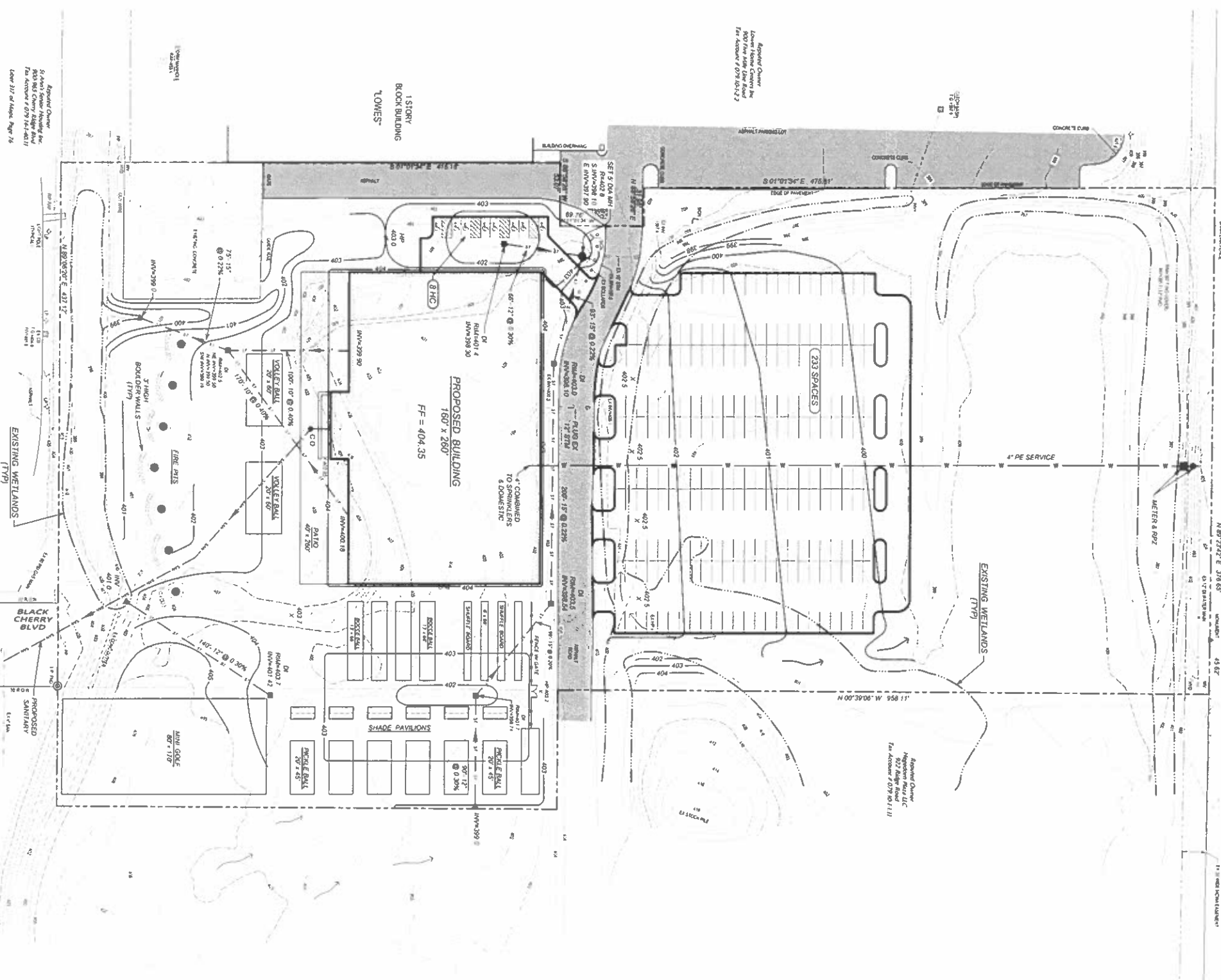
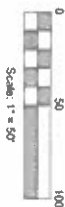
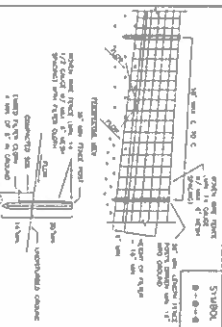


IN C.W. VANDEBEEK



CONSTRUCTION SPECIFICATIONS



LOCATION SKETCH (N.T.S.)



Unadvertised allegations of solicitation to survey may have skewed the survey's results. A 1996 edition of *Slater's 1700s* listed surveyors as a "collection of Slavers' 1700s state-22 of the New York State Education Law."

REVISIONS:	
DESCRIPTION	BY

SEAL:

Parcel Data:

Property Owner: Joe Cattalan

Zoning: HC Zoning/PDD

Selfbacks:

	<u>Existing</u>	<u>Proposed</u>
Front	TBD	15' +/- to road
Front	TBD	15' +/- to road
Front	TBD	15' +/- to road
Front	TBD	15' +/- to road

*TBD = To Be Decided (by Planning Board)

SHOWING:

SITE LAYOUT

000 FIVE MILE LINE ROAD
WEBSTER, NY 14580

PREPARED FOR:

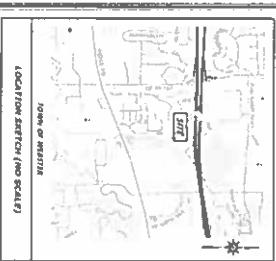
Joe Cattalani
649 Park Avenue
Rochester, NY 14607

MARQUES & ASSOCIATES, P.C.

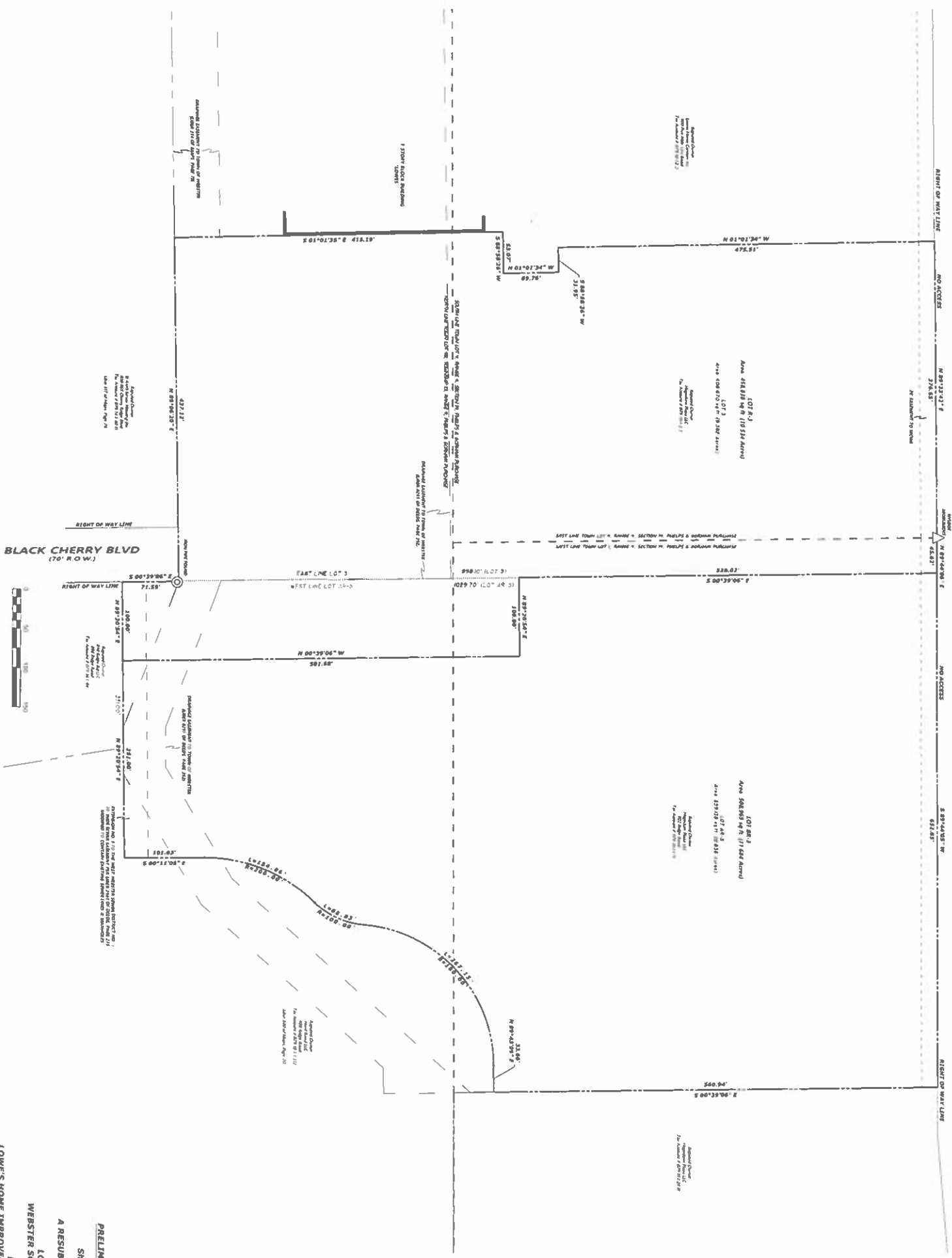
ENGINEERING
930 East Avenue, Suite 1000
Rochester, New York 14607
585-723-1810
www.morquespc.com
imorques@rochester.rr.com

Date: May 29, 2025
Project #: 2025008.1-1
Scale: 1" = 50'
Drawn by: PAC
Checked by: LEH

Morris County Department of Health



IRONDEQUOIT WAYNE COUNTY EXPRESSWAY
NEW YORK ROUTE 104
(R.O.W. VARIES)



PRELIMINARY PLAT
Showing:
A RESUBDIVISION OF
LOT AR-5
WEBSTER SQUARE - PHASE 1
&
LOT 3
LOWE'S HOME IMPROVEMENT CENTER - WEBSTER, NY

Situate in Town Lots 1 & 4 of Township 14
and Town Lot 48 of Township 13
Range 4, Phelps & Gorham Purchase
Town of Webster
Monroe County
New York



MARQUIS & ASSOCIATES, P.C.
LAND SURVEYING - ENGINEERING
338 East Avenue, Suite 1000
Webster, NY 14580
Phone: 516-338-1000
Fax: 516-338-1001
www.marquispc.com
Project #: 201008
Scale: 1"=50'
Checked by: JLM

NOTES:
1. This plat was prepared and filed for recording by the undersigned, a duly qualified and licensed Professional Engineer, on the basis of a survey conducted by him or her, or under his or her direct supervision and control, and in accordance with the provisions of the Engineering Law of the State of New York.
2. The survey was conducted in accordance with the provisions of the Engineering Law of the State of New York, and the survey was found to be correct and reliable.
3. The survey was conducted in accordance with the provisions of the Engineering Law of the State of New York, and the survey was found to be correct and reliable.
4. The survey was conducted in accordance with the provisions of the Engineering Law of the State of New York, and the survey was found to be correct and reliable.
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9. The survey was conducted in accordance with the provisions of the Engineering Law of the State of New York, and the survey was found to be correct and reliable.
10. The survey was conducted in accordance with the provisions of the Engineering Law of the State of New York, and the survey was found to be correct and reliable.

Lot Area: _____
Total Area: _____
Scale: _____
Checked by: _____