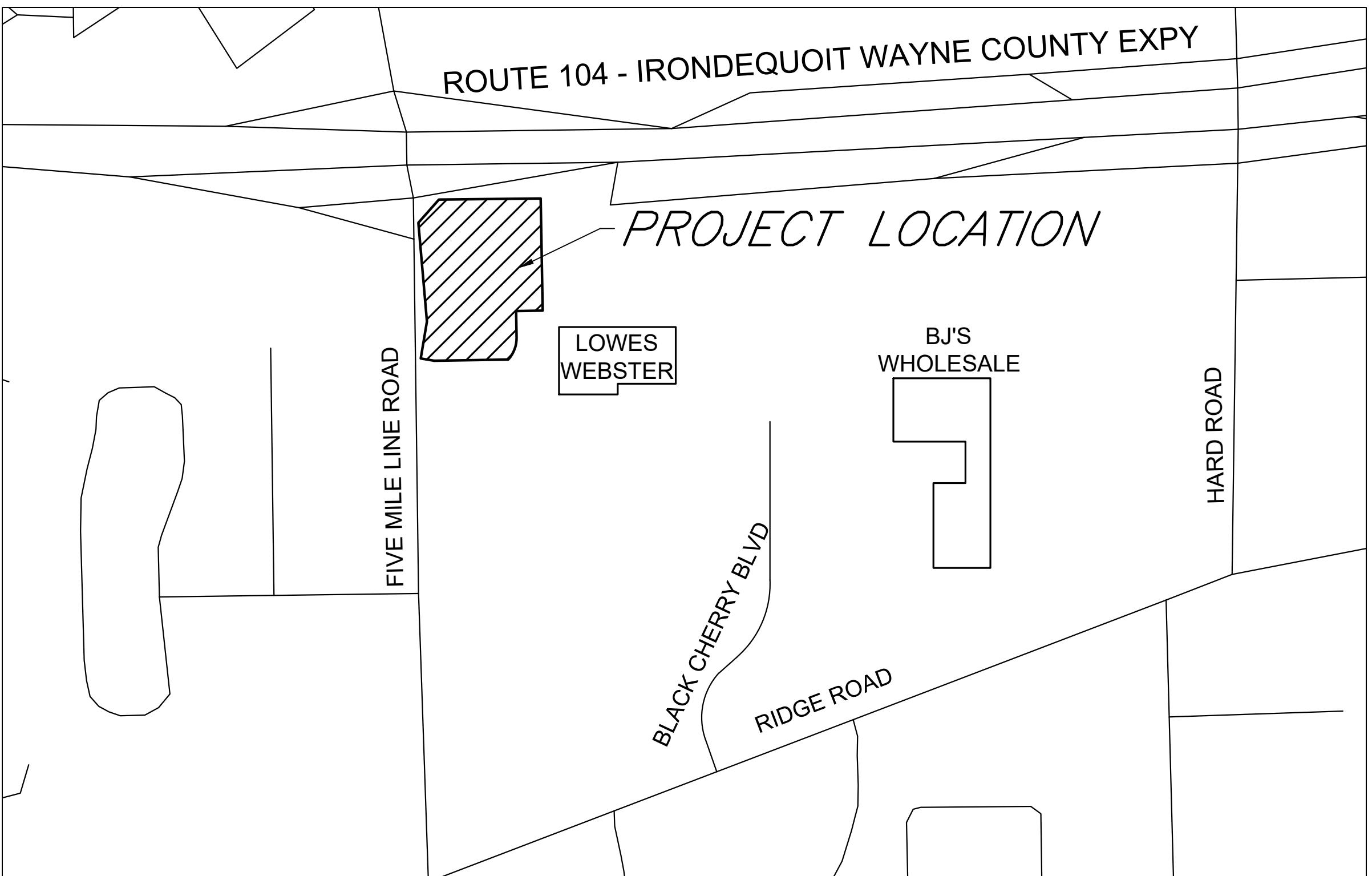


FINAL SITE PLANS for PIRANHA RENTS IN WEBSTER

FIVE MILE LINE ROAD

SITUATE IN:

TOWN OF WEBSTER - MONROE COUNTY - STATE OF NEW YORK



LOCATION MAP

NOT TO SCALE



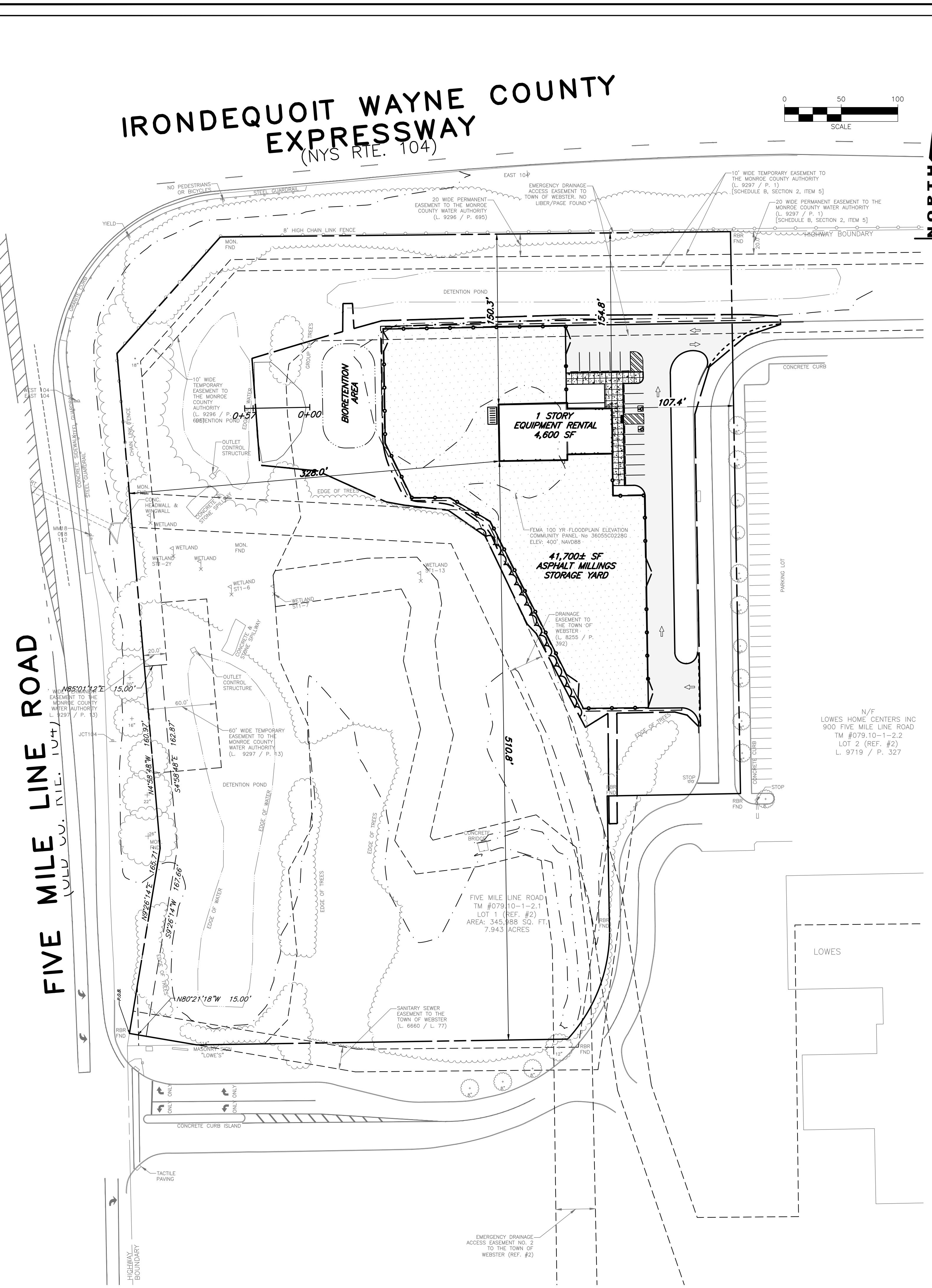
39 CASCADE DRIVE
ROCHESTER, NY 14614
5 8 5 - 4 5 8 - 7 7 0

ITHACA LOCATION

840 HANSHAW RD, STE 6
ITHACA, NY 14850
6 0 7 - 2 4 1 - 2 9 1 7

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SHEET SCHEDULE		
No.	DWG. No.	DESCRIPTION
1	C1.0	OVERALL PLAN
2	V1.0	EXISTING CONDITIONS & DEMOLITION
3	C2.0	LAYOUT AND UTILITY PLAN
4	C3.0	GRADING & EROSION CONTROL PLAN
5	C4.0	LIGHTING & LANDSCAPING PLAN
6	C5.0	CONSTRUCTION DETAILS
7	C5.1	CONSTRUCTION DETAILS



PROJECT INFORMATION:

1. PARCEL DATA:

1. ADDRESS: FIVE MILE LINE RD
2. PARCEL TAX NUMBERS: 79-10-1-2-1
3. OWNER: HEGEDORNS FAMILY LLC
4. AREA: 7.943 ACRES

2. ZONING DATA:

1. ZONING DISTRICT: HC - HIGH INTENSITY COMMERCIAL
2. PROPOSED USE: CONSTRUCTION EQUIPMENT/RENTAL AND MAINTENANCE

3. TOWN BULK REQUIREMENTS (\$350-19):

	REQUIRED	PROVIDED
1. LOT SIZE	2 AC	7.9 AC
2. FRONT SETBACK	150 FT	150.3 FT
3. SIDE SETBACK	75 FT	107.4 FT
4. REAR SETBACK	50 FT	510.8 FT
5. MAX BUILDING COVERAGE	20%	1.3%

5. TOWN PARKING REQUIREMENTS (\$350-74):

REQUIRED	PROVIDED
14 ⁽¹⁾	15

⁽¹⁾ 1 SP PER 175 GROSS FLOOR AREA (OFFICE/SHOWROOM)
1800 SF OFFICE & SHOWROOM / 175 = 10 SP

ENOUGH SPACES SO NO EMPLOYEES NEED TO PARK ON THE STREET
4 EMPLOYEES = 4 SP

GENERAL SITE PLAN NOTES:

1. **APPLICABILITY:** THE NOTES AND INFORMATION PROVIDED ON THIS SHEET ARE APPLICABLE TO ALL "C" SERIES DRAWINGS. THE "C" SERIES DRAWINGS COVER SITE RELATED IMPROVEMENTS OUTSIDE THE BUILDING ENVELOPE. THE BUILDING ENVELOPE INCLUDES ALL AREA WITHIN 5' OUTSIDE OF THE BUILDING'S EXTERIOR WALL.

2. **MAPPING:** THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.

3. **UTILITY STAKEOUT:** THE CONTRACTOR SHALL NOTIFY UDG NY (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.

4. **PROPERTY PROTECTION:** THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.

5. **ACCESS:** THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.

6. **SITE SAFETY:** PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.

7. **EXCAVATIONS:** ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.

8. **MAINTENANCE:** PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEP CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE.

9. **CONSTRUCTION STORAGE:** STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE.

10. **PERMITS:** PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER/ CONTRACTOR AGREEMENT.

11. **INTERIM CONDITIONS:** THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AND WITHIN PROJECT AREA TO A STABILIZED OUTLET THROUGHOUT THE CONSTRUCTION PERIOD. THIS MAY REQUIRE INTERIM GRADING, SHIMMING OF PAVEMENT ETC. THAT IS NOT SPECIFICALLY SHOWN ON THE PLANS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

12. **SPECIFICATIONS:** TECHNICAL SPECIFICATIONS, IF SUPPLIED AS PART OF CONTRACT DOCUMENTS, ARE INTENDED TO AID AND HELP DEFINE THE CONTRACTOR'S WORK SCOPE. IF DISCREPANCIES OCCUR THE CONTRACTOR SHALL REQUEST A CLARIFICATION.

CONSTRUCTION NOTES:

1. **STAKEOUT:** THE CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR USING CONTROL PROVIDED ON THE "LAYOUT PLANS". THE BUILDING FOOTPRINT, DATED 10/21/25, WERE PROVIDED BY EF CUSTOM DESIGNS. DISCREPANCIES WITH BUILDING(S), CONTROL POINTS, AND/OR TIE DIMENSIONS SHALL BE REPORTED TO THE DESIGN ENGINEER (PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR COORDINATION AND CLARIFICATION.

2. **BOUNDARY:** BOUNDARY INFORMATION WAS COMPUTED BY MARATHON ENGINEERING & SURVEYING OF ROCHESTER D.P.C.

3. **LAYOUT:** DIMENSIONS SHOWN, WHERE APPLICABLE, SHALL BE FROM THE FACE OF CURB UNLESS SPECIFICALLY CALLED OUT OTHERWISE.

4. **DEMOLITION:** CLEARING AND GRUBBING SHALL BE LIMITED TO THE SITE BOUNDARIES OR WITHIN THE "WORK LIMIT LINE" AS DEFINED ON THE PLAN. TREES AND OBJECTS DESIGNATED FOR REMOVAL SHALL BE COORDINATED AND FIELD VERIFIED WITH PROJECT ON-SITE REPRESENTATIVE. ALL MATERIALS SHALL BE LEGALLY DISPOSED OF OFF-SITE OR RETURNED TO OWNER AS DIRECTED BY CONTRACT DOCUMENTS. ALL ITEMS NOT SPECIFICALLY CALLED OUT TO BE REMOVED SHALL REMAIN.

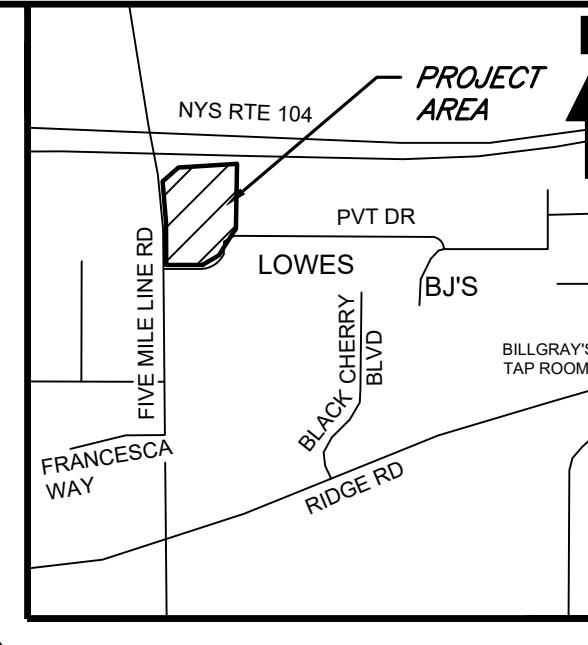
5. **COORDINATION:** THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITY WORK WITH OTHER SITE UTILITIES (I.E. GAS, ELECTRIC, LIGHTING, COMMUNICATIONS) TO AVOID POTENTIAL INSTALLATION CONFLICTS.

6. **STAGING:** AS DEFINED BY THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL CONSTRUCT A SECURE STAGING AREA FOR STORAGE OF EQUIPMENT, MATERIALS, EMPLOYEE PARKING AND OFFICE SPACE. IF THE AREA/METHOD IS NOT SPECIFICALLY DEFINED ON THE DOCUMENTS THEN IT SHALL BE COORDINATED WITH THE OWNER'S ON-SITE REPRESENTATIVE.

7. **DOCUMENTATION REQUIREMENTS:** THE CONTRACTOR IS RESPONSIBLE FOR SUPPLYING THE OWNER OR ENGINEER WITH THE PRECISE LOCATIONS OF BLIND CONNECTIONS (I.E. WYE LOCATIONS), AS WELL AS THE CONFIGURATIONS OF LATERALS AND SERVICES TO FACILITATE THE CREATION OF AS-BUILT MAPS. THIS INFORMATION PROVIDED SHOULD BE ABLE TO BE RECREATED ON THE GROUND SURFACE, SUCH AS MEASUREMENTS FROM BUILT INFRASTRUCTURE OR COORDINATES ON THE PROJECT DATUM, OR AS AGREED UPON DURING THE PRECONSTRUCTION MEETING. ANY EXPENSES RELATED TO CONFIRMING UTILITY LOCATIONS THAT WERE NOT RECORDED DURING CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

8. **CLOSE-OUT:** THE CONTRACTOR'S WORK SCOPE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING AT PROJECT CLOSE-OUT TO THE SATISFACTION OF OWNER'S ON-SITE REPRESENTATIVE:

- REMOVAL OF ANY CONSTRUCTION DEBRIS.
- CLEANING PAVEMENT AND WALKWAY SURFACES.
- RESTORATION OF ALL DISTURBED SURFACES AND LANDSCAPED AREAS.
- PROVIDING BONDS, GUARANTEES, CERTIFICATIONS, ETC. AS REQUIRED BY CONTRACT DOCUMENTS.
- PROVIDING RELEASLES FOR RECORD DRAWING.
- COMPLETION OF FINAL PUNCH LIST ITEMS.



TOWN OF WEBSTER
LOCATION MAP
NOT TO SCALE

MARATHON
ENGINEERING
ROCHESTER LOCATION
39 CASCADE DRIVE
ROCHESTER, NY 14614
5 8 5 - 4 5 8 - 7 7 0
ITHACA LOCATION
840 HANSHAW RD, STE 6
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6 0 7 - 2 4 1 - 2 9 1 7
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FINAL SITE PLANS
for
PIRANHA RENTS IN WEBSTER

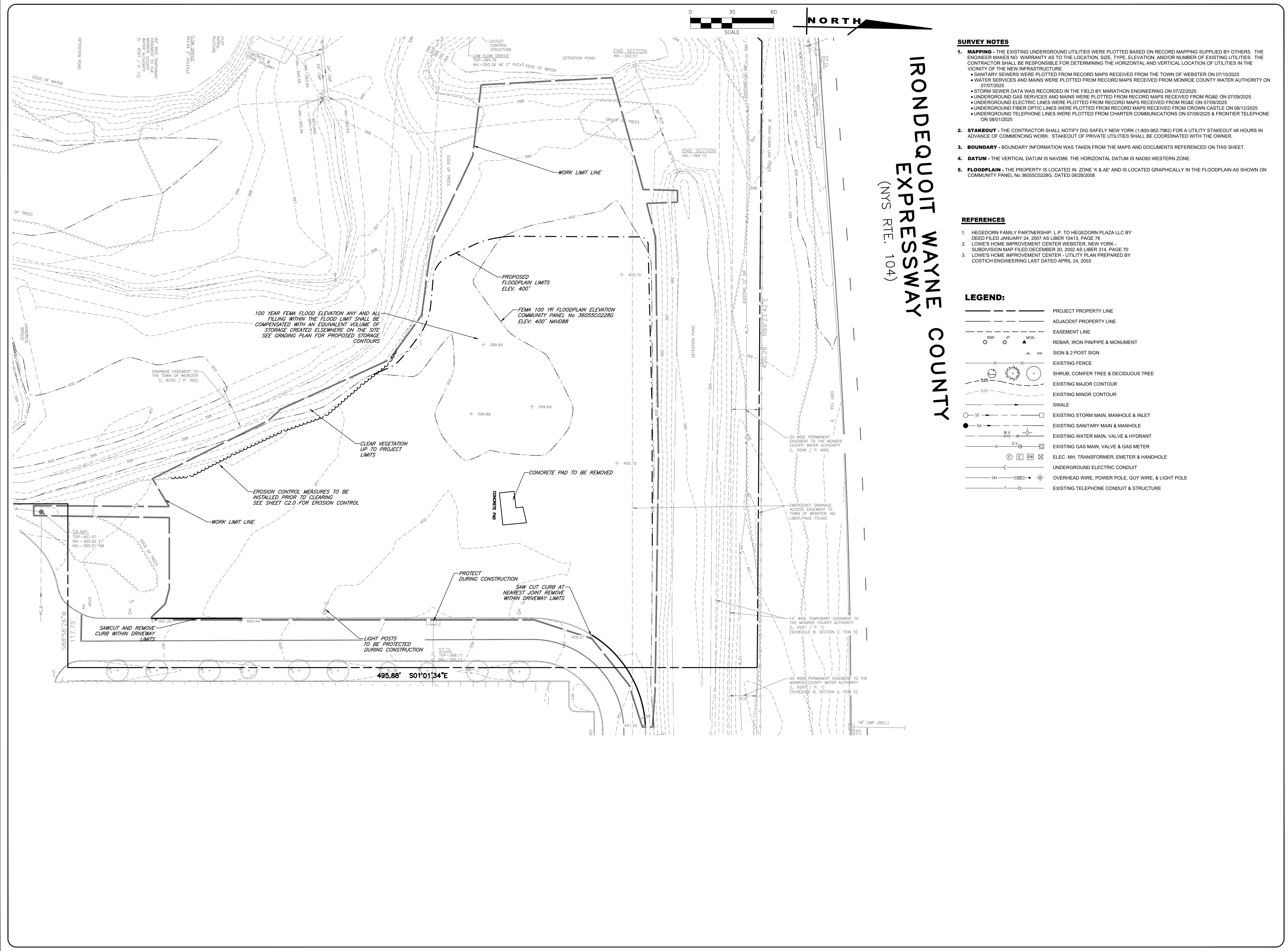
JOB NO:	1843-25
SCALE:	1"=50'
DRAWN:	RLB
DESIGNED:	MPT
DATE:	11/10/2025

REVISIONS	DATE	BY	REVISION

IT IS A LAW OF NEW YORK STATE (CHAPTER 14) THAT THE USE OF THE TRADE NAME "PROFESSIONAL ENGINEER OR LAND SURVEYOR" TO ALTER IN ANY WAY, WITHIN THE STATE OF NEW YORK, THE NAME OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A FEDERAL AND STATE LAW VIOLATION. THE ALTERING ENGINEER OR LAND SURVEYOR IS SUBJECT TO FINE AND OTHER PENALTIES AS PROVIDED IN THE LAW. THE ALTERING ENGINEER OR LAND SURVEYOR IS SUBJECT TO FINE AND OTHER PENALTIES AS PROVIDED IN THE LAW.

ROBERT P. BRINGLEY
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PROFESSIONAL ENGINEER
STATE OF NEW YORK
ROBERT P. BRINGLEY
PROFESSIONAL ENGINEER
STATE OF NEW YORK
ROBERT P. BRINGLEY
PROFESSIONAL ENGINEER
STATE OF NEW YORK

DRAWING TITLE:	OVERALL PLAN
1 of 7	
SHEET NO:	C1.0
1843-25	
JOB NO:	
DRAWING NO:	



FINAL SITE PLANS for PIRANHA RENTS IN WEBSTER

FIVE MILE LINE ROAD
TOWN OF WEBSTER
MONROE COUNTY
STATE OF NEW YORK

**MARATHON
ENGINEERING**
ROCHESTER LOCATION
39 CASCADE DRIVE
ROCHESTER, NY 14614
5 8 5 - 4 5 8 - 7 7 0
ITHACA LOCATION
840 HANSHAW RD, STE 6
ITHACA, NY 14850
6 0 7 - 2 4 1 - 2 9 1 7
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PIRANHA RENTS IN WEBSTER

FIVE MILE LINE ROAD
MONROE COUNTY

TOWN OF WEBSTER
STATE OF NEW YORK

JOB NO: 1843-25
SCALE: 1"=30'
DRAWN: RLB
DESIGNED: MPT
DATE: 11/10/2025

REVISIONS
DATE BY REVISION

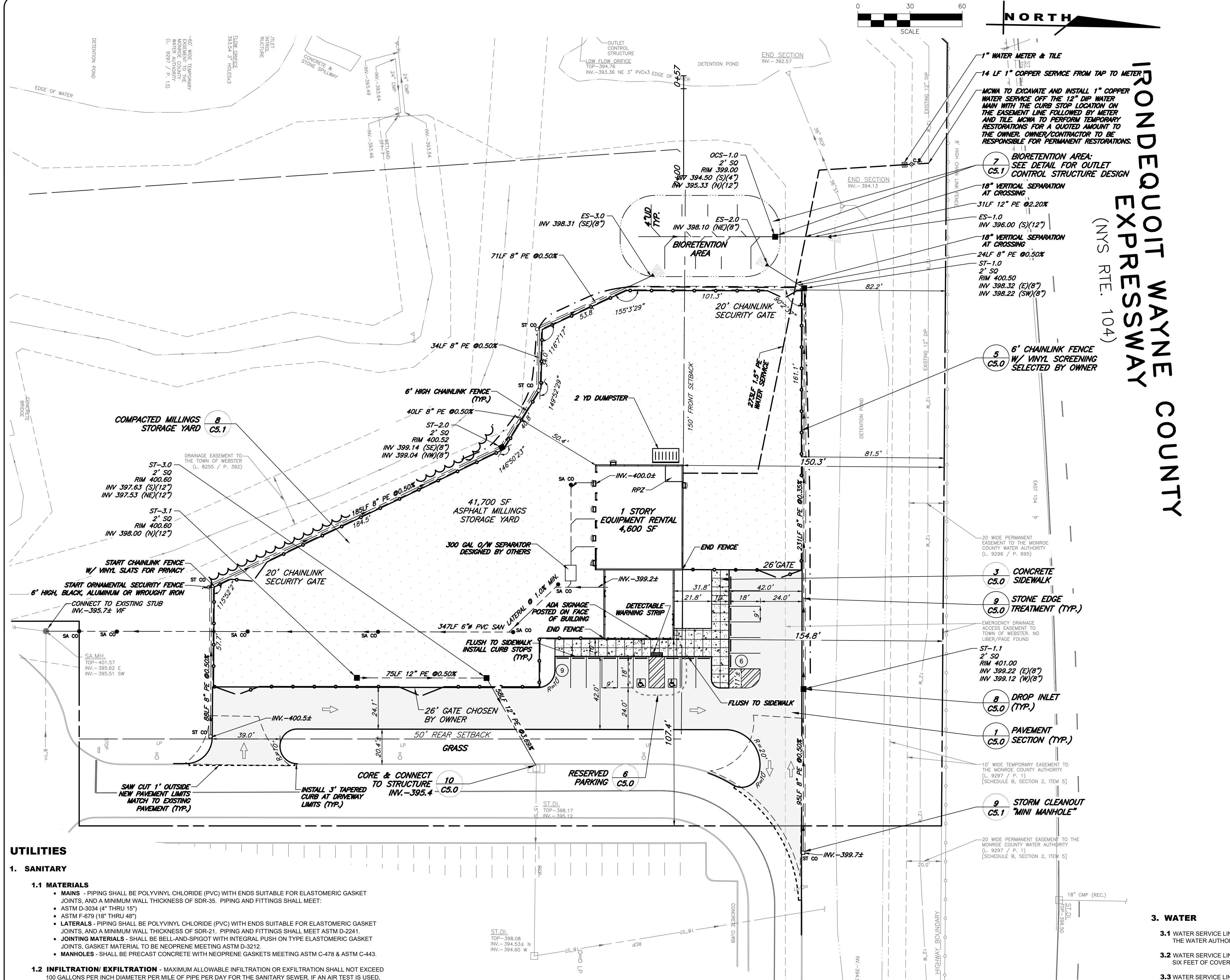
IT IS A VIOLATION OF NEW YORK STATE'S CIVIL LAW ARTICLE 145, SECTION 7209 FOR ANY PERSON TO ALTER, REMOVE, OR OBSCURE THE INFORMATION CONTAINED ON THIS DRAWING OR PLAN, OR TO ALTER IN ANY WAY, WITHIN THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, THE DATE OF THE DRAWING OR PLAN, THE NAME OF THE PROFESSIONAL ENGINEER OR LAND SURVEYOR, OR THE ALTERING ENGINEER OR LAND SURVEYOR, OR TO REMOVE THE DATE AND THE NAME OF THE DRAWER, AND TO REMOVE THE DESCRIPTION OF THE ALTERATION.

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ROBERT P. BRINGLEY
PROFESSIONAL ENGINEER
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PROFESSIONAL ENGINEER

DRAWING TITLE:
LAYOUT AND
UTILITY PLAN

3 of 7
SHEET NO:
C2.0
1843-25
JOB NO:
DRAWING NO:



UTILITIES

1. SANITARY

1.1 MATERIALS

- PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-35. PIPING AND FITTINGS SHALL MEET:
- ASTM D-3034 (4" THRU 15")
- ASTM F-679 (18" THRU 48")

LATERALS - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-21. PIPING AND FITTINGS SHALL MEET ASTM D-2241.

JOINTING MATERIALS - SHALL BE NEOPRENE MEETING ASTM D-3212.

MANHOLES - SHALL BE PRECAST CONCRETE WITH NEOPRENE GASKETS MEETING ASTM C-478 & ASTM C-443.

1.2 INFILTRATION/ EXFILTRATION - MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM F147 ENTITLED STANDARD PRACTICE FOR INSTALLATION ACCEPTANCE OF PLASTIC NON-PRESSURE SEWER LINES USING LOW-PRESSURE AIR. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EX FILTRATION OR VACUUM. AIR VACUUM TESTING OF MANHOLES SHALL BE PERFORMED IN ACCORDANCE WITH ASTM C-1244.

1.3 FLOOR DRAINS - FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FLOOR DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.

1.4 TESTING - DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5% IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL. IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.

1.5 SEPARATION - MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER LINES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES. MANHOLES OR VAULTS.

UTILITIES (CONT.)

2. STORM

2.1 REGULATIONS - STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE MUNICIPALITY AND ALL THERMOPLASTIC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D-2321.

2.2 MATERIALS - THE CONTRACTOR MAY USE THE FOLLOWING PIPE MATERIAL FOR THE MAIN SEWER AS ALLOWED BY THE MUNICIPALITY, PROVIDED THAT THE ROUGHNESS COEFFICIENT ("N" FACTOR) IS 0.013 OR BETTER:

- REINFORCED CONCRETE PIPE (RCP), CLASS III
- HIGH DENSITY CORRUGATED POLYETHYLENE PIPE (PE), AASHTO M-294, TYPE S, ASTM D-3350.

2.3 ROOF DRAINAGE - ALL ROOF DRAINAGE SHALL BE COLLECTED AND PIPED TO THE STORM SEWER SYSTEM UNLESS SPECIFIED OTHERWISE.

2.4 TESTING - UPON COMPLETION OF SYSTEM INSTALLATION, THE MAIN SEWER SYSTEM AND LEADS TO STRUCTURES SHALL BE FLUSHED AND LAMPED TO THE SATISFACTION OF THE MUNICIPALITY.

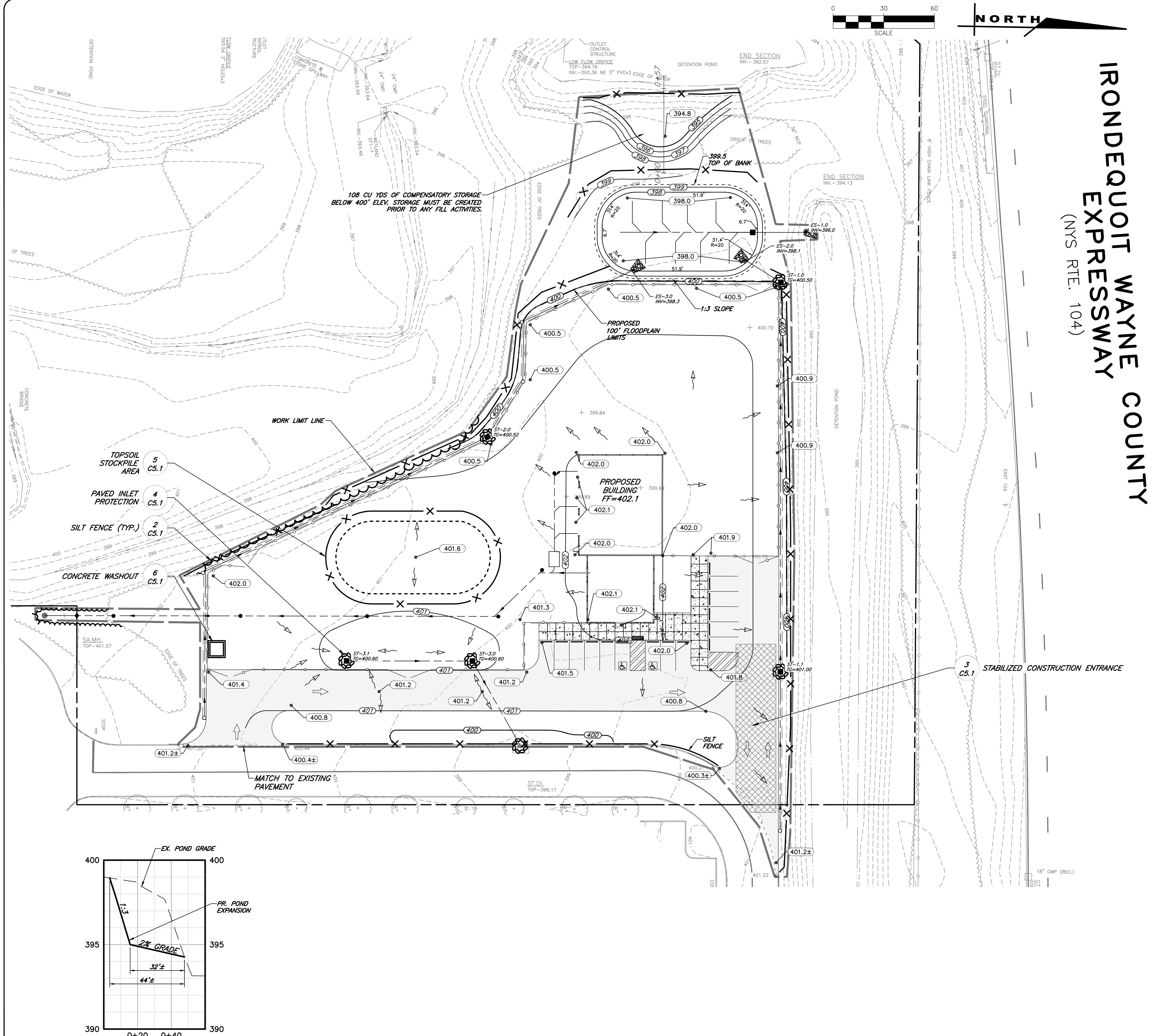
LATERAL IDENTIFICATION	SIZE (a)	MATERIAL	TYPE (c)
MCWA PORTION = FROM THE WATER MAIN TO AND INCLUDING THE CONTROL VALVE ON THE ROW/PROPERTY/EASEMENT LINE	1.5"	COPPER TYPE K	DOM
PRIVATE PORTION = FROM THE CONTROL VALVE TO THE METER	1.5"	PE	DOM

(a) MINIMUM SIZE IS 1-INCH.
(b) ACCEPTABLE MATERIAL FOR PRIVATE PORTION IS EITHER TYPE "K" COPPER OR POLYETHYLENE PLASTIC (PE) #4710, SDR 9, ASTM 2737, NSF-PW, 250 PSI (1.125" OD).

(c) SERVICE TYPES INCLUDE: DOMESTIC = DS, FIRE = FS, OR COMBINED = CMB

3.5 THE WATER AUTHORITY'S PORTION OF THE SERVICE LINE SHALL BE INSTALLED AFTER THE PRIVATE PORTION OF THE LINE IS INSTALLED.

3.6 WATER METER(S) TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALL(S) IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S) OR IN A METER TUBE WHEN CONDITIONS WARRANT. A BY-PASS ASSEMBLY IS NOT REQUIRED AROUND THE INSTALLATION OF 5/8" INCH THROUGH 1-INCH METERS. METER INSTALLATIONS GREATER THAN 1-INCH MAY REQUIRE A BY-PASS ASSEMBLY AROUND THE METER.



POND EXPANSION SECTION

EARTHWORK

- 1. PREPARATION** - PRIOR TO START OF EARTHWORK OPERATIONS THE CONTRACTOR SHALL COMPLETE THE FOLLOWING APPLICABLE ITEMS AS DEFINED BY CONTRACT DOCUMENTS:
 - **SITE DEMOLITION** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; STRUCTURES, UTILITIES, PAVEMENTS, ETC.
 - **CLEARING AND GRUBBING** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; TREES, BRUSH, STUMPS, ETC.
 - **TOPSOIL STRIPPING** - STRIP AND STOCKPILE TOPSOIL FOR REUSE. EXCESS TOPSOIL MAY BE REMOVED FROM SITE WITH APPROVAL BY OWNER AND MUNICIPALITY.
- 2. RESPONSIBILITY** - THE CONTRACTOR IS RESPONSIBLE FOR:
 - **ESTIMATE** - COMPLETION OF A QUANTITY TAKEOFF TO DETERMINE THE VOLUME OF CUT, FILL, AND TOPSOIL. COMPARE AND COORDINATE WITH INFORMATION PROVIDED BY THE DESIGN ENGINEER.
 - **GRADE TOLERANCES** - ESTABLISHING DESIGN SUBGRADE ELEVATIONS TO WITHIN ONE TENTH OF ONE FOOT (0.10') IN PAVEMENT AREAS (INCLUDING WALKS) AND TO WITHIN THIRTY-THREE HUNDREDTHS OF ONE FOOT (0.33') FOR ALL REMAINING AREAS.
 - **COMPACTION** - ACHIEVING COMPACTION VALUES (NOT LESS THAN THE PERCENTAGES SPECIFIED BELOW) FOR EMBANKMENT/FILL AREAS. THE TERMS "FILL" AND EMBANKMENT" ARE INTERCHANGEABLE.
 - **CUTS** - ONCE EXCAVATIONS ARE SHAPED TO THE DESIGN GRADES THE AREAS SHALL BE PROTECTED TO ASSURE THAT THE INTEGRITY OF MATERIAL IS NOT COMPROMISED BY CONSTRUCTION VEHICLES AND/OR IMPROPER DRAINAGE. AREAS DETERMINED BY CONTRACTOR TO BE **NOT** SUITABLE FOR SUBGRADE PLACEMENT SHALL BE IMMEDIATELY REPORTED WHEN THE SUBGRADE IS ESTABLISHED TO OWNER'S REPRESENTATIVE. STABILIZATION MEASURES FOR CUT AREAS MAY BE CONSIDERED BY OWNER'S REPRESENTATIVE AS A CHANGE

- 3. TESTING** - THE FOLLOWING MAXIMUM DRY DENSITIES SHALL BE ACHIEVED AS MEASURED BY THE MODIFIED PROCTOR METHOD ASTM D-1557:
 - **95%** UNDER PAVEMENTS, WALKS, AND IN STRUCTURAL FILL AREAS
 - **85%** IN REMAINING AREAS

- THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE NUMBER OF TESTS AND RESPONSIBILITY. WE RECOMMEND IN EMBANKMENT AREAS ONE PER LIFT AND/OR ONE PER 1,000 CUBIC YARDS.

- 4. LIFT THICKNESS** - THE MAXIMUM LIFT THICKNESS UNDER PAVEMENTS, WALKS, AND STRUCTURAL FILLS SHALL BE 12 INCHES. HAND OPERATED COMPACTION FILLS SHALL NOT EXCEED 6 INCHES.

- 5. PROOF ROLLING** - THE OWNER'S REPRESENTATIVE MAY REQUEST A PROOF ROLL (I.E. LOADED TEN WHEELER) OF SUBGRADE AREAS PRIOR TO PLACEMENT OF SUBBASE MATERIALS. AREAS THAT "FAIL" SHALL BE REMOVED AND REPLACED TO ACHIEVE A PASSING SUBGRADE.

EROSION CONTROL

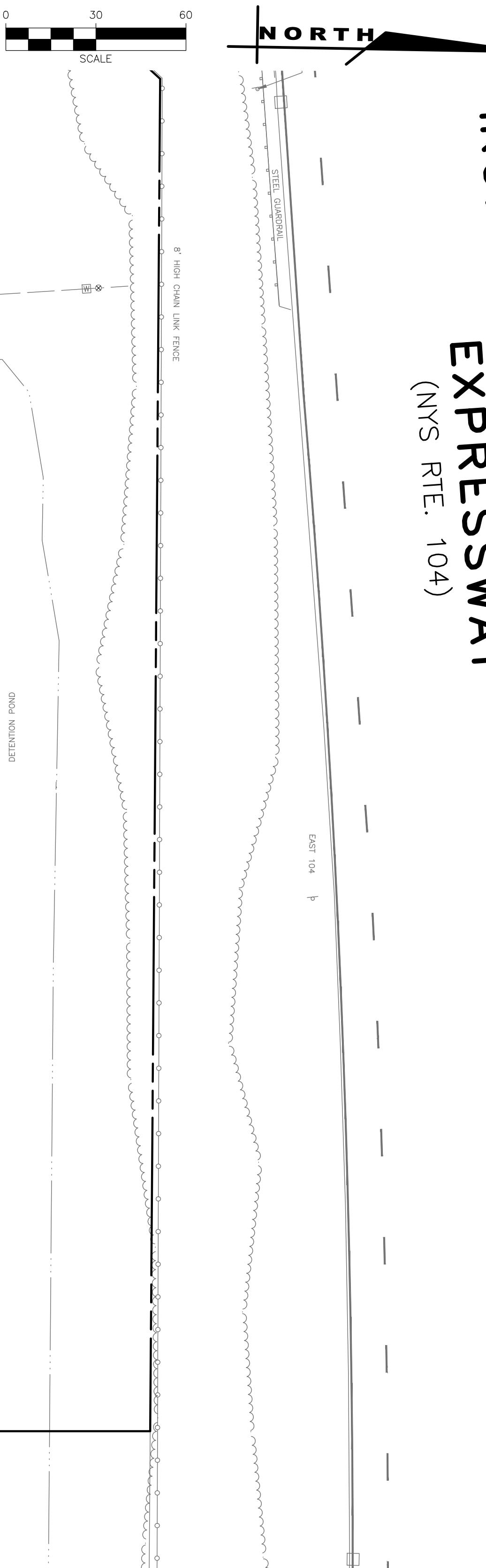
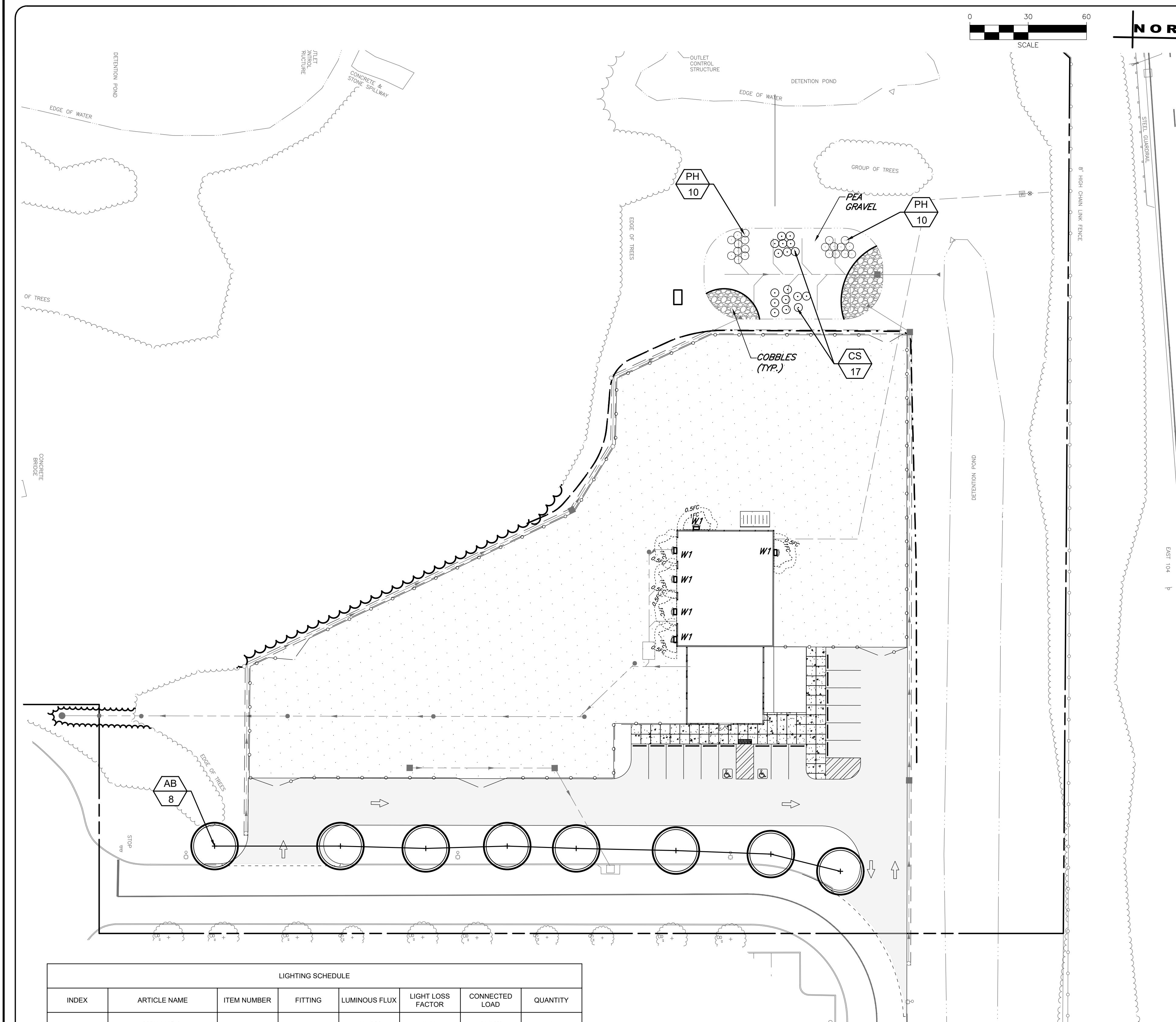
- 1. CERTIFICATION** - THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE "GRADING PLAN", "EROSION CONTROL PLAN", "EROSION CONTROL NOTES", ALONG WITH THE "DRAINAGE REPORT", DEFINES AND MEETS THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) LATEST STORM WATER REGULATIONS.
- 2. CONTRACTOR RESPONSIBILITY** - ALL CONTRACTORS AND SUB-CONTRACTORS SHALL CERTIFY WITHIN THE SWPPP THAT THEY WILL IMPLEMENT AND MAINTAIN STORM WATER MANAGEMENT PRACTICES.
- 3. INSPECTION** - EROSION CONTROL (EC) MEASURES INSTALLED AND MAINTAINED BY THE SITE WORK CONTRACTOR ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE: MUNICIPALITY, DESIGN ENGINEER, NYSDEC, AND OWNER'S REPRESENTATIVE. IMMEDIATE ACTION BY THE CONTRACTOR SHALL BE TAKEN IF ADDITIONAL OR CORRECTIVE MEASURES ARE REQUIRED BY ANY ONE OF THESE CITED REVIEWERS. EROSION CONTROL MEASURES NOT SPECIFICALLY SHOWN ON CONTRACT DRAWINGS (I.E., STRAW BALES, COLLARS, FABRICS, ETC.) SHALL BE INSTALLED AS WARRANTED BY FIELD CONDITIONS, AND AS DIRECTED BY THE AFOREMENTIONED REVIEWERS.
- 4. NOTIFICATION** - AS DESIGN ENGINEER, OUR OFFICE HAS NOTIFIED THE OWNER OF THE INSPECTION REQUIREMENTS UNDER GP-0-25-001. DISTURBANCES OF 1.0 ACRE OR GREATER REQUIRE THAT THE OWNER FILE A NOTICE OF INTENT (NOI) AND A SWPPP WITH THE NYSDEC UNDER STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT #GP-0-25-001. THE REGULATIONS REQUIRE THAT A LICENSED PROFESSIONAL COMPLETE A WEEKLY INSPECTION (THROUGHOUT THE PERIOD OF LAND DISTURBANCE).
- 5. PRE-CONSTRUCTION** - THE APPROPRIATE EROSION CONTROL MEASURES AS DEFINED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- 6. TOPSOIL** - UPON COMPLETION OF THE STRIPPING OPERATION, STOCKPILES SHALL BE STABILIZED IN ACCORDANCE TO NYSDEC REGULATIONS.
- 7. SLOPES** - UPON COMPLETION OF GRADING, SLOPES WITH A GRADIENT OF ONE FOOT VERTICAL TO THREE FEET HORIZONTAL (1 ON 3) OR GREATER SHALL BE: TOPSOILED, SEEDED, FERTILIZED AND MULCHED OR TREATED AS SPECIFIED ON CONTRACT DRAWINGS.
- 8. DUST** - THE CONTRACTOR SHALL APPLY WATER AND/OR CALCIUM CHLORIDE, AS CONDITIONS WARRANT, TO CONTROL WIND BORN EROSION. THIS MEASURE APPLIES TO: HAUL ROADS, CUT AND FILL OPERATIONS, SUB-BASE AND ANY OTHER EXPOSED SURFACES.
- 9. OPERATION & MAINTENANCE** - THROUGHOUT THE PERIOD OF CONSTRUCTION AND PRIOR TO ESTABLISHING FINAL GROUND COVER THE SITE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE TEMPORARY EROSION CONTROL MEASURES. FOR EXAMPLE, THE SILTATION FACILITIES SHALL BE RE-EXCAVATED WHEN THE VOLUME (3600 CUBIC FEET/DISTURBED ACRE) IS REDUCED BY ONE-HALF OR MORE OF ITS SPECIFIED CAPACITY AND/OR THE MATERIAL IS WITHIN ONE FOOT OF THE DISCHARGE POINT.
- 10. WORK STOPPAGE** - ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 14 DAYS MUST BE SEEDED WITHIN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.
- 11. TEMPORARY STABILIZATION** - TEMPORARY STABILIZATION SHALL REQUIRE 4 TONS OF STRAW/ ACRE OF DISTURBANCE PLACED WITH TACKIFIER OR ROLLED WITH A TRACKED VEHICLE TO ENSURE NOT DISPLACED.
- 12. WINTER STABILIZATION** - ALL WINTER STABILIZATION METHODS IDENTIFIED IN THE NYS 'BLUE BOOK' SHALL BE FOLLOWED FOR ANY DISTURBANCE OR NON-STABILIZED AREAS FROM NOVEMBER 15TH - APRIL 1ST.
- 13. SUBSOIL RESTORATION** - ALL AREAS TO BE RESTORED AS LAWN SHALL BE RESTORED PER CHAPTER 5 (5.1.6) OF THE NEW YORK STATE STORMWATER DESIGN MANUAL AND THE SOIL RESTORATION TABLE (TABLE 5.3 - SOIL RESTORATION REQUIREMENTS) SHOWN ON THE PLANS. THE PROJECT SOILS ARE HYDROLOGIC SOIL GROUP D AND SHALL BE RESTORED AS SPECIFIED.
- 14. SEQUENCE** - THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT PRE-CONSTRUCTION MEETING:
 - INSTALL PERIMETER SEDIMENT CONTROLS, I.E. EROSION FENCING.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - PROTECT VEGETATION TO REMAIN.
 - CLEAR/GRUB AND CONSTRUCT DIVERSIONARY SWALES, AND SEDIMENT BASINS.
 - COMPLETE CLEARING AND GRUBBING OPERATION.
 - PLACE EROSION CONTROL MEASURES AT TOPSOIL STOCKPILES AND STRIP TOPSOIL.
 - CONSTRUCT SWALES AND SILTATION DEVICES AS EARTHWORK OPERATIONS PROGRESS.
 - MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK AND UNDERGROUND UTILITIES ARE CONSTRUCTED.
 - RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.
 - REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER.

RESTORATION AND LANDSCAPING

- 1. GUARANTEE** - THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE REQUIREMENTS, MAINTENANCE, AND TIME TO ESTABLISH NEW TURF AND LANDSCAPING ACCEPTANCE BY THE OWNER.
- 2. TOPSOIL** - PLACE A MINIMUM OF **6 INCHES** (REQUIRED) OF TOPSOIL ON ALL DISTURBED SURFACES. FINE GRADE TO ESTABLISH THE DESIGN ELEVATIONS AND DRAINAGE PATTERNS. OBTAIN OWNER'S REPRESENTATIVE APPROVAL PRIOR TO SEEDING.
- 3. SEED** - LAWN AREAS SHALL BE HYDROSEEDED WITH AN APPROVED: SEED MIXTURE, MULCH, AND FERTILIZER. THE APPLICATION RATE SHALL BE DETERMINED BY CONTRACTOR TO ESTABLISH A "STAND" OF GRASS. THE CONTRACTOR SHALL SUBMIT MATERIAL AND APPLICATION SPECIFICATIONS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO APPLICATION.
- 4. PLANT STOCK** - PLANT MATERIALS SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARD FOR NURSERY STOCK". THE CONTRACTOR SHALL SUBMIT PLANT MATERIAL SPECIFICATIONS TO THE OWNER'S ON-SITE REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY TO THE SITE.
- 5. PLANT LOCATIONS** - THE PLANT LOCATIONS DEPICTED ON THE PLAN MAY BE FIELD ADJUSTED (SO THEY DO NOT INTERFERE WITH UTILITIES) AND TO THE SATISFACTION OF OWNER'S REPRESENTATIVE.
- 6. PLANTING BEDS** - PROVIDE TWELVE INCHES (12") OF TOPSOIL, WEED FABRIC (AS DIRECTED BY OWNER), AND THREE INCHES (3") OF MULCH AT PLANTING BEDS, UNLESS SPECIFIED OTHERWISE ON DRAWINGS.

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209 FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY WAY, AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR. IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY [NAME]" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

DRAWING TITLE: GRADING & EROSION CONTROL PLAN	
4 of 7 SHEET No: 1843-25 JOB No:	C3.0 DRAWING No:

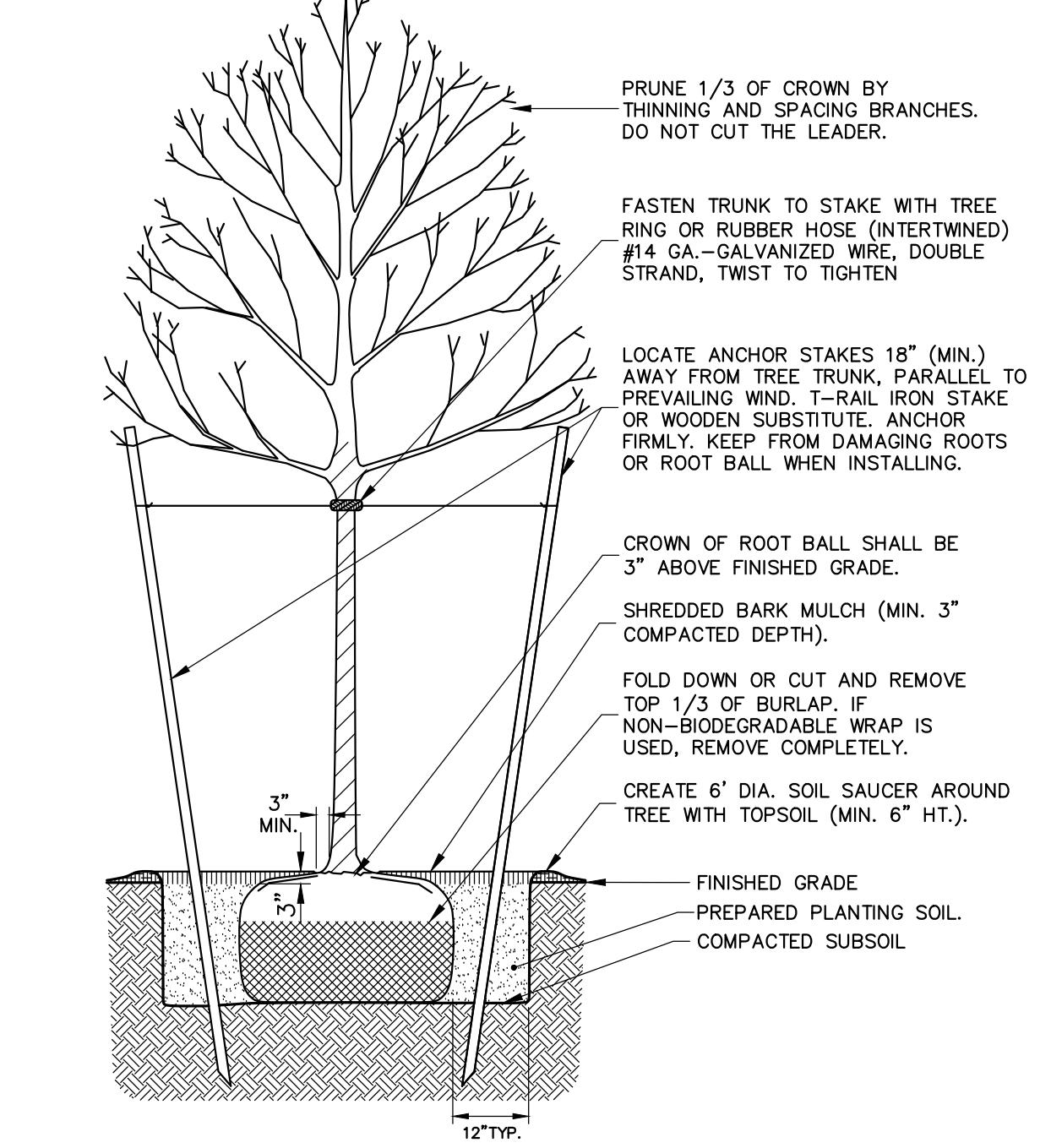


IRONDEQUOIT WAYNE COUNTY
EXPRESSWAY
(NYS RTE. 104)

1 DECIDUOUS PLANTINGS



WP WAL-PAK



FINAL SITE PLANS
for
PIRANHA RENTS IN WEBSTER

FIVE MILE LINE ROAD
TOWN OF WEBSTER
STATE OF NEW YORK

JOB NO:	1843-25	
SCALE:	1"=30'	
DRAWN:	RLB	
DESIGNED:	MPT	
DATE:	11/10/2025	
REVISIONS		
DATE	BY	REVISION

DATE BY REVISION

IT IS A VIOLATION OF NEW YORK STATE'S PROFESSIONAL LAW ARTICLE 145, SECTION 7209 FOR ANY PERSON TO ALTER THE DRAWINGS OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IN ANY WAY, WITHIN BOUNDARIES OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR TO ALTER IN ANY WAY, WITHIN BOUNDARIES OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, A SET OF DRAWINGS OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, AFTER THE DATE OF ORIGINAL ISSUE, AND THE NOTATION "ALTERED BY" FOLLOWED BY THE NAME OF THE PERSON WHO MADE THE ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

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DRAWING TITLE:
LIGHTING &
LANDSCAPING
PLAN

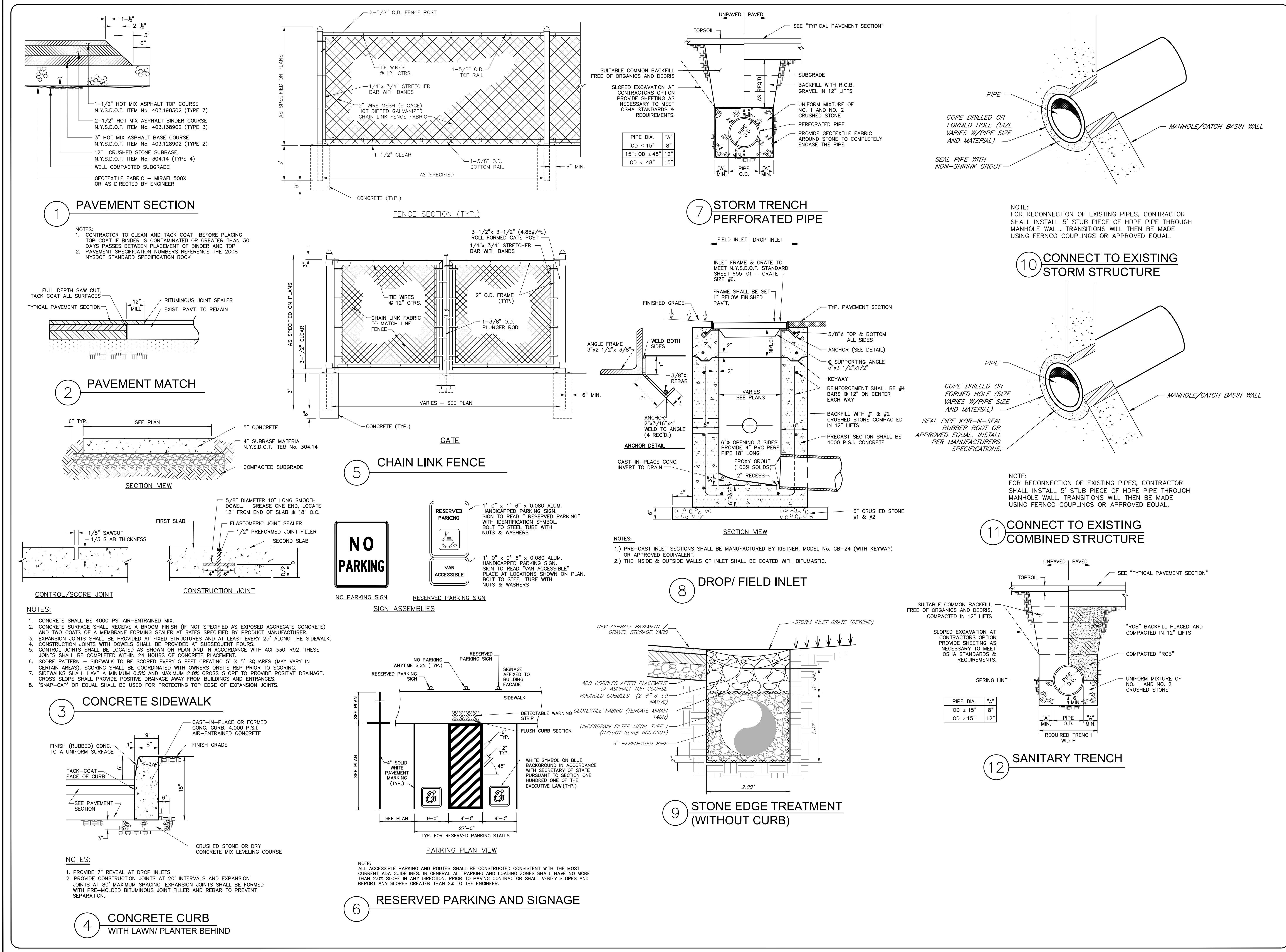
5 of 7
SHEET NO:
1843-25
DRAWING NO:
C4.0

FINAL SITE PLANS for PIRANHA RENTS IN WEBSTER

STATE OF NEW YORK

FIVE MILE LINE ROAD
MONROE COUNTY

TOWN OF WEBSTER



JOB NO:	1843-25
SCALE:	AS SHOWN
DRAWN:	RIB
DESIGNED:	MPT
DATE:	11/10/2025

REVISIONS

DATE BY REVISION

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