQ. FT.  
6 UNITS/ACRE  
40 FT.  
5 FT.  
75%

PROPOSED

- 150 FT.  
42± FT.  
≤ 30 FT.  
84± FT.  
2,160 SQ. FT.  
1.9 UNITS/ACRE  
40 FT.  
5 FT.  
19.8%

PROJECT DATA

FRONT SETBACK

REQUIRED

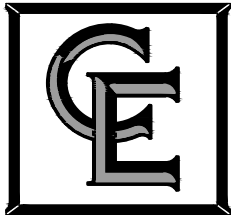
N/A

PROPOSED

35 FT.

PLOT PLAN

ADDRESS:	557 TERRA VERDE WAY & TBD 065.02-6-20 & 065.02-6-21		T.A.#
SUBDIVISION:	BELLA TERA SUBDIVISION SECTION 2A		LOT NUMBER:
TOWN:	WEBSTER	COUNTY:	MONROE
SCALE:	1"=40'	DATE:	OCTOBER 29, 2025
		STATE:	NEW YORK
		DWG. NUMBER	4500.10-209-PLOT

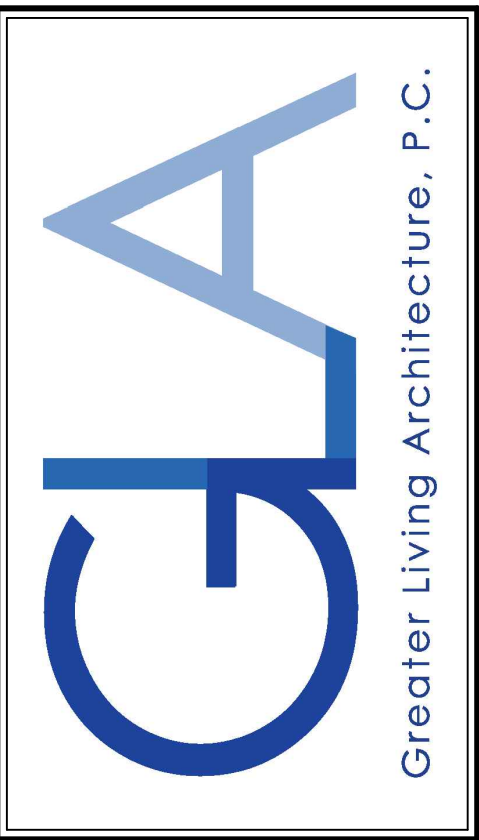


- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

COSTICH ENGINEERING

217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 458-3020

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CALL: (585) 272-9170  
FAX: (585) 292-1262  
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REVISIONS:		
DATE	BY	DESCRIPTION

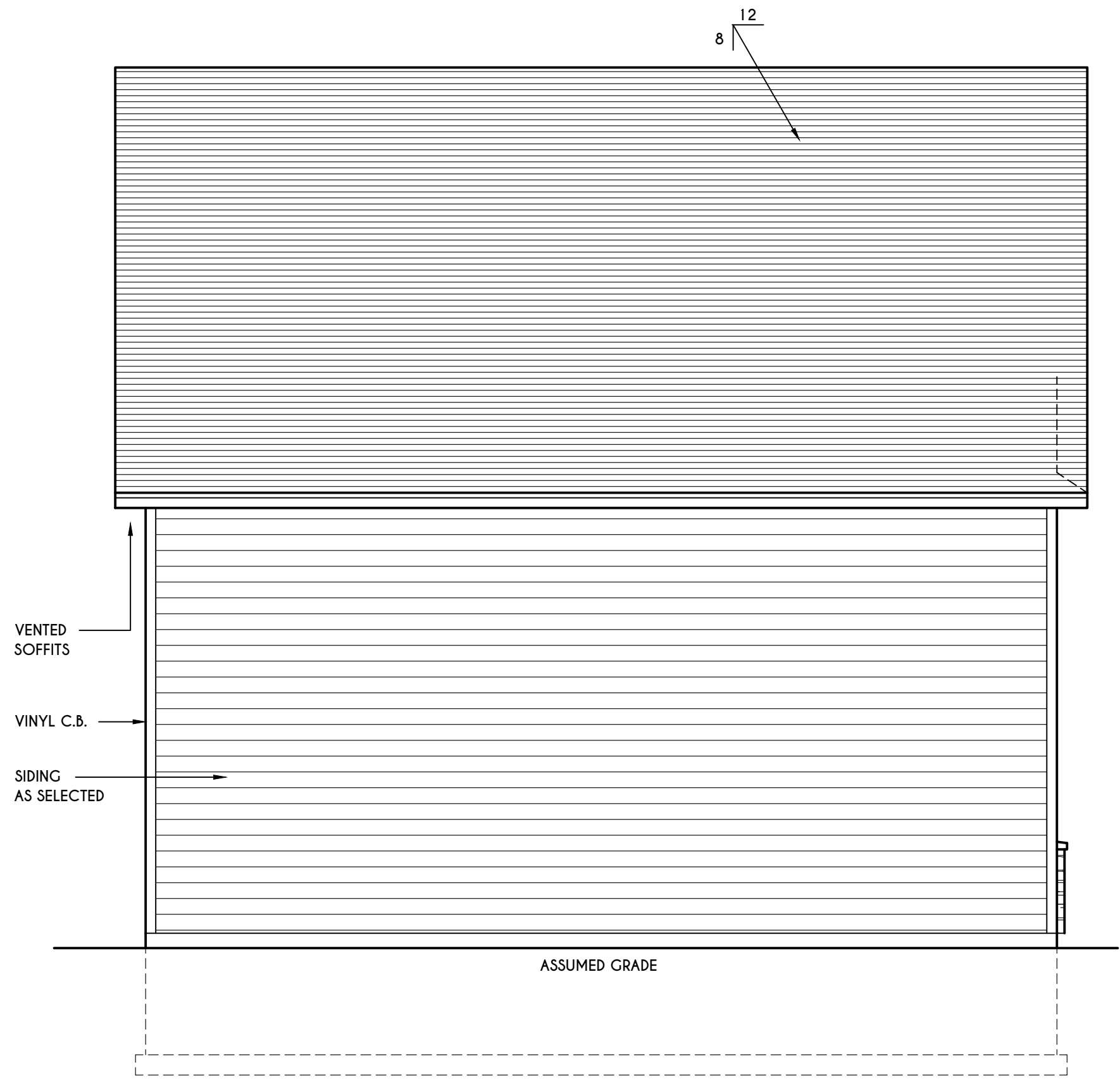
CLIENT/LOCATION:  
  
TRA-MAC GARAGE  
LOT 209 BELLA TERRA  
WEBSTER, NY

BUILDER:  
  
THE TRA-MAC GROUP LLC

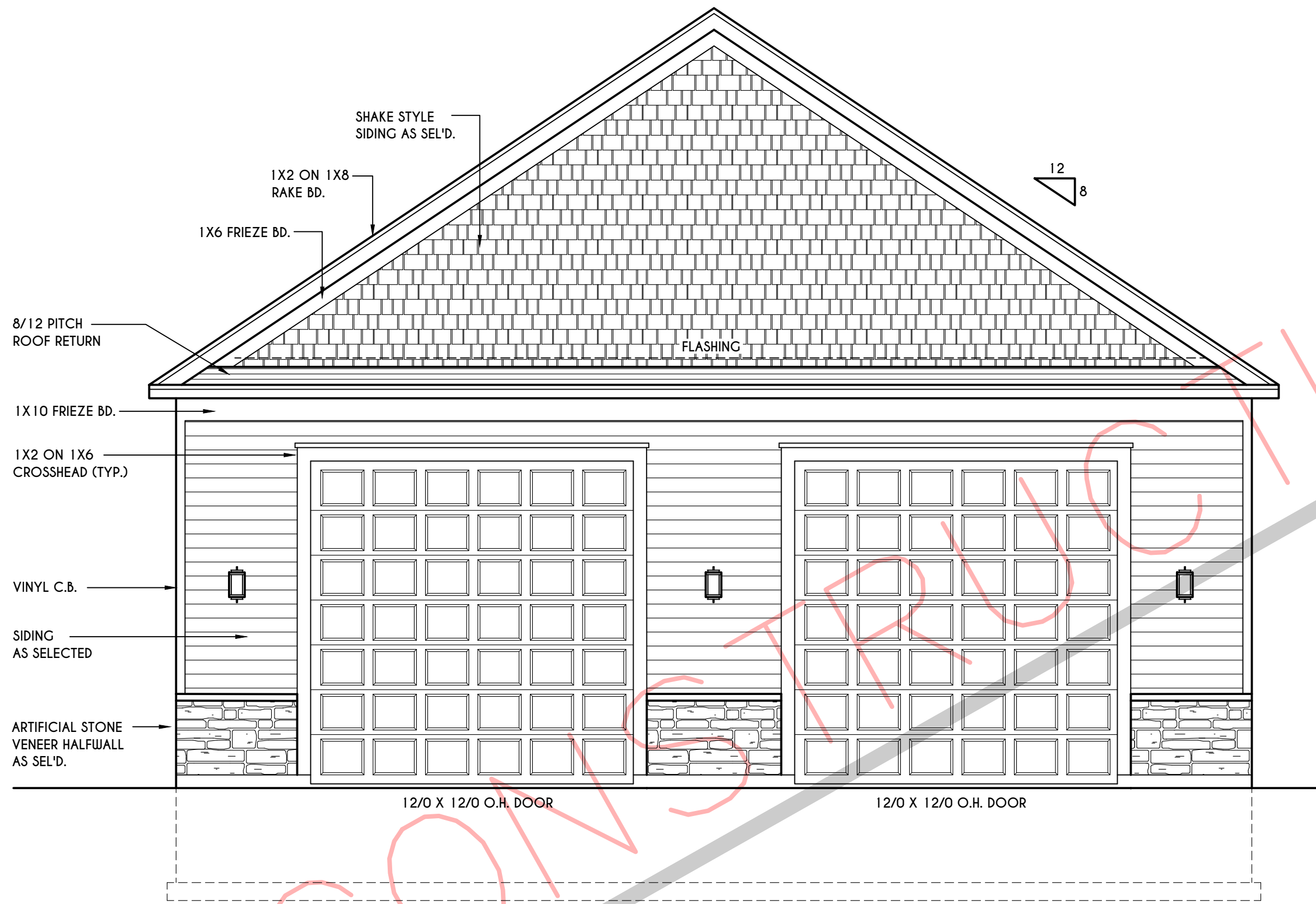
ELEVATIONS

DETACHED GARAGE

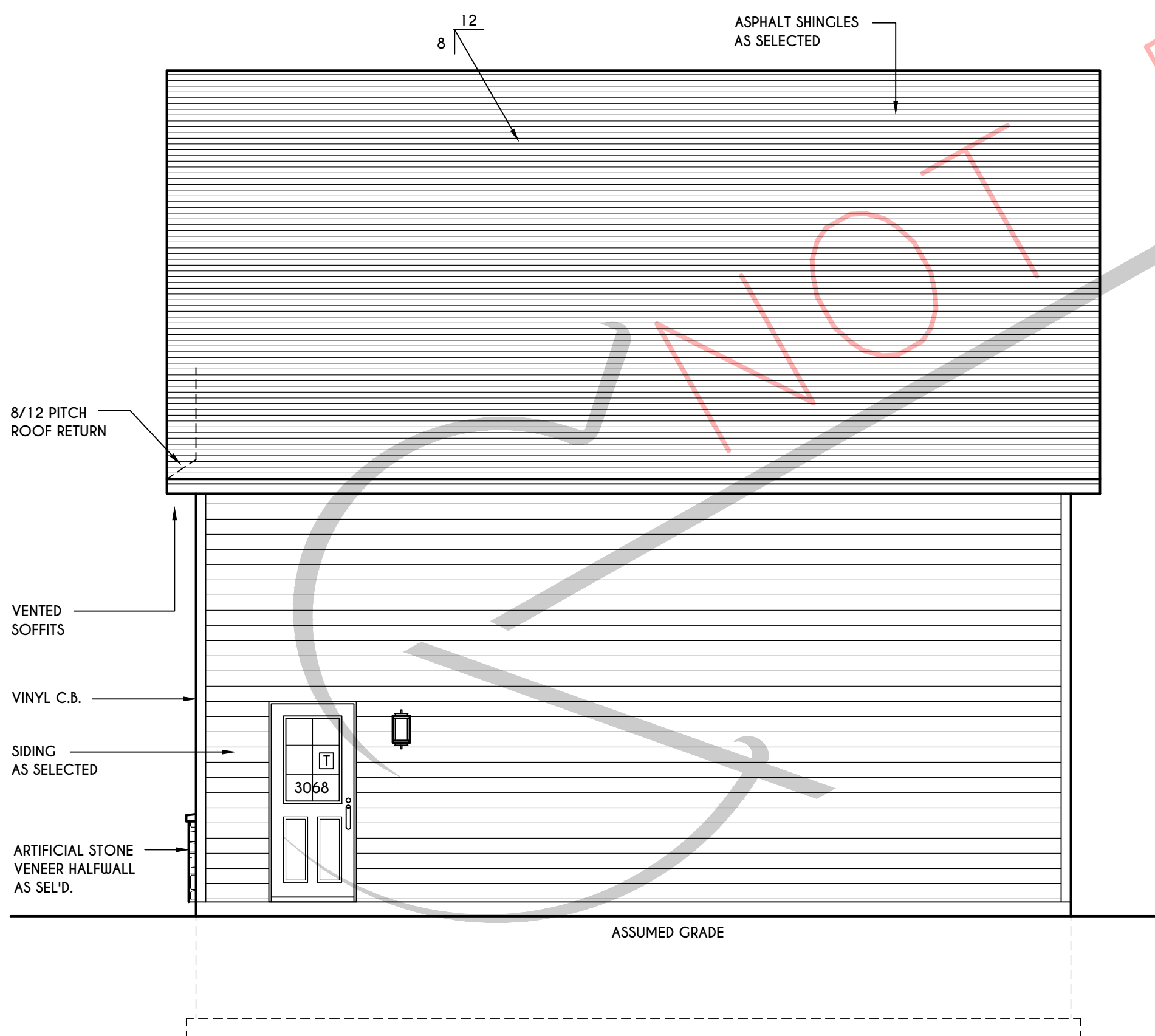
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scale: AS NOTED	date: 12 / 24
PROJECT:  6786	sheet:  1 2



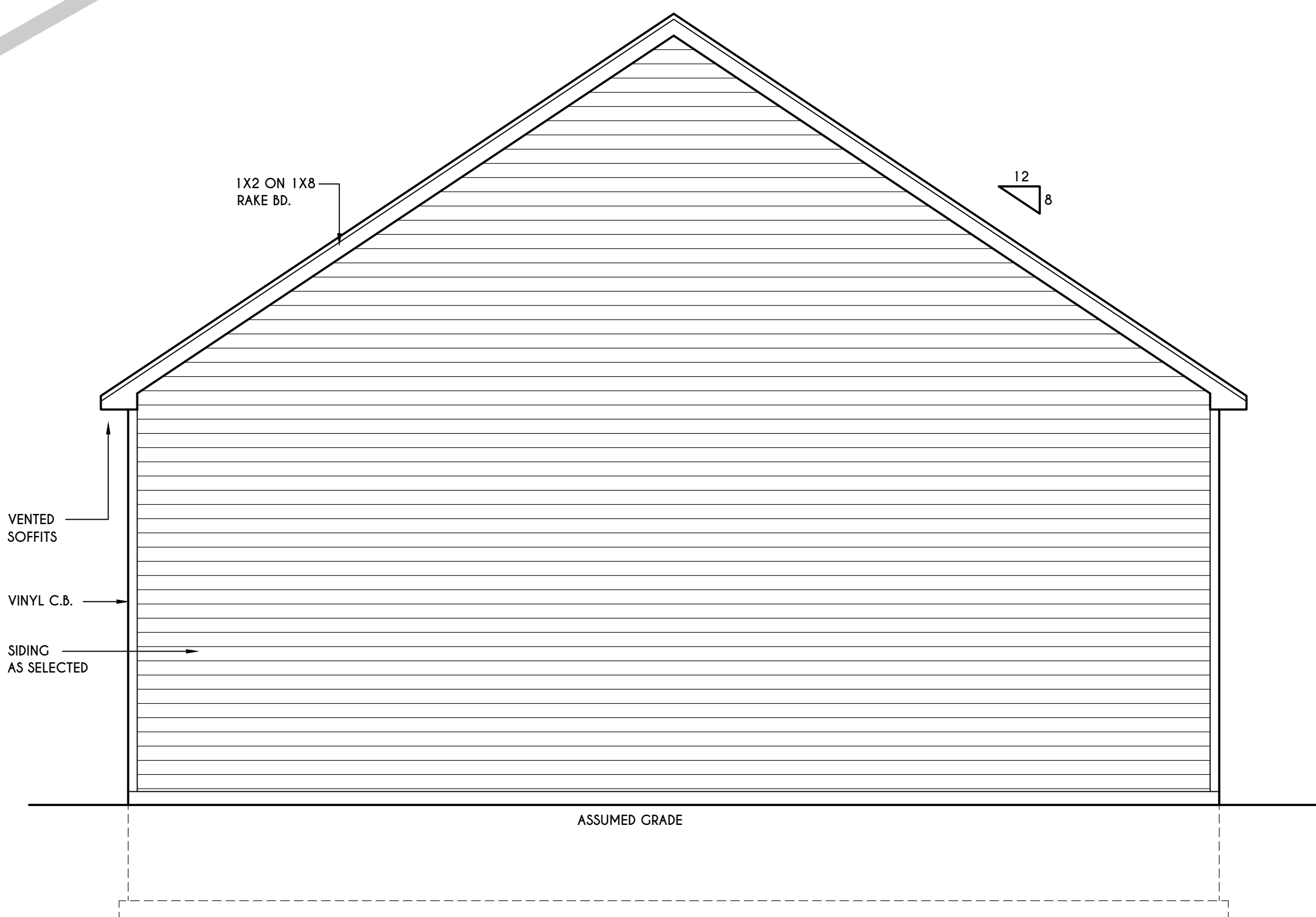
LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



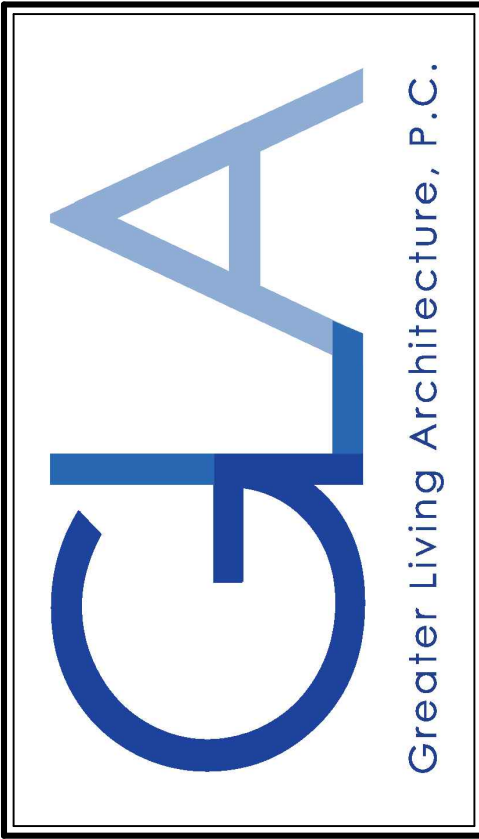
RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"

WINDOWS: N/A  
U-FACTOR ..... N/A  
SHGC ..... N/A  
SELECTION BY OWNER  
DOORS: SELECTION BY OWNER  
AIR INFILTRATION RATE FOR WINDOWS,  
SKYLIGHTS, & SLIDING DOORS TO BE NO  
MORE THAN 0.3 cfm/sf. & SWING DOORS  
NO MORE THAN 0.5 cfm/sf. AS PER SECT.  
R402.4.3 OF 2020 ECCCNY  
WINDOW / DOOR LEGEND:  
[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
- CLEAR OPENING AREA OF 5.7 SQ. FT.  
- CLEAR OPENING WIDTH OF 20"  
- CLEAR OPENING HEIGHT OF 24"  
PER SECT. R310.1 OF 2020 RCNYS  
[T] = SPECIFIES THAT THIS FIXED OR OPERABLE  
UNIT REQUIRES SAFETY GLAZING  
PER SECT. R308.4 OF 2020 RCNYS  
[FP] = SPECIFIES THAT THIS OPERABLE WINDOW  
UNIT REQUIRES FACTORY APPLIED FALL  
PROTECTION PER SECT. R312.2 OF 2020 RCNYS  
GENERAL NOTES:  
ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS  
NOTED OTHERWISE  
BUILDER TO PROVIDE ROOF OR RIDGE VENTS  
AS PER CODE- THE MINIMUM NET FREE  
VENTILATION AREA SHALL BE 1/150 OF THE  
AREA OF THE VENTED SPACE (SECT. R806.2)  
4/12 PITCH ROOFS OR SHALLOWER  
TO HAVE 2 LAYERS 15# FELT  
CONTRACTOR TO CONTACT THIS OFFICE PRIOR  
TO CONSTRUCTION IF THE ASSUMED GRADE  
DEPICTED IS INACCURATE AND / OR WILL ALTER  
THE DESIGN AND / OR STRUCTURE NOTED.

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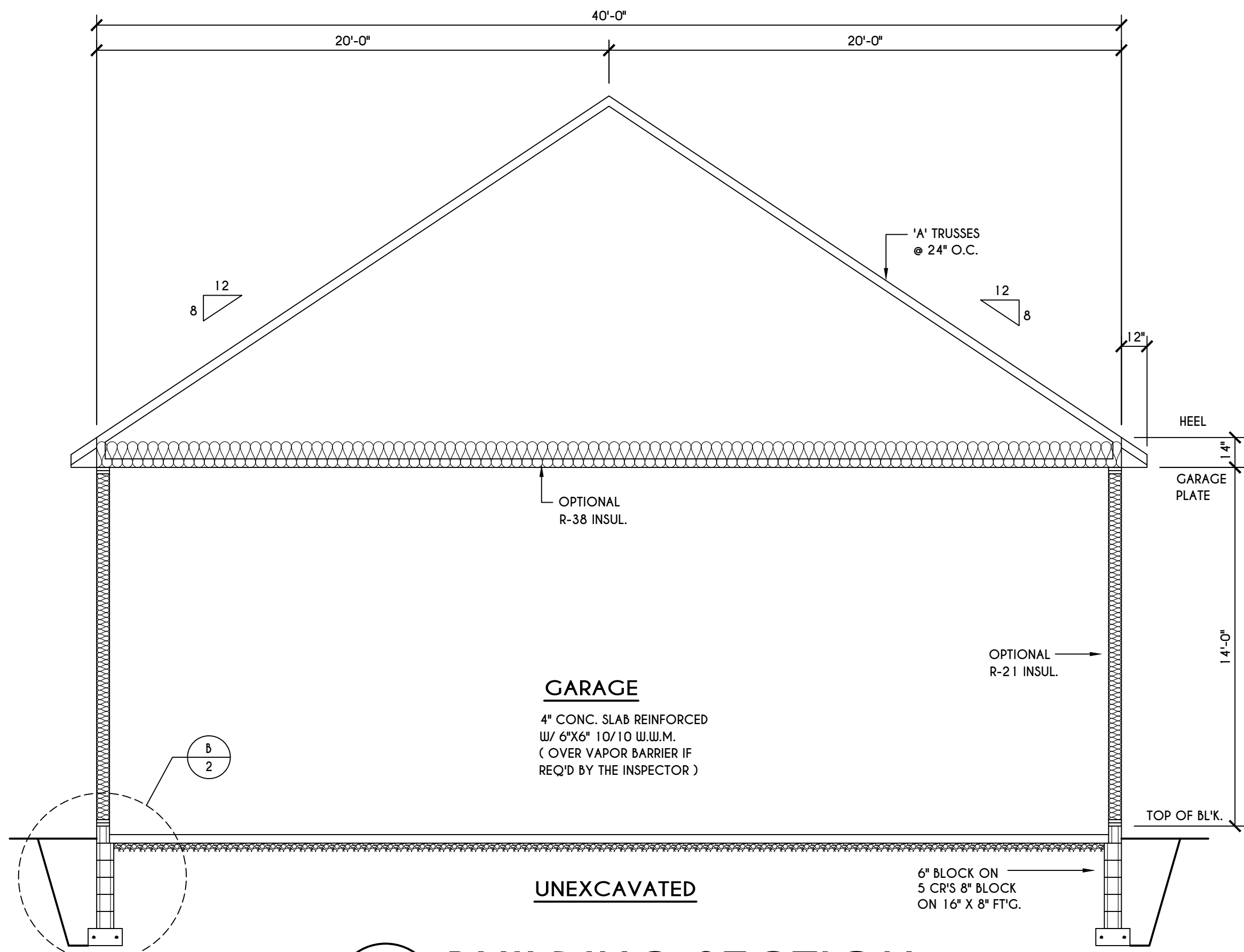
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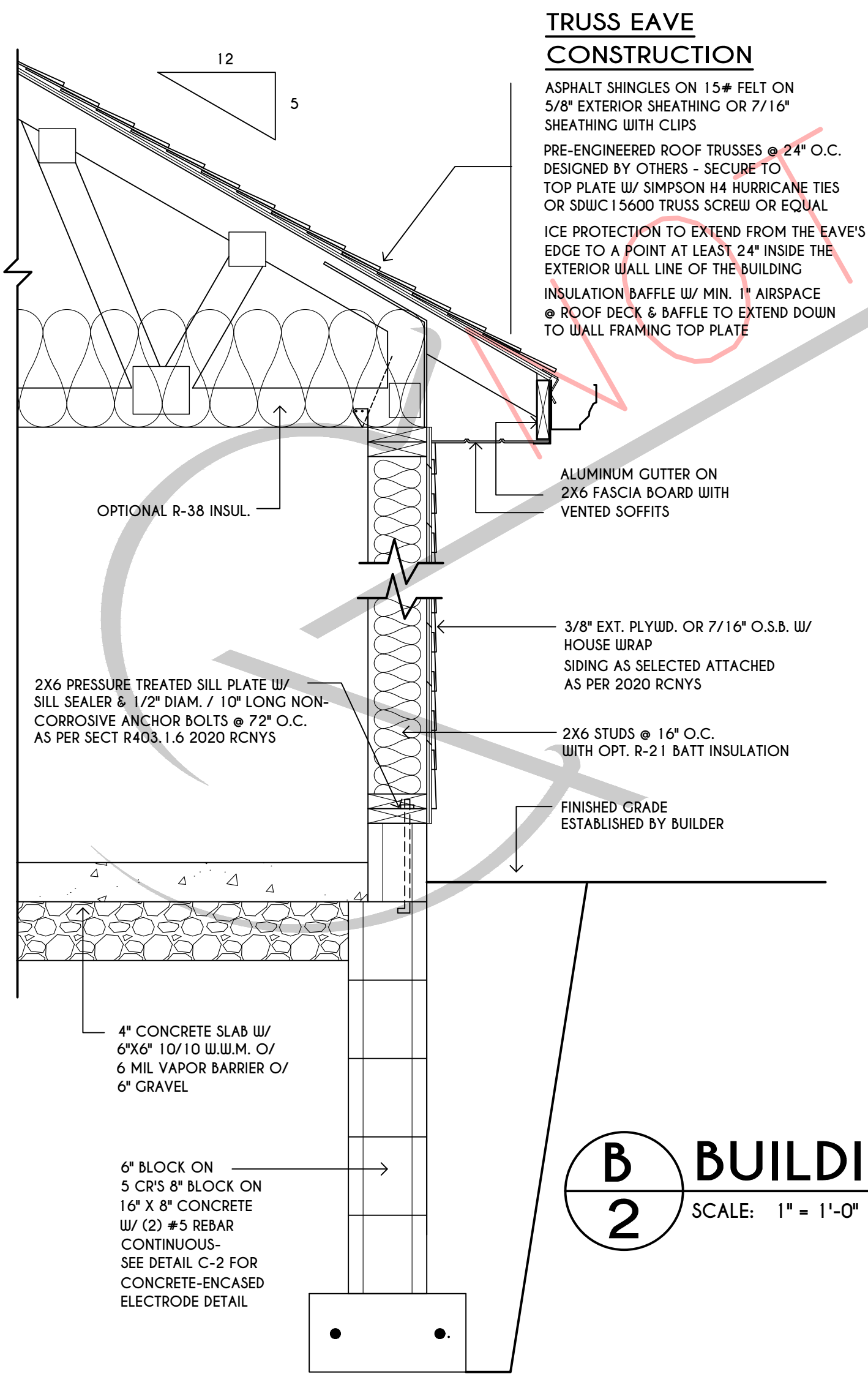
**FOUNDATION PLAN**

**DETACHED GARAGE**

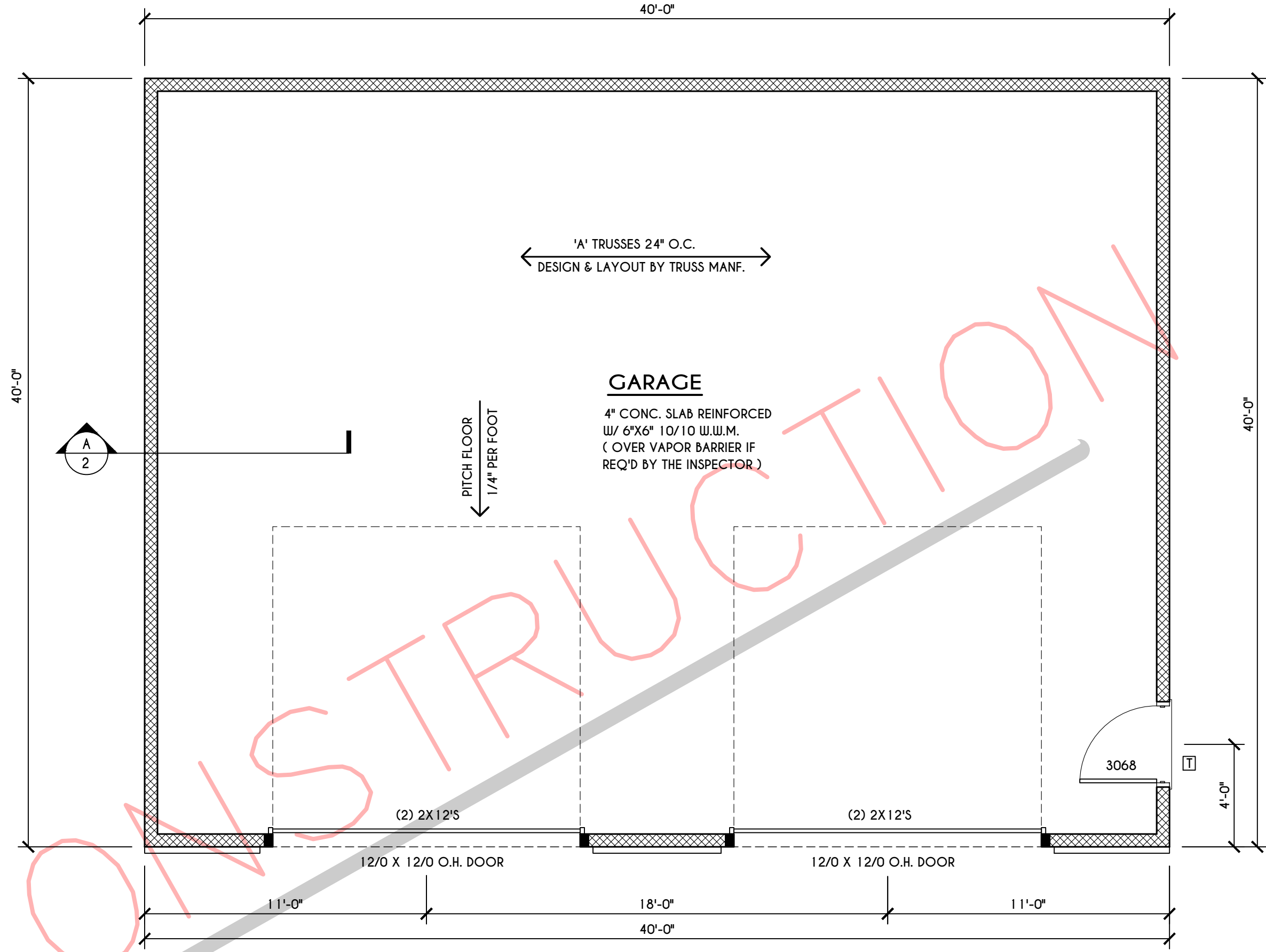
drawn: CDK	checked: X
scale: AS NOTED	date: 12 / 24
PROJECT: 6786	sheet: 2 / 2



**A**  
**2**  
**BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**B**  
**2**  
**BUILDING SECTION**  
SCALE: 1" = 1'-0"

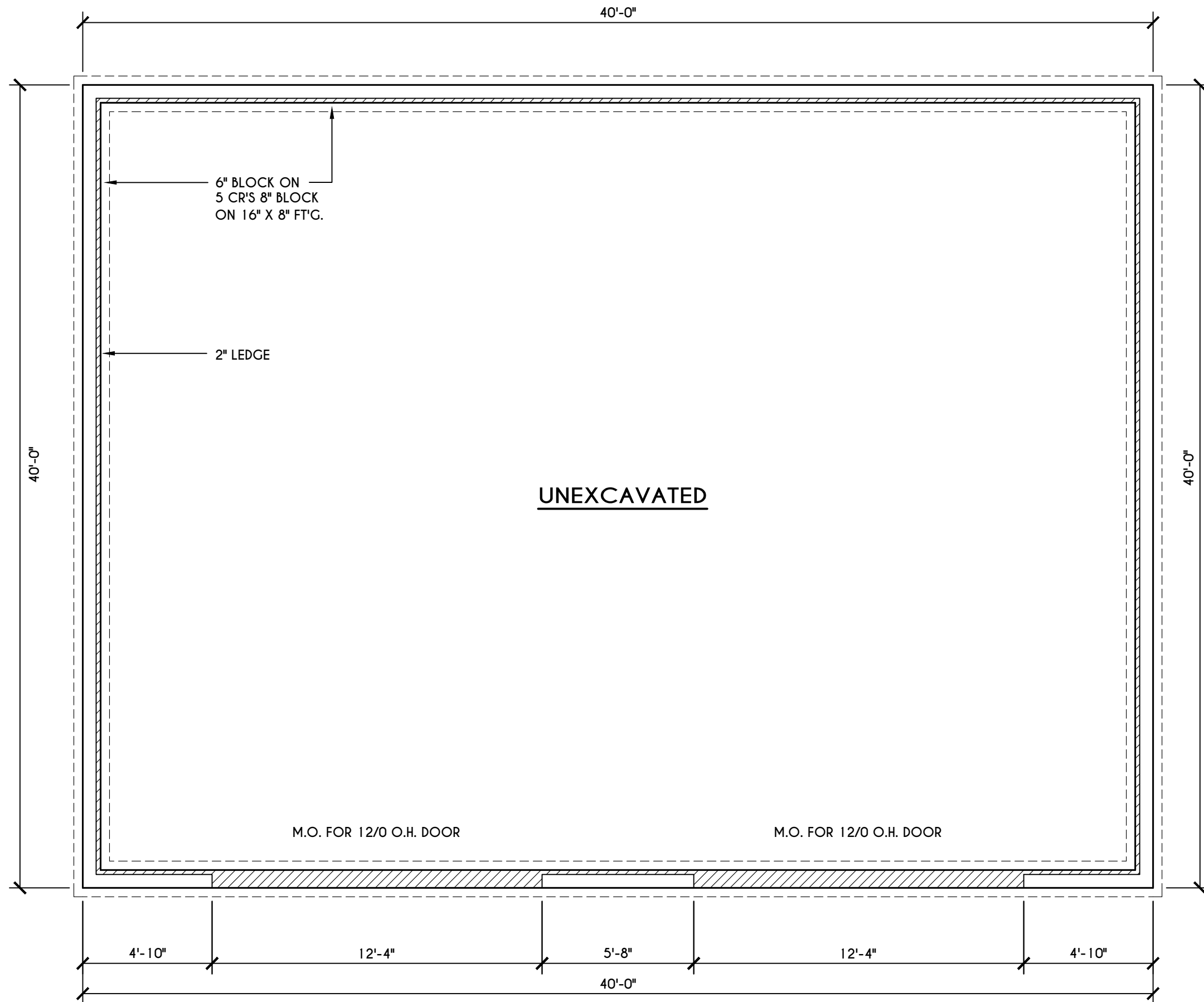


- FRAMING LEGEND:**
- PROVIDE SOLID POSTING- CLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
  - DROPPED HEADER
  - FLUSH HEADER
  - 2X4 STUDS @ 16" O.C.
  - 2X6 STUDS @ 16" O.C.

**GARAGE FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**NOTES:** FIRST FLOOR PLATE NOT TO BE 12'-0" ( UNLESS NOTED OTHERWISE )  
ALL WINDOW R.O. HGT'S TO BE 6'-8" U.N.O.  
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"



**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

**NOTES:** CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED  
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS  
PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"