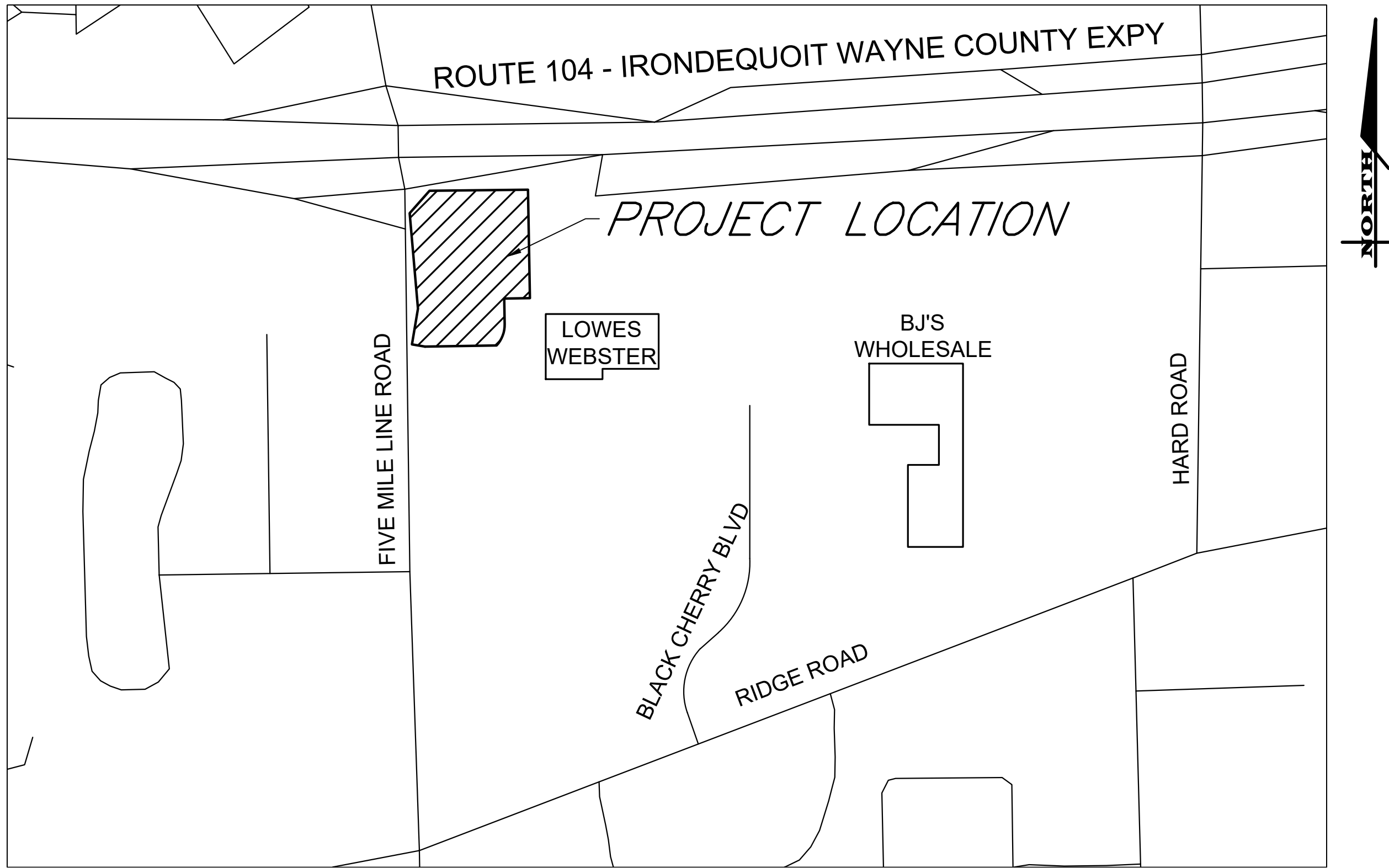


FINAL SITE PLANS  
for  
PIRANHA RENTS IN WEBSTER

FIVE MILE LINE ROAD

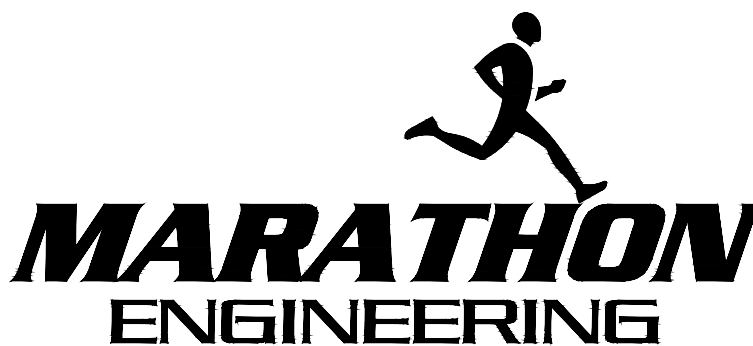
SITUATE IN:

TOWN OF WEBSTER - MONROE COUNTY - STATE OF NEW YORK



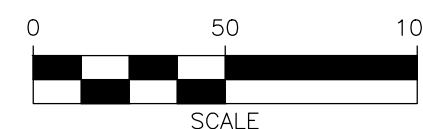
LOCATION MAP

NOT TO SCALE



ROCHESTER LOCATION  
39 CASCADE DRIVE  
ROCHESTER, NY 14614  
585 - 458 - 7770  
ITHACA LOCATION  
840 HANSHAW RD, STE 6  
ITHACA, NY 14850  
607 - 241 - 2917  
www.marathoneng.com

| SHEET SCHEDULE |          |                                  |
|----------------|----------|----------------------------------|
| No.            | DWG. No. | DESCRIPTION                      |
| 1              | C1.0     | OVERALL PLAN                     |
| 2              | V1.0     | EXISTING CONDITIONS & DEMOLITION |
| 3              | C2.0     | LAYOUT AND UTILITY PLAN          |
| 4              | C3.0     | GRADING & EROSION CONTROL PLAN   |
| 5              | C4.0     | LIGHTING & LANDSCAPING PLAN      |
| 6              | C5.0     | CONSTRUCTION DETAILS             |
| 7              | C5.1     | CONSTRUCTION DETAILS             |



1.1. ADDRESS: FIVE MILE LINE RD  
1.2. PARCEL TAX NUMBERS: 79.10-1-2.1  
1.3. OWNER: HEGEDORNS FAMILY LLC  
1.4. AREA: 7.943 ACRES

2.1. **ZONING DISTRICT:** HC - HIGH INTENSITY COMMERCIAL  
2.2. **PROPOSED USE:** CONSTRUCTION EQUIPMENT/RENTAL AND MAINTENANCE

|                                  | REQUIRED     | PROVIDED |
|----------------------------------|--------------|----------|
| 3.1. LOT SIZE .....              | 2 AC .....   | 7.9 AC   |
| 3.2. FRONT SETBACK .....         | 150 FT ..... | 150.3 FT |
| 3.3. SIDE SETBACK .....          | 75 FT .....  | 107.4 FT |
| 3.4. REAR SETBACK .....          | 50 FT .....  | 510.8 FT |
| 3.6. MAX BUILDING COVERAGE ..... | 20% .....    | 1.3 %    |

|                            |                         |
|----------------------------|-------------------------|
| <b>5.1. REQUIRED</b> ..... | <b>14<sup>(1)</sup></b> |
| <b>5.2. PROVIDED</b> ..... | <b>15</b>               |

(1) 1 SP PER 175 GROSS FLOOR AREA (OFFICE/SHOWROOM)  
1600 SF OFFICE & SHOWROOM / 175 = 10 SP

ENOUGH SPACES SO NO EMPLOYEES NEED TO PARK ON THE STREET  
4 EMPLOYEES = 4 SP

[illegible]

|  |                                 |
|--|---------------------------------|
|  | ADJACENT PROPERTY LINE          |
|  | PROJECT PROPERTY LINE           |
|  | EASEMENT LINE                   |
|  | RIGHT OF WAY (HIGHWAY BOUNDARY) |
|  | SIGN                            |
|  | EXISTING POWER POLE             |
|  | LIGHT POLE                      |
|  | EXISTING FENCE (DESCRIPTION)    |
|  | PROPOSED FENCE (DESCRIPTION)    |
|  | PROPOSED PARKING SPACE COUNT    |
|  | CURB                            |

TOWN OF WEBSTER  
LOCATION MAP  
NOT TO SCALE



**FINAL SITE PLANS**  
**for**  
**PIRANHA RENTS IN WEBSTER**

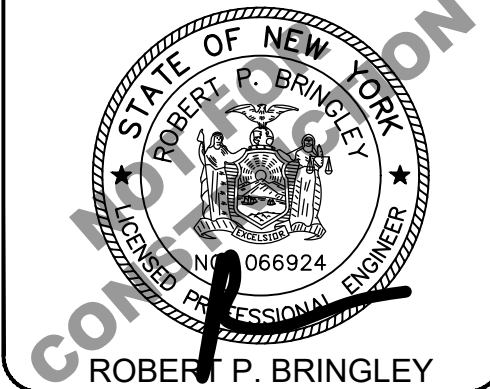
TOWN OF WEBSTER  
FIVE MILE LINE ROAD  
MONROE COUNTY  
STATE OF NEW YORK

JOB NO: 1843-25  
SCALE: 1"=50'  
DRAWN: RLB  
DESIGNED: MPT  
DATE: 11/10/2025

| REVISIONS |    |          |
|-----------|----|----------|
| DATE      | BY | REVISION |

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209 FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY WAY, AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR. IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

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DRAWING TITLE:  
OVERALL PLAN

1 of 7

SHEET No: \_\_\_\_\_

1843-25

# C1.0

DRAWING No:

**IRONDEQUOIT WAYNE COUNTY  
EXPRESSWAY**  
(MYS RTE. 104)

1. **MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
  - \* SANITARY SEWERS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM THE TOWN OF WEBSTER ON 07/10/2025
  - \* WATER SERVICES AND MAINS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM MONROE COUNTY WATER AUTHORITY ON 07/07/2025
  - \* STORM SEWER DATA WAS RECORDED IN THE FIELD BY MARATHON ENGINEERING ON 07/02/2025.
  - \* UNDERGROUND GAS SERVICES AND MAINS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM R&GE ON 07/09/2025
  - \* UNDERGROUND ELECTRIC LINES WERE PLOTTED FROM RECORD MAPS RECEIVED FROM R&GE ON 07/09/2025
  - \* UNDERGROUND FIBER OPTIC LINES WERE PLOTTED FROM RECORD MAPS RECEIVED FROM CROWN CASTLE ON 08/12/2025
  - \* UNDERGROUND TELEPHONE LINES WERE PLOTTED FROM CHARTER COMMUNICATIONS ON 07/09/2025 & FRONTIER TELEPHONE ON 08/01/2025
2. **STAKEOUT** - THE CONTRACTOR SHALL NOTIFY DIG SAFELY NEW YORK (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
3. **BOUNDARY** - BOUNDARY INFORMATION WAS TAKEN FROM THE MAPS AND DOCUMENTS REFERENCED ON THIS SHEET.
4. **DATUM** - THE VERTICAL DATUM IS NAVD83. THE HORIZONTAL DATUM IS NAD83 WESTERN ZONE.
5. **FLOODPLAIN** - THE PROPERTY IS LOCATED IN 'ZONE' X & AE' AND IS LOCATED GRAPHICALLY IN THE FLOODPLAIN AS SHOWN ON COMMUNITY PANEL NO 36055/C022862, DATED 08/23/2008.

1. HEGEDORN FAMILY PARTNERSHIP, L.P. TO HEGEDORN PLAZA LLC BY DEED FILED JANUARY 24, 2007 AS LIBER 10413, PAGE 76
2. LOWE'S HOME IMPROVEMENT CENTER WEBSTER, NEW YORK - SUBDIVISION MAP FILED DECEMBER 20, 2002 AS LIBER 314, PAGE 70
3. LOWE'S HOME IMPROVEMENT CENTER - UTILITY PLAN PREPARED BY COSTICH ENGINEERING LAST DATED APRIL 24, 2003

|  |   |
|--|---|
|  | PROJECT PROPERTY LINE                             |
|  | ADJACENT PROPERTY LINE                            |
|  | EASEMENT LINE                                     |
|  | REBAR, IRON PIN/PIPE & MONUMENT                   |
|  | SIGN & 2 POST SIGN                                |
|  | EXISTING FENCE                                    |
|  | SHRUB, CONIFER TREE & DECIDUOUS TREE              |
|  | EXISTING MAJOR CONTOUR                            |
|  | EXISTING MINOR CONTOUR                            |
|  | SWALE   |
|  | EXISTING STORM MAIN, MANHOLE & INLET              |
|  | EXISTING SANITARY MAIN & MANHOLE                  |
|  | EXISTING WATER MAIN, VALVE & HYDRANT              |
|  | EXISTING GAS MAIN, VALVE & GAS METER              |
|  | ELEC. MH, TRANSFORMER, EMETER & HANDHOLE          |
|  | UNDERGROUND ELECTRIC CONDUIT                      |
|  | OVERHEAD WIRE, POWER POLE, GUY WIRE, & LIGHT POLE |
|  | EXISTING TELEPHONE CONDUIT & STRUCTURE            |

STATE OF NEW YORK

FIVE MILE LINE ROAD  
MONROE COUNTY

TOWN OF WEBSTER

JOB NO: 1843-25  
SCALE: 1"=30'  
DRAWN: RLB  
DESIGNED: MPT  
DATE: 11/10/2025

[illegible]

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209 FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY WAY, AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR. IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL, AFTER TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

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DRAWING TITLE:  
EXISTING  
CONDITIONS &  
DEMOLITION

2 of 7

SHEET No:

1843-25

# V1.0

DRAWING No:

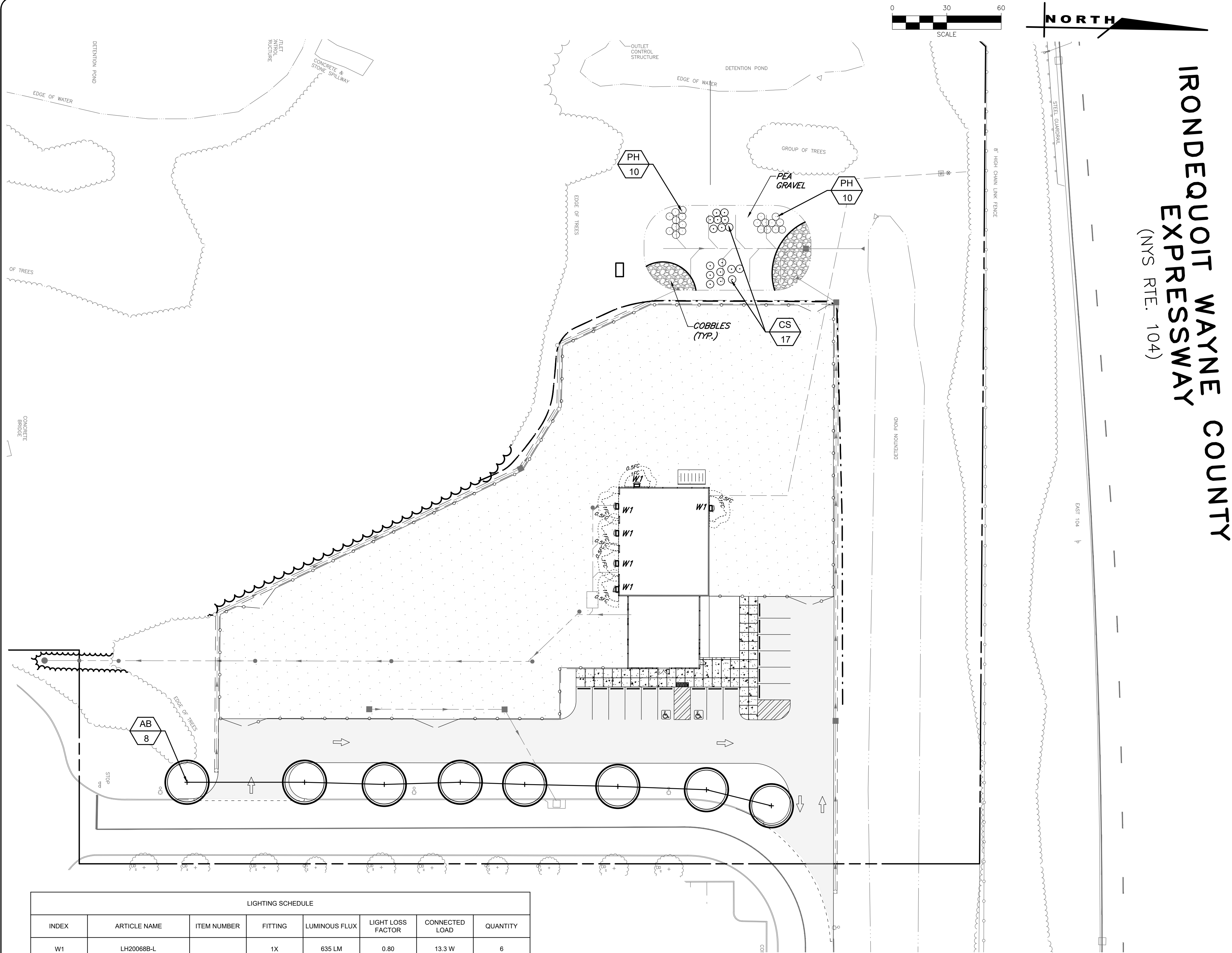




4 of 7  
SHEET No: C3.0  
1843-25  
JOB No: DRAWING No:



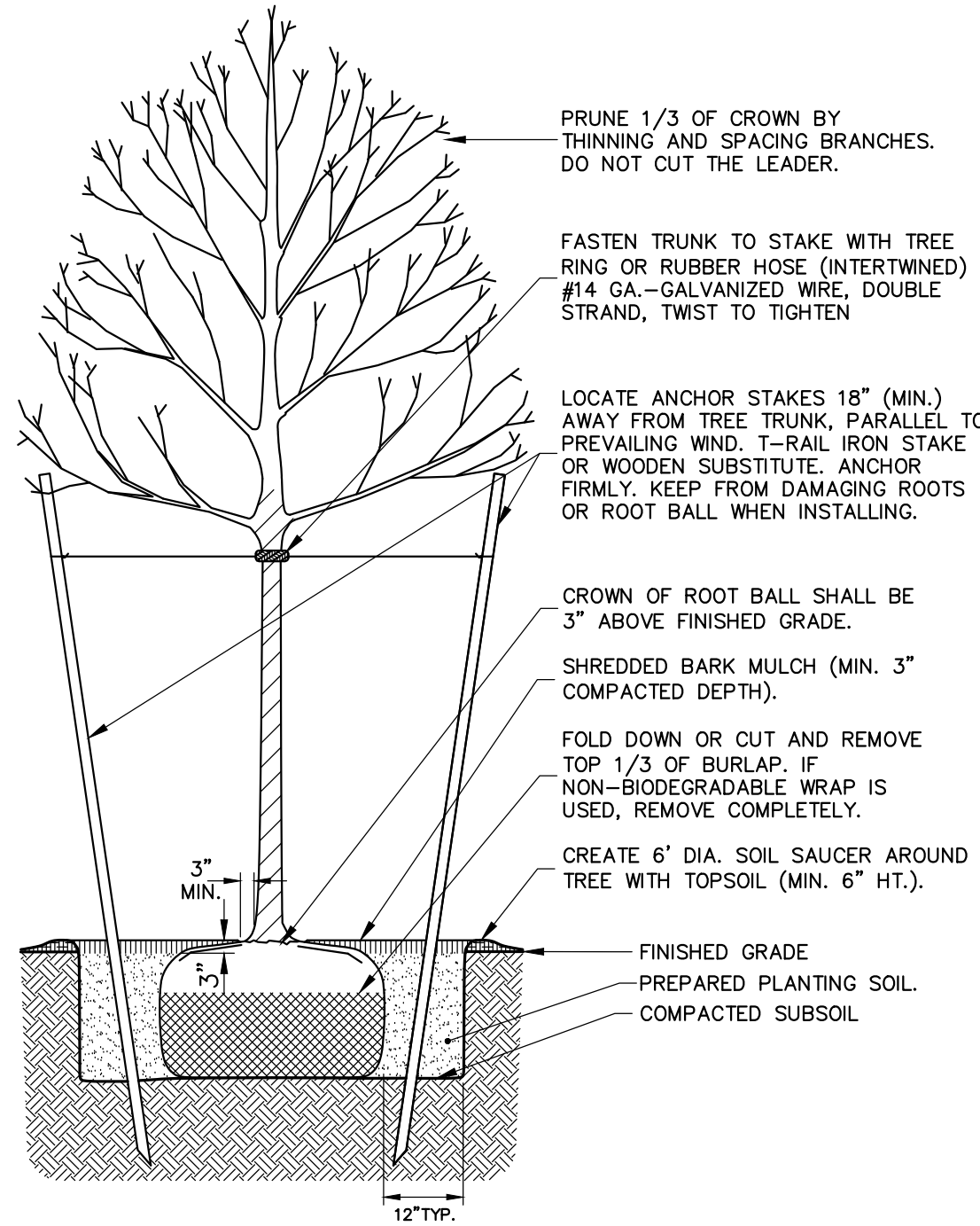
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IRONDEQUOIT WAYNE COUNTY  
EXPRESSWAY  
(NYS RTE. 104)

| LIGHTING SCHEDULE |              |             |         |               |                   |                |          |
|-------------------|--------------|-------------|---------|---------------|-------------------|----------------|----------|
| INDEX             | ARTICLE NAME | ITEM NUMBER | FITTING | LUMINOUS FLUX | LIGHT LOSS FACTOR | CONNECTED LOAD | QUANTITY |
| W1                | LH200688-L   |             | 1X      | 635 LM        | 0.80              | 13.3 W         | 6        |

| KEY | BOTANICAL NAME             | COMMON NAME            | QTY. | SIZE           | ROOT               | REMARKS       |
|-----|----------------------------|------------------------|------|----------------|--------------------|---------------|
| AB  | ACER RUBRUM 'BRANDY WINE'  | BRANDY WINE MAPLE      | 8    | 3" CALIFER     | BALLED & BURLAPPED |               |
| CS  | CORNUS SERICEA 'CARDINAL'  | RED TWIG DOGWOOD       | 17   | 30"-36" HEIGHT | #3 CONTAINER       | Bio-retention |
| PH  | PENNISETUM ALOP. 'HAAMELN' | HAAMELN FOUNTAIN GRASS | 20   | CLUMP          | #2 CONTAINER       |               |



1 DECIDUOUS PLANTINGS



WP WAL-PAK

**MARATHON ENGINEERING**  
ROCHESTER LOCATION  
39 CASCADE DRIVE  
ROCHESTER, NY 14614  
585-458-7770  
ITHACA LOCATION  
840 HANSHAW RD, STE 6  
ITHACA, NY 14850  
607-241-2917  
www.marathoneng.com

FINAL SITE PLANS  
for  
**PIRANHA RENTS IN WEBSTER**  
STATE OF NEW YORK  
FIVE MILE LINE ROAD  
MONROE COUNTY  
TOWN OF WEBSTER

JOB NO: 1843-25  
SCALE: 1"=30'  
DRAWN: RLB  
DESIGNED: MPT  
DATE: 11/10/2025

| REVISIONS |    |          |
|-----------|----|----------|
| DATE      | BY | REVISION |
|           |    |          |
|           |    |          |

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 270(1)(b) FOR ANY PERSON, UNDER ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY MANNER, WITHOUT BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, IF AN EMBLEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS ALTERED. THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE EMBLEM THE SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

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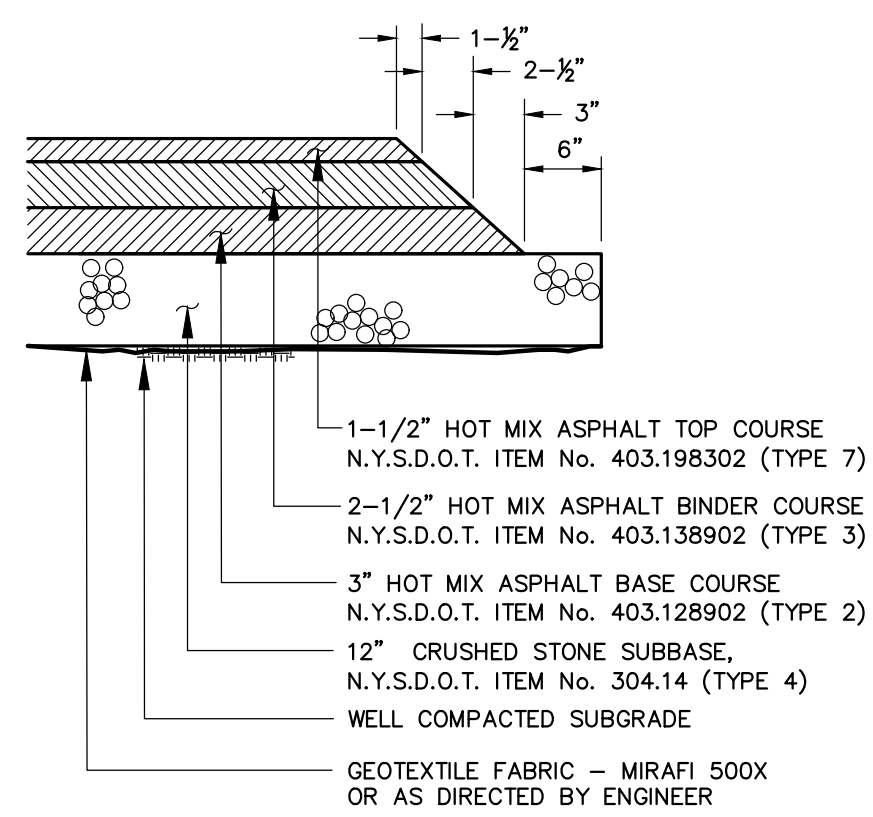
STATE OF NEW YORK  
COUNTY OF MONROE  
ROBERT P. BRINGLEY  
Professional Engineer  
No. 066924

DRAWING TITLE:  
LIGHTING &  
LANDSCAPING  
PLAN

|                     |      |
|---------------------|------|
| 5 of 7<br>SHEET No: | C4.0 |
| 1843-25<br>JOB No:  |      |
| DRAWING No:         |      |

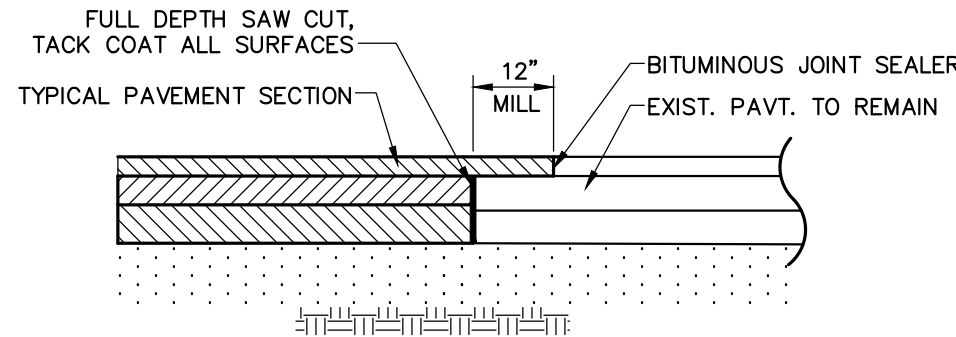


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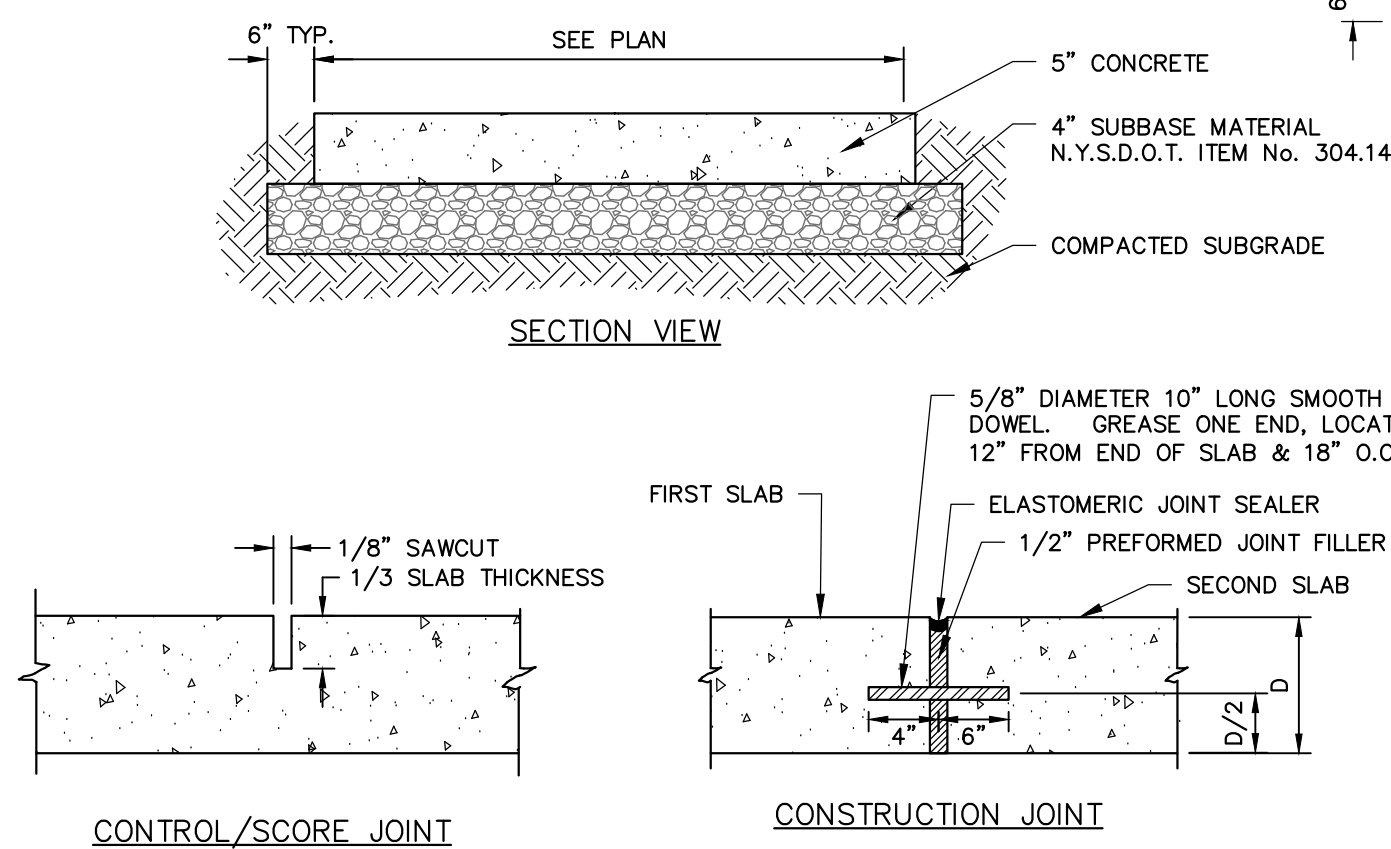


## 1 PAVEMENT SECTION

- NOTES:
- CONTRACTOR TO CLEAN AND TACK COAT BEFORE PLACING TOP COAT IF BINDER IS CONTAMINATED OR GREATER THAN 30 DAYS PASSES BETWEEN PLACEMENT OF BINDER AND TOP
  - PAVEMENT SPECIFICATION NUMBERS REFERENCE THE 2008 NYSDOT STANDARD SPECIFICATION BOOK



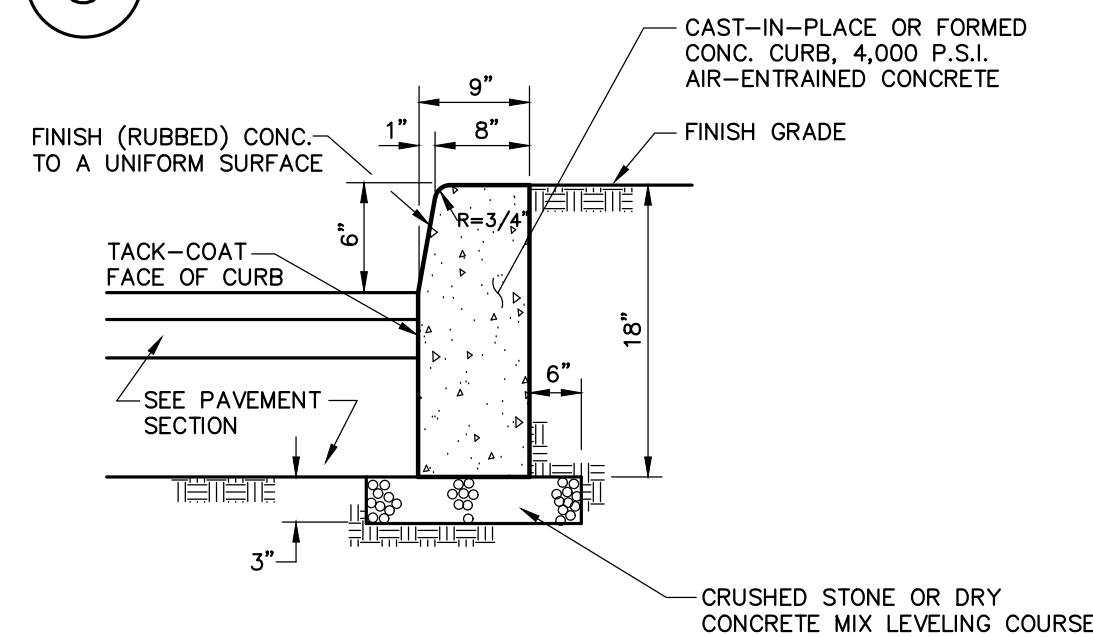
## 2 PAVEMENT MATCH



NOTES:

- CONCRETE SHALL BE 4000 PSI AIR-ENTRAINED MIX.
- CONCRETE SURFACE SHALL RECEIVE A BROOM FINISH (IF NOT SPECIFIED AS EXPOSED AGGREGATE CONCRETE) AND TWO COATS OF MEMBRANE FORMING SEALER AT RATES SPECIFIED BY PRODUCT MANUFACTURER.
- EXPANSION JOINTS SHALL BE PROVIDED AT FIXED STRUCTURES AND AT LEAST EVERY 25' ALONG THE SIDEWALK.
- CONSTRUCTION JOINTS WITH DOWELS SHALL BE PROVIDED AT SUBSEQUENT POURS.
- CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON PLAN AND IN ACCORDANCE WITH ACI 330-R92. THESE JOINTS SHALL BE COMPLETED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
- SCORE PATTERN - SIDEWALK TO BE SCORED EVERY 5 FEET CREATING 5' X 5' SQUARES (MAY VARY IN CERTAIN AREAS). SCORING SHALL BE COORDINATED WITH OWNERS ONSITE REP PRIOR TO SCORING.
- SIDEWALKS SHALL HAVE A MINIMUM 0.5% AND MAXIMUM 2.0% CROSS SLOPE TO PROVIDE POSITIVE DRAINAGE. CROSS SLOPE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND ENTRANCES.
- 'SNAP-CAP' OR EQUAL SHALL BE USED FOR PROTECTING TOP EDGE OF EXPANSION JOINTS.

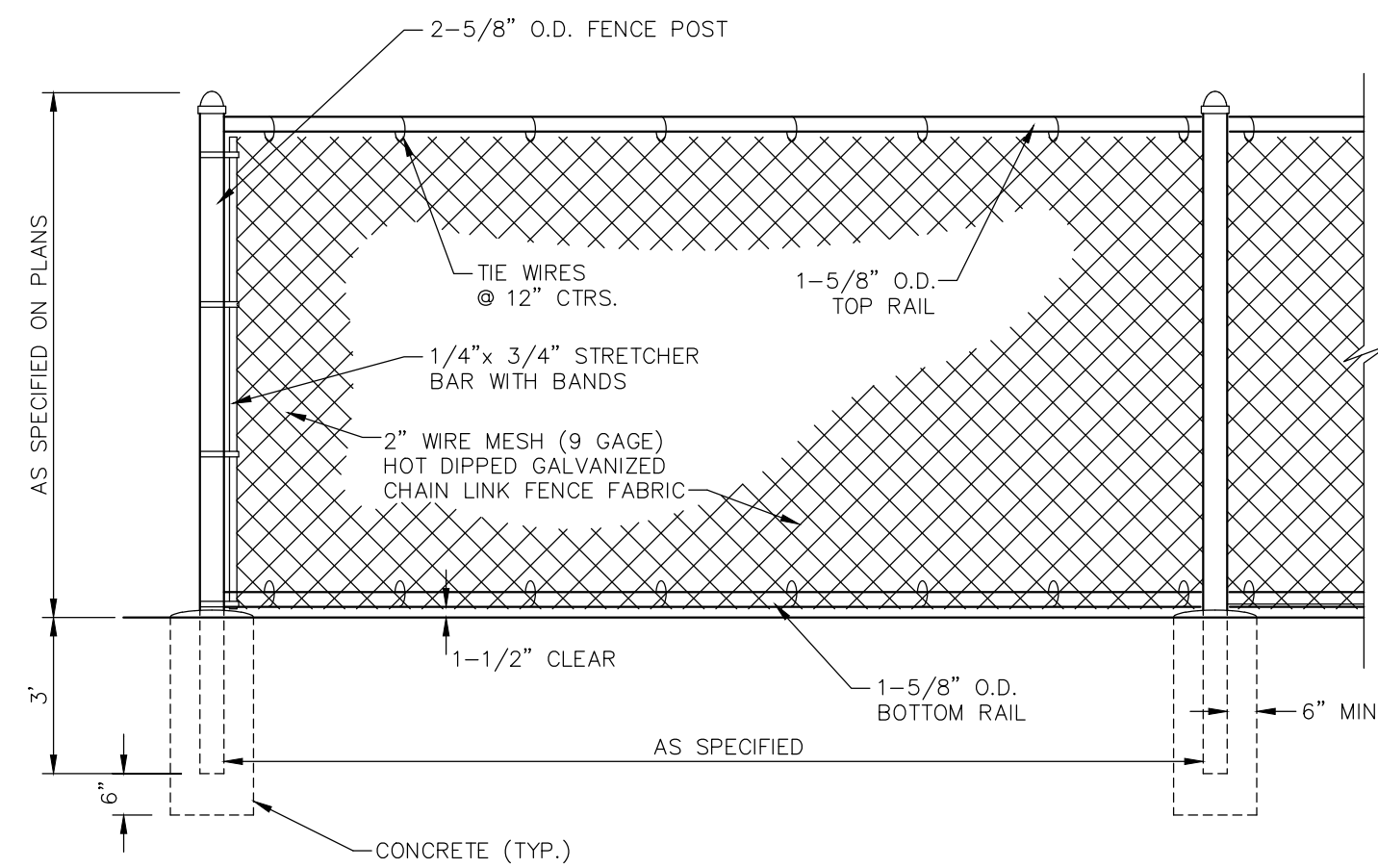
## 3 CONCRETE SIDEWALK



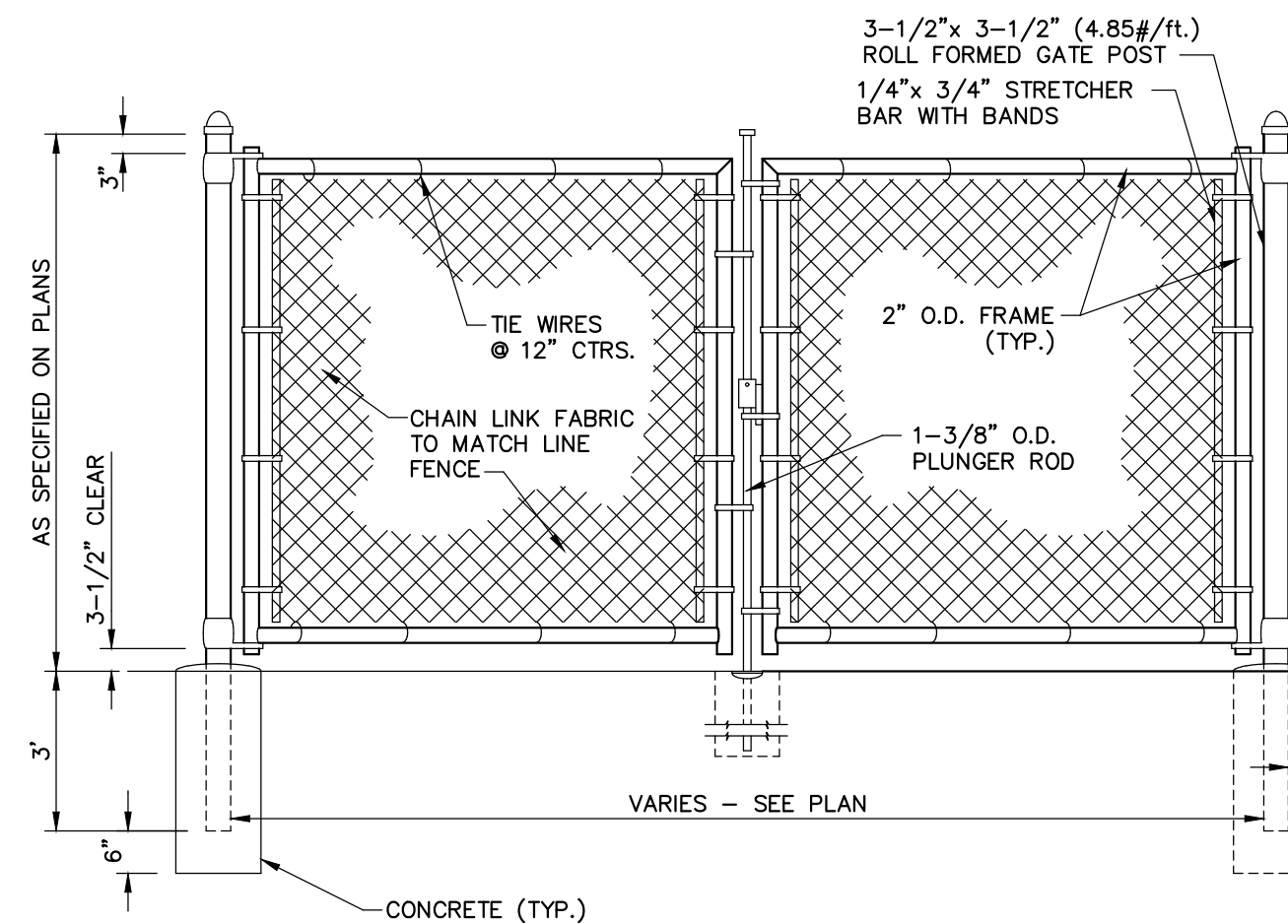
NOTES:

- PROVIDE 7" REVEAL AT DROP INLETS
- PROVIDE CONSTRUCTION JOINTS AT 20' INTERVALS AND EXPANSION JOINTS AT 80' MAXIMUM SPACING. EXPANSION JOINTS SHALL BE FORMED WITH PRE-MOLDED BITUMINOUS JOINT FILLER AND REBAR TO PREVENT SEPARATION.

## 4 CONCRETE CURB WITH LAWN/PLANTER BEHIND

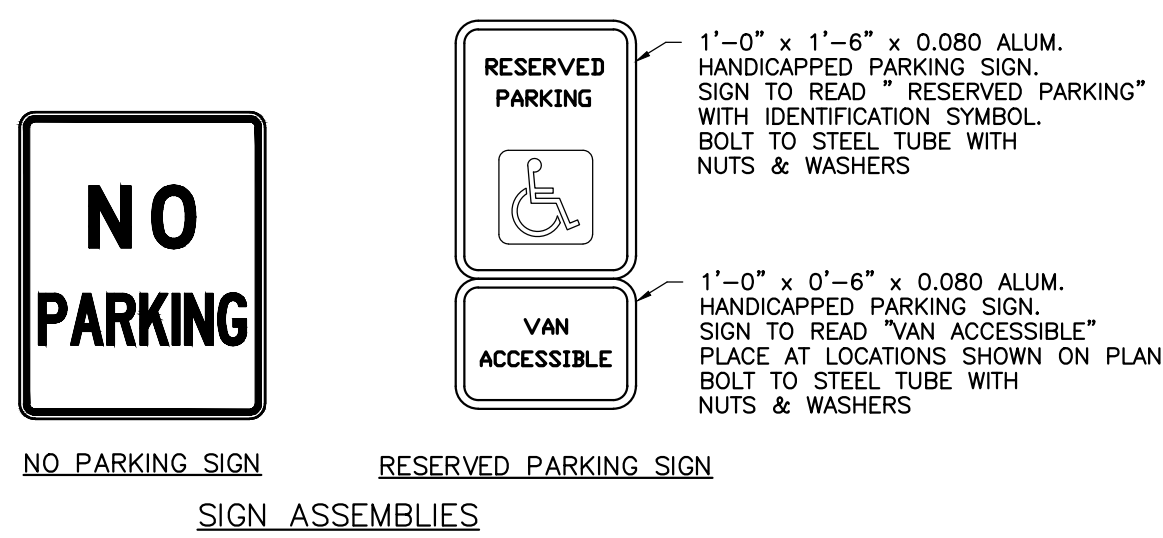


FENCE SECTION (TYP.)



GATE

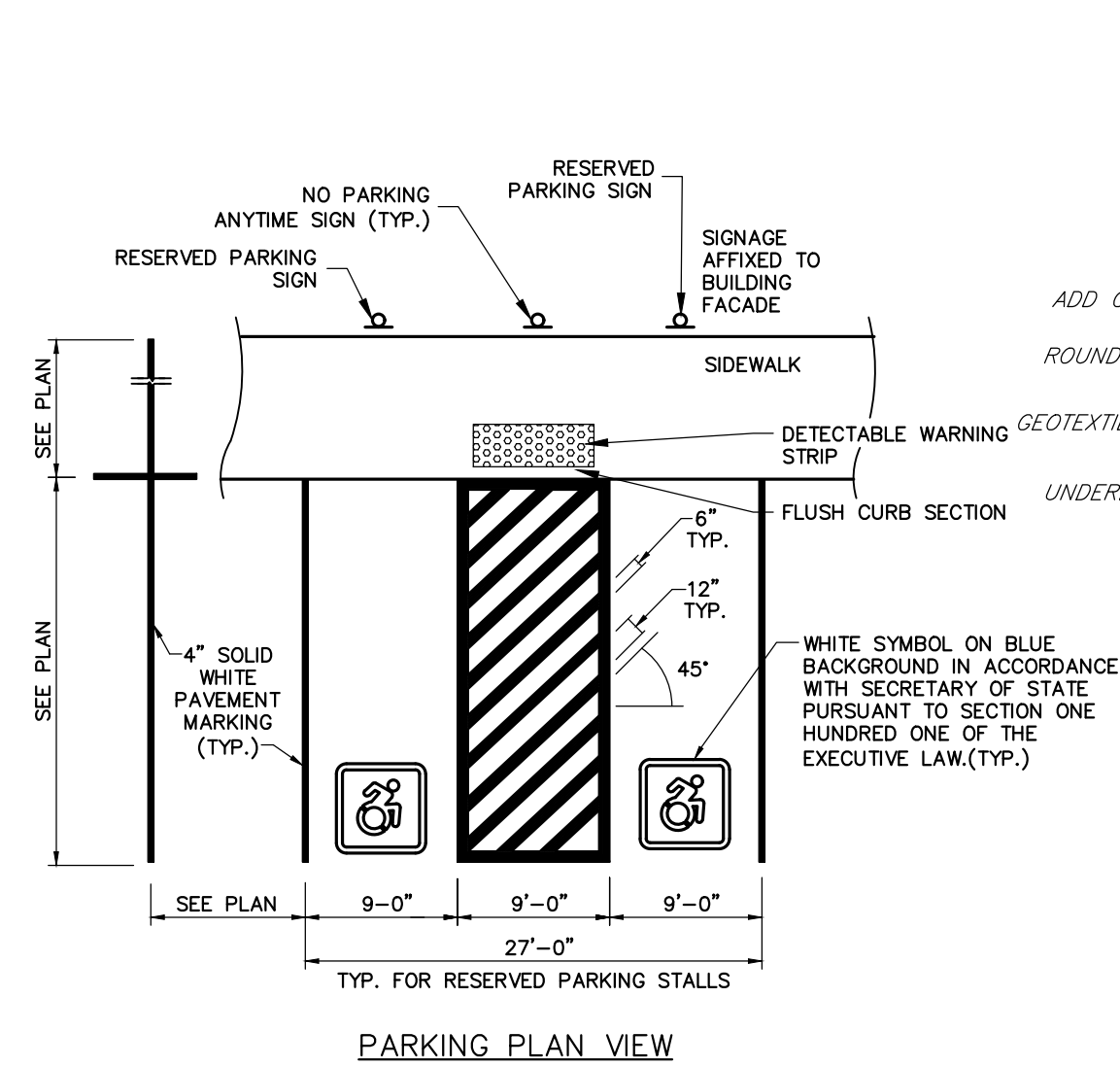
## 5 CHAIN LINK FENCE



NO PARKING SIGN

RESERVED PARKING SIGN

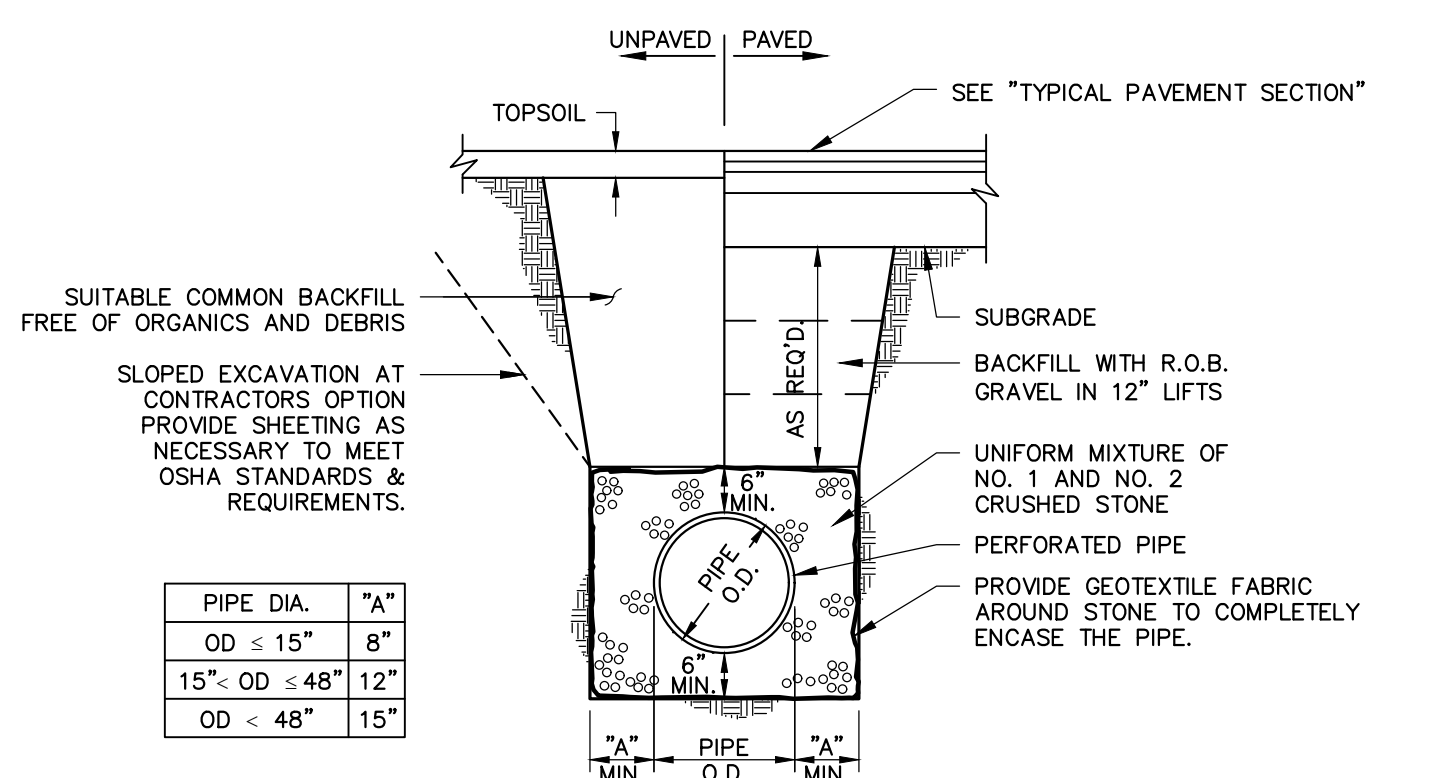
SIGN ASSEMBLIES



PARKING PLAN VIEW

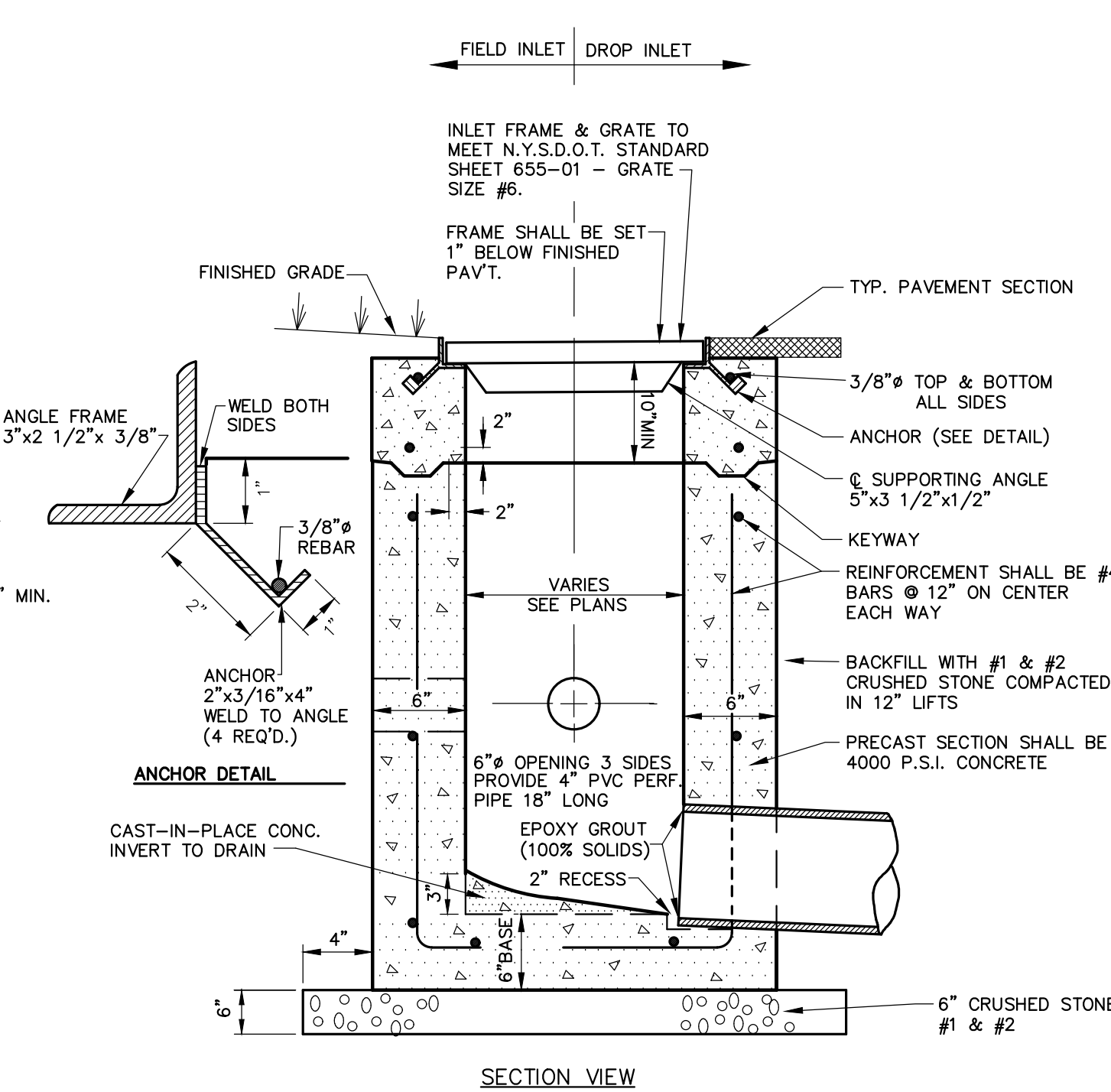
## 6 RESERVED PARKING AND SIGNAGE

- NOTE:
- ALL ACCESSIBLE PARKING AND ROUTES SHALL BE CONSTRUCTED CONSISTENT WITH THE MOST CURRENT ADA GUIDELINES. IN GENERAL ALL PARKING AND LOADING ZONES SHALL HAVE NO MORE THAN 2.0% SLOPE IN ANY DIRECTION. PRIOR TO PAVING CONTRACTOR SHALL VERIFY SLOPES AND REPORT ANY SLOPES GREATER THAN 2% TO THE ENGINEER.



| PIPE DIA.      | "A" |
|----------------|-----|
| OD ≤ 15"       | 8"  |
| 15" < OD ≤ 48" | 12" |
| OD > 48"       | 15" |

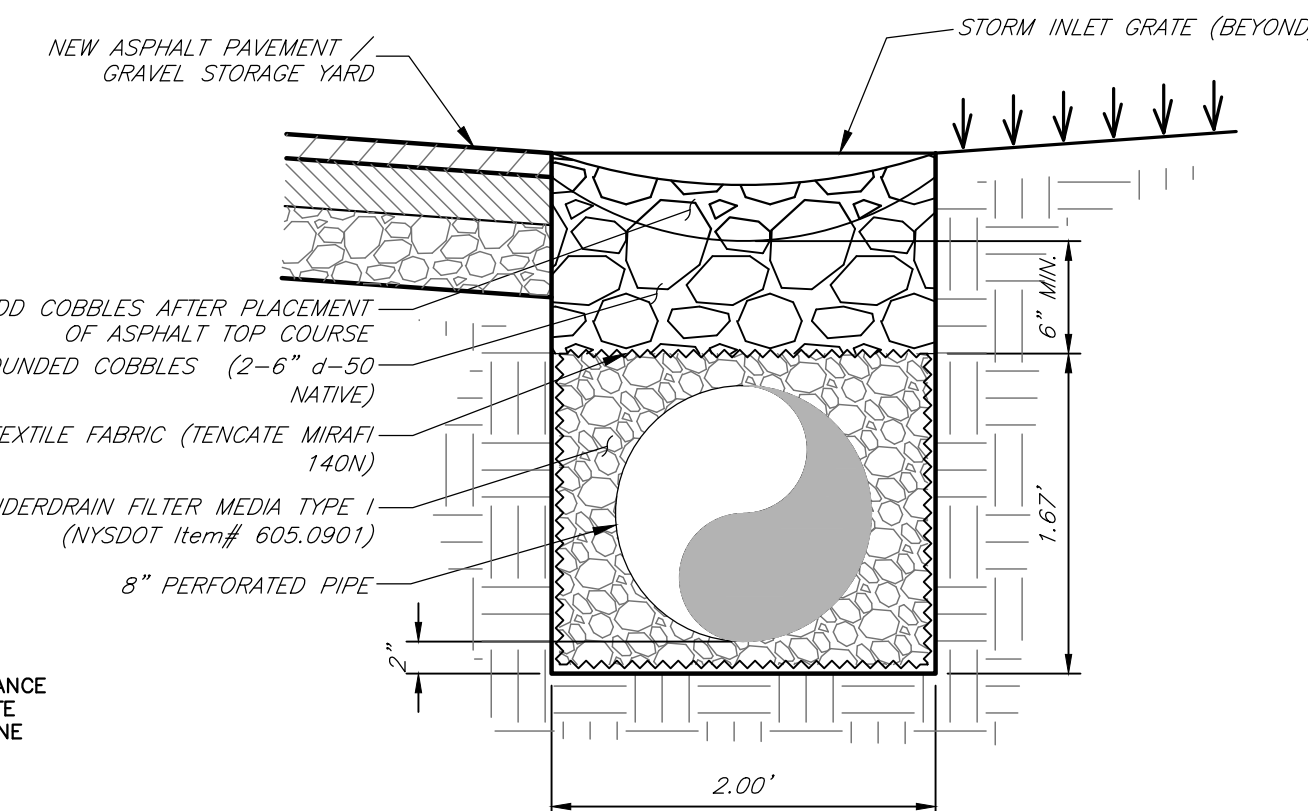
## 7 STORM TRENCH PERFORATED PIPE



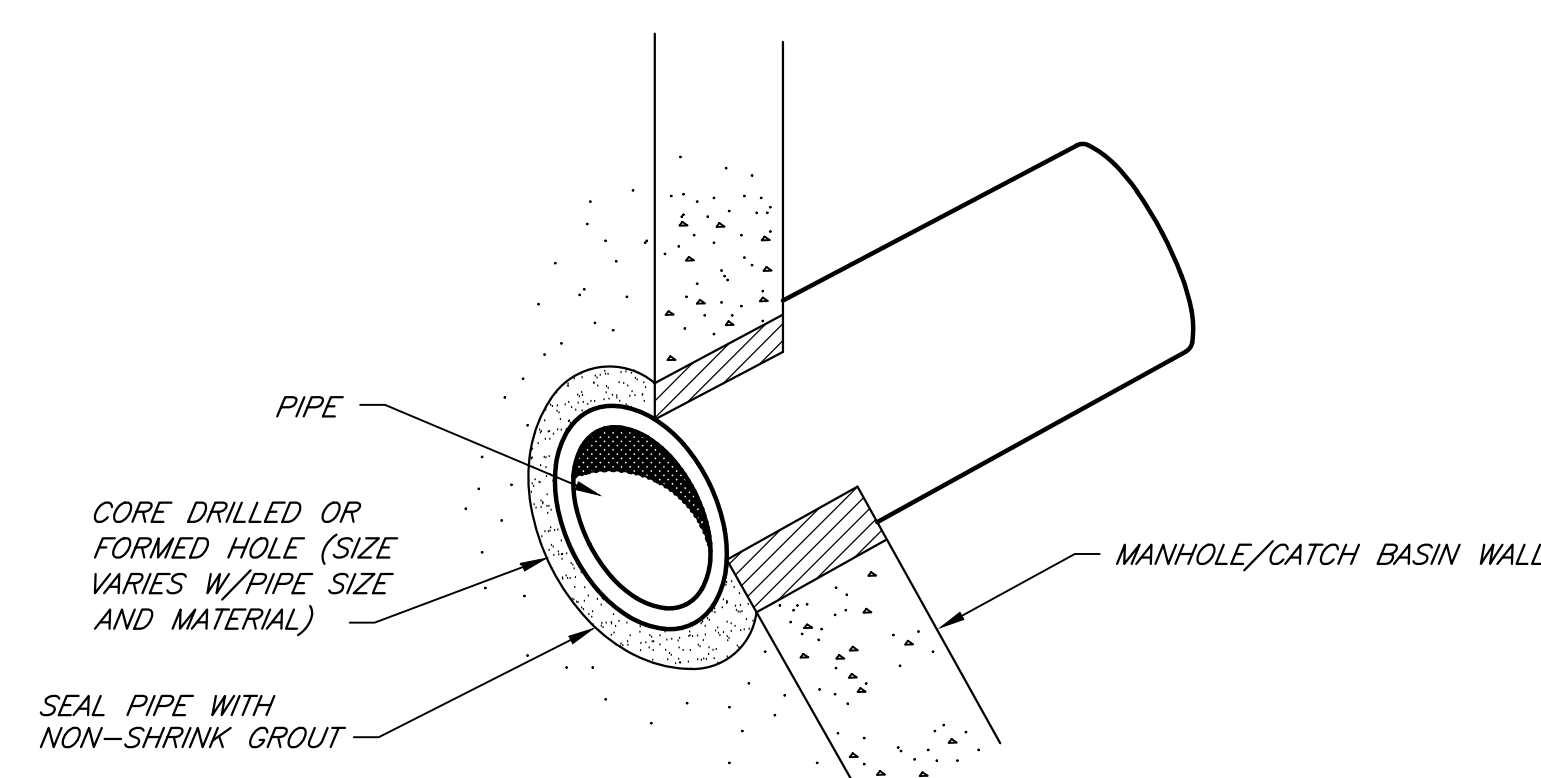
NOTES:

- PRE-CAST INLET SECTIONS SHALL BE MANUFACTURED BY KISTNER, MODEL No. CB-24 (WITH KEYWAY) OR APPROVED EQUIVALENT.
- THE INSIDE & OUTSIDE WALLS OF INLET SHALL BE COATED WITH BITUMASTIC.

## 8 DROP/FIELD INLET

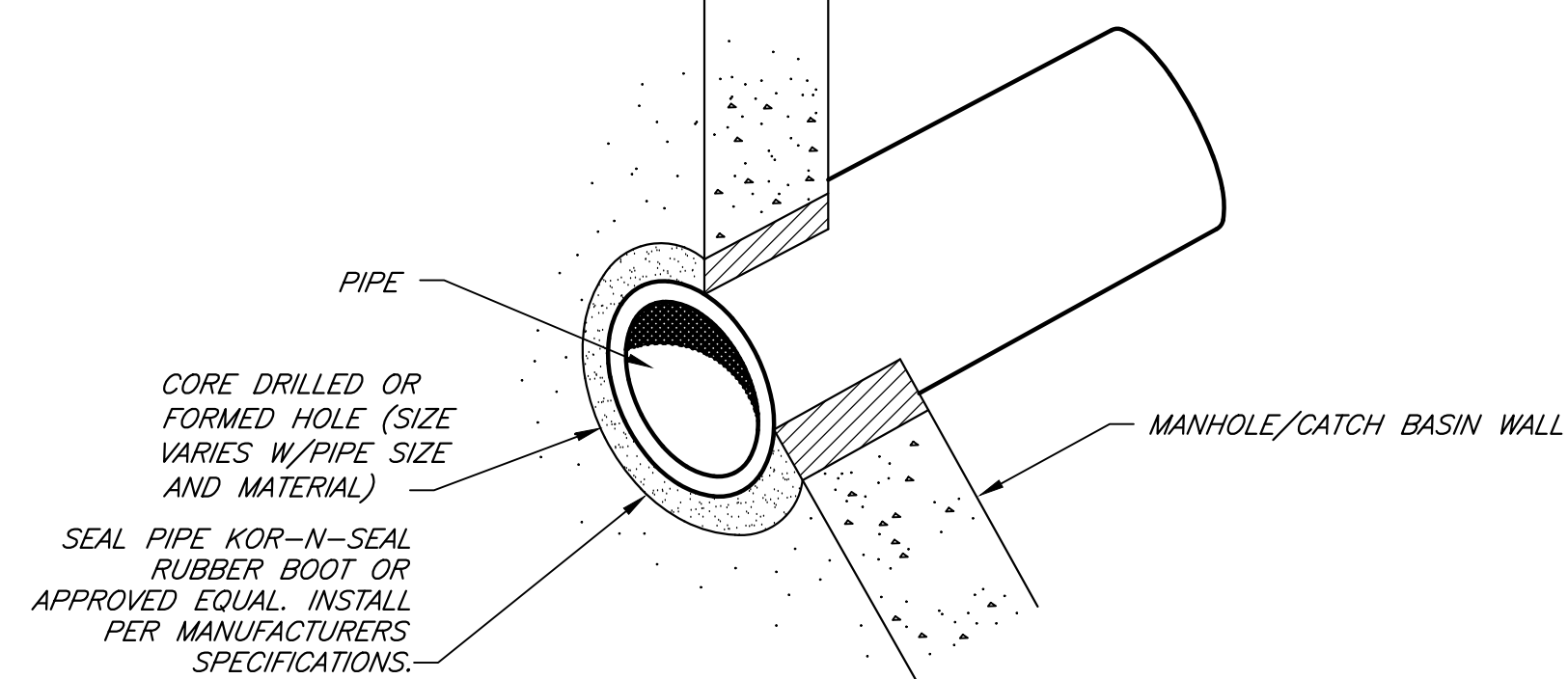


## 9 STONE EDGE TREATMENT (WITHOUT CURB)



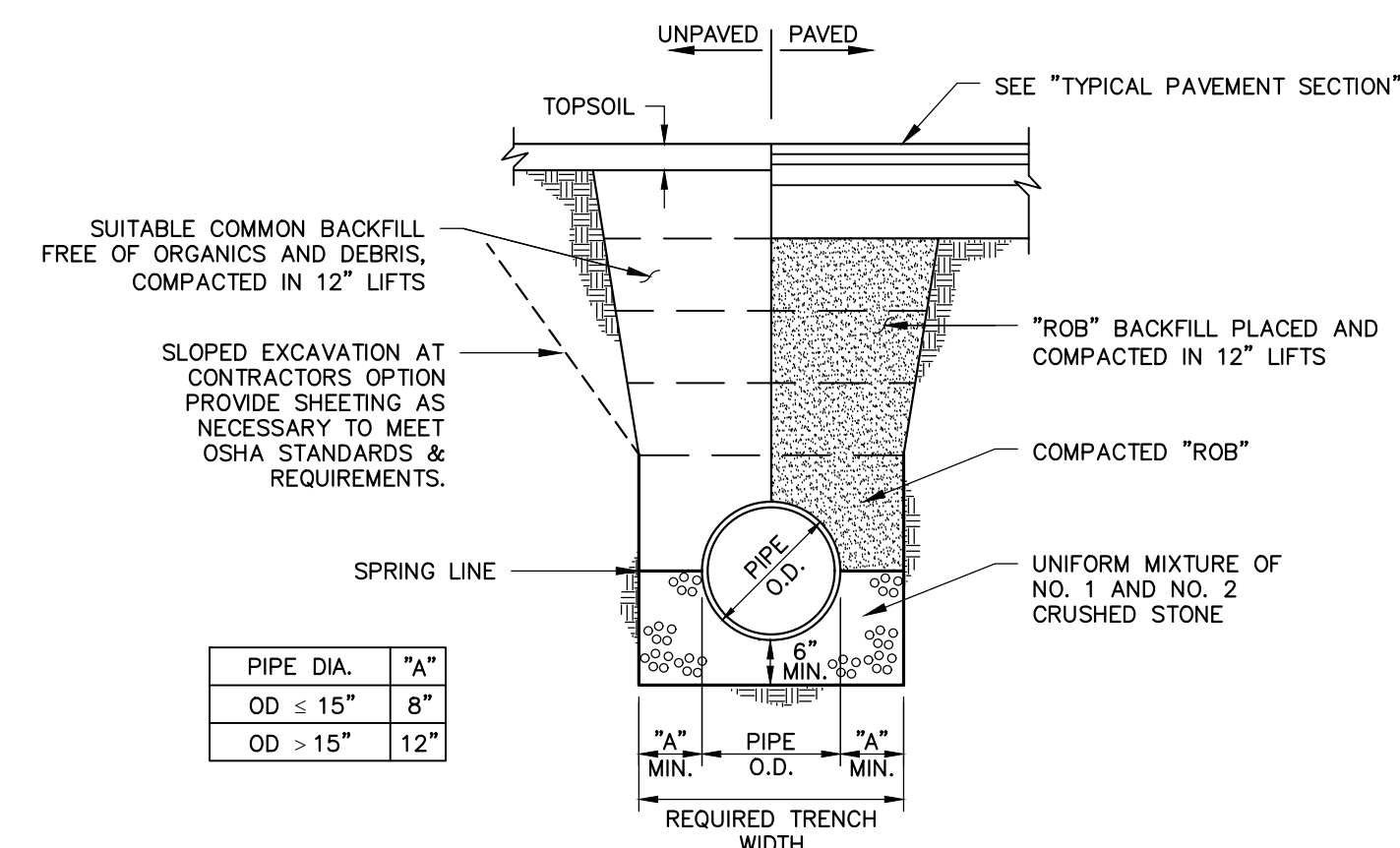
- NOTE:
- FOR RECONNECTION OF EXISTING PIPES, CONTRACTOR SHALL INSTALL 5' STUB PIECE OF HDPE PIPE THROUGH MANHOLE WALL. TRANSITIONS WILL THEN BE MADE USING FERNCO COUPLINGS OR APPROVED EQUAL.

## 10 CONNECT TO EXISTING STORM STRUCTURE



- NOTE:
- FOR RECONNECTION OF EXISTING PIPES, CONTRACTOR SHALL INSTALL 5' STUB PIECE OF HDPE PIPE THROUGH MANHOLE WALL. TRANSITIONS WILL THEN BE MADE USING FERNCO COUPLINGS OR APPROVED EQUAL.

## 11 CONNECT TO EXISTING COMBINED STRUCTURE



| PIPE DIA. | "A" |
|-----------|-----|
| OD ≤ 15"  | 8"  |
| OD > 15"  | 12" |

## 12 SANITARY TRENCH

# FINAL SITE PLANS for PIRANHA RENTS IN WEBSTER

STATE OF NEW YORK

MONROE COUNTY

TOWN OF WEBSTER

JOB NO: 1843-25  
SCALE: AS SHOWN  
DRAWN: RLB  
DESIGNED: MPT  
DATE: 11/10/2025

REVISIONS

DATE BY REVISION

