

FINGERLAKES FCU

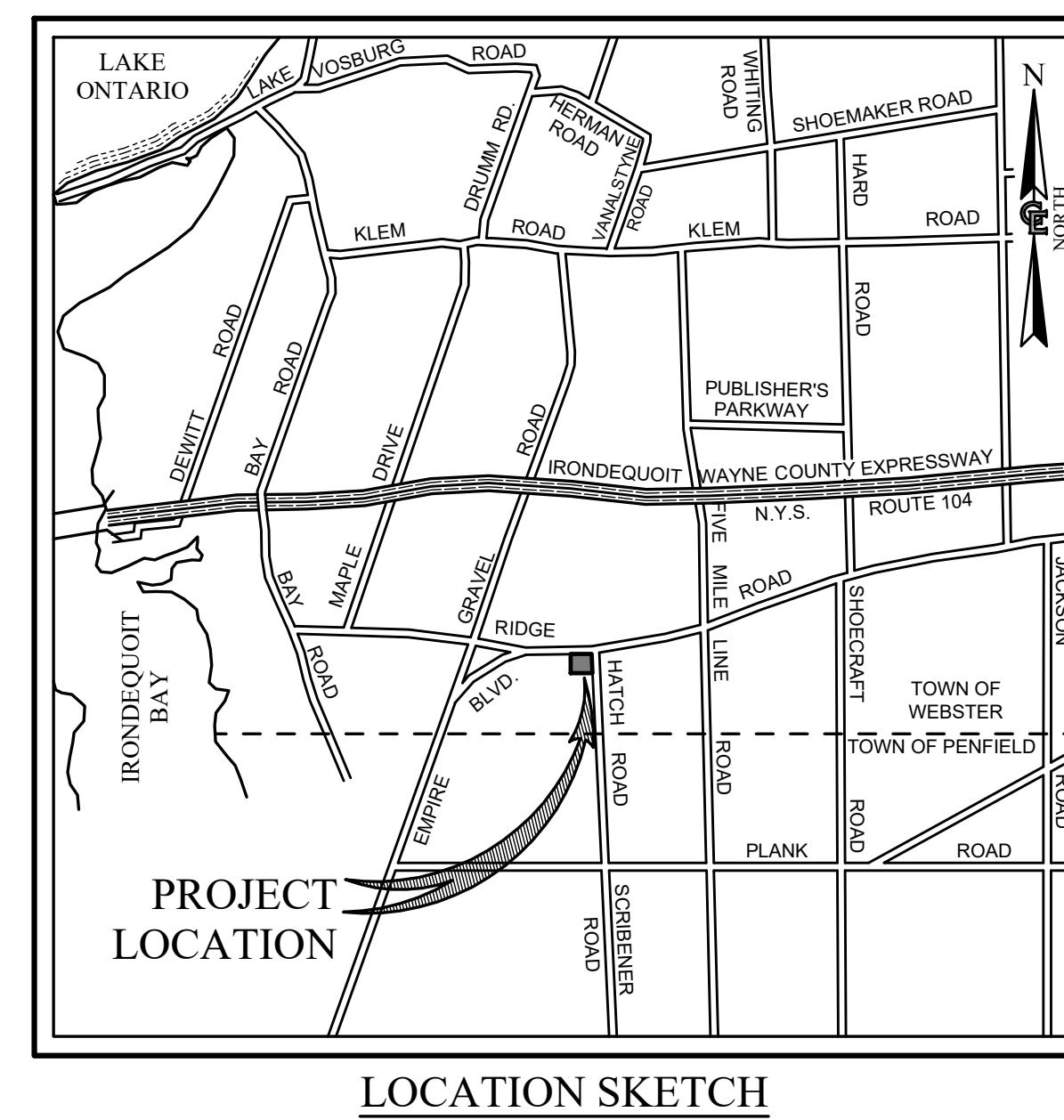
711 & 715 RIDGE ROAD

SITE DEVELOPMENT PLANS

TOWN OF WEBSTER COUNTY OF MONROE STATE OF NEW YORK

INDEX OF DRAWINGS

SHEET NO.	DRAWING TITLE
GA001	COVER SHEET (SHEET 01 OF 12)
CA100	EXISTING FEATURE/DEMOLITION PLAN (SHEET 02 OF 12)
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CA501	DETAIL SHEET (SHEET 09 OF 12)
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CA503	DETAIL SHEET (SHEET 11 OF 12)
CA504	DETAIL SHEET (SHEET 12 OF 12)



LOCATION SKETCH
NOT TO SCALE

PREPARED FOR:
PWCAMPBELL
109 SETA DRIVE
PITTSBURGH, PENNSYLVANIA 15238



• CIVIL
ENGINEERING
• LAND
SURVEYING
• LANDSCAPE
ARCHITECTURE
217 LAKE AVENUE
WEBSTER, NY 14560
(585) 458-3020

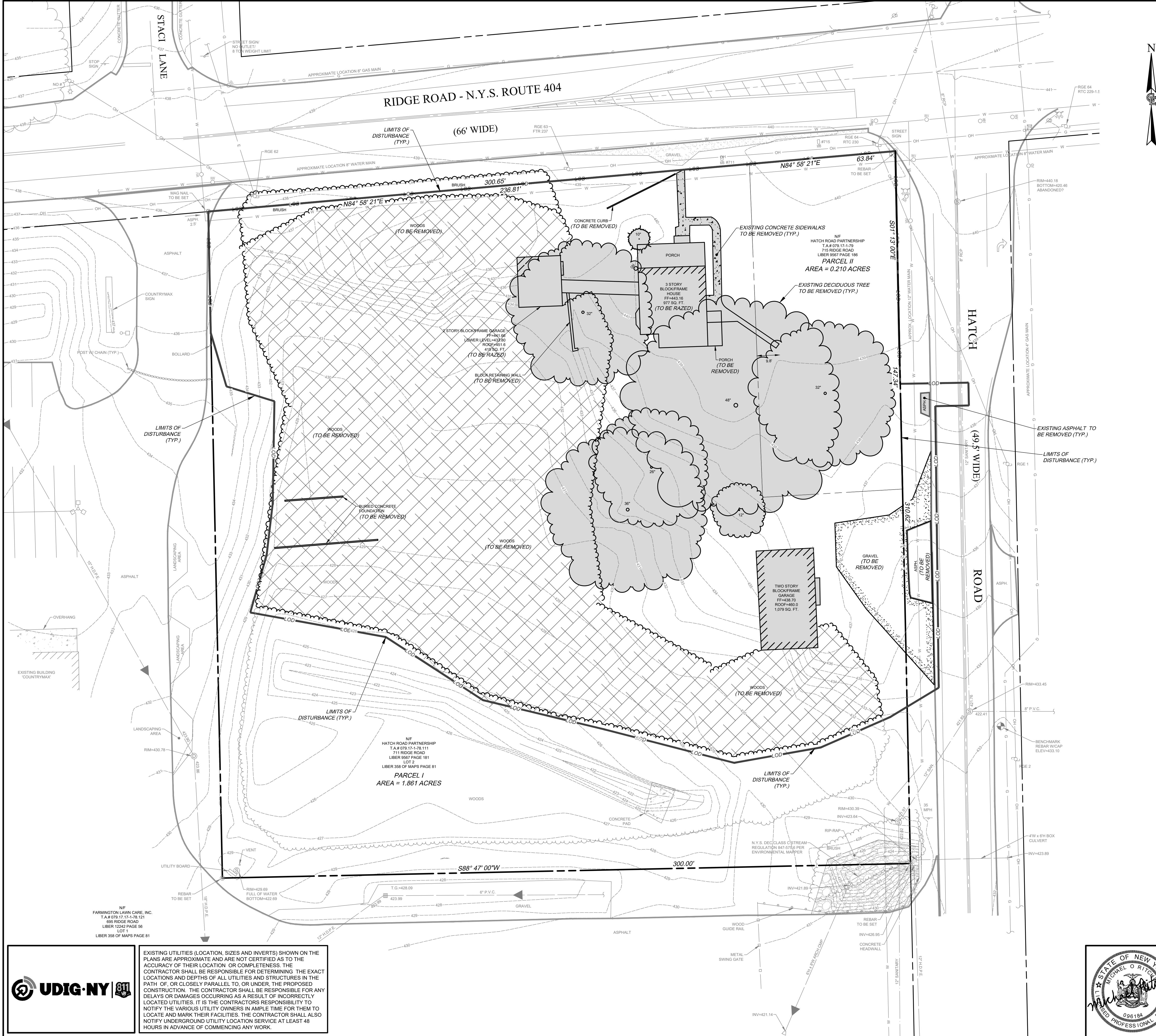
FINGERLAKES FCU
711 & 715 RIDGE ROAD
SITE DEVELOPMENT PLANS
TOWN OF WEBSTER
COUNTY OF MONROE
STATE OF NEW YORK

PRELIMINARY PLANS

DATE: MAY 12, 2025

PROJECT NO. 9444

SHEET NO. GA001
SHEET 01 OF 12



LINE LEGEND

- BOUNDARY PARCEL LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING ADJACENT PROPERTY LINE
- CENTER LINE
- EXISTING CONCRETE CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING WATER MAIN, VALVE, & HYDRANT
- EXISTING SANITARY SEWER & MANHOLE
- EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
- EXISTING OVERHEAD UTILITIES
- EXISTING TELEPHONE
- EXISTING UNDERGROUND UTILITIES
- EXISTING GAS
- EXISTING ELECTRIC
- EXISTING GUARD RAIL
- TREE, HEDGE, EDGE OF WOODS
- EXISTING SWALE
- STOCKADE, CHAIN LINKED FENCE
- EXISTING CONTOUR

DEMOLITION LEGEND

- EXISTING DECIDUOUS & CONIFEROUS TREES TO BE REMOVED
- EXISTING WOODED AREA TO BE REMOVED
- EXISTING CONCRETE CURB TO BE REMOVED
- EXISTING BUILDING TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- INLET PROTECTION
- PROPOSED SILT FENCE
- LIMITS OF DISTURBANCE

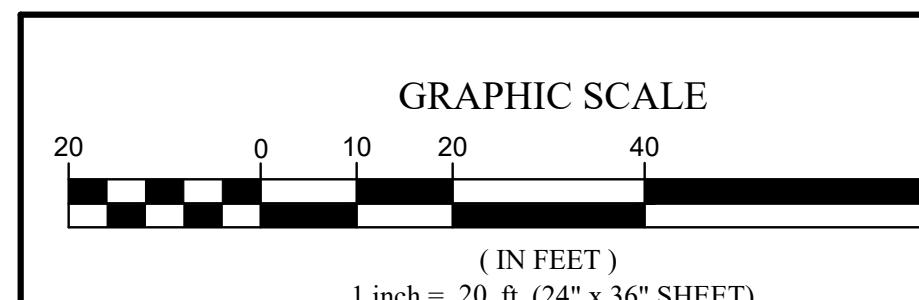
REFERENCES

- MAP ENTITLED "COUNTRYMAX - WEBSTER SUBDIVISION PLAT", PREPARED BY BME ASSOCIATES, HAVING PROJECT NO. 2534, DATED MAY 2018, AND IS ON FILE AT THE MONROE COUNTY CLERK'S OFFICE AT LIBER 358 OF MAPS PAGE 81.
- TITLE REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, HAVING TITLE NO. 2416-1000EC, DATED OCTOBER 21, 2024.
- THE DEEDS AS SHOWN ON FILE IN THE MONROE COUNTY CLERK'S OFFICE.

SURVEY NOTES

- TOPOGRAPHY SHOWN FROM A FIELD SURVEY BY COSTICH ENGINEERING ON 6/10/2024 HORIZONTAL AND VERTICAL DATA OBTAINED THROUGH NYSDOT CORS NETWORK REFERENCED TO THE FOLLOWING MONUMENT

PITTSFORD CORS STATION
LATITUDE: 43-05-35.8461 (N) NAD 83 (CORS)
LONGITUDE: 078-31-31.1244 (W)
ELLIP. HEIGHT: 113.481 METERS NAVD 88 (CORS)



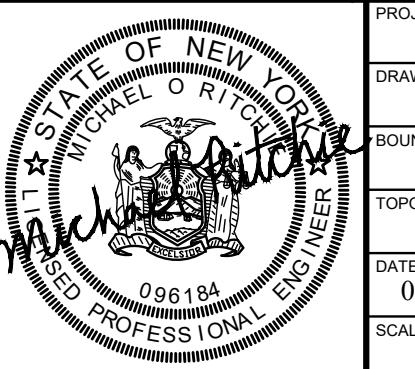
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COSTICH ENGINEERING, D.P.C.

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ENGINEER, LAND SURVEYOR, ARCHITECT
OR LANDSCAPE ARCHITECT TO DRAW
ITEM ON THIS DOCUMENT IN ANY WAY.
ANY LICENSEE WHO ALTERS THIS
DOCUMENT MUST SIGN AND DATE
THE ALTERATION, AND THE OTHER
SIGNATURE AND SPECIFIC DESCRIPTION OF
THE ALTERATION, TO THE DOCUMENT.

0	05/12/2025	ISSUED FOR MUNICIPAL SUBMISSION	D.J.L.	M.P.M.
NO.	REVISION	BY	CHKD.	APVS.
PROJECT MANAGER E.R.G. DRAWN BY D.J.L. BOUNDARY G.M.S. TOPOGRAPHIC G.L.R. DATE 05/12/2025 SCALE 1"=20'				
COSTICH ENGINEERING				
• CIVIL ENGINEERING • LAND SURVEYING • LANDSCAPE ARCHITECTURE				
TITLE OF PROJECT FINGERLAKES FCU 711 & 715 RIDGE ROAD				
TITLE OF DRAWING EXISTING FEATURES/ DEMOLITION PLAN				
LOCATION OF PROJECT TAX PARCEL NO. 079.17-1-78.121 TOWN LOT 60, TOWNSHIP 13, RANGE 4, PHILIPS & GORHAM PURCHASE, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK				
CLIENT PNCAMPBELL 217 LAKE AVENUE ROCHESTER, NY 14608 (585) 458-3020				
DWG # 9444 CA100 SHEET 02 OF 12				



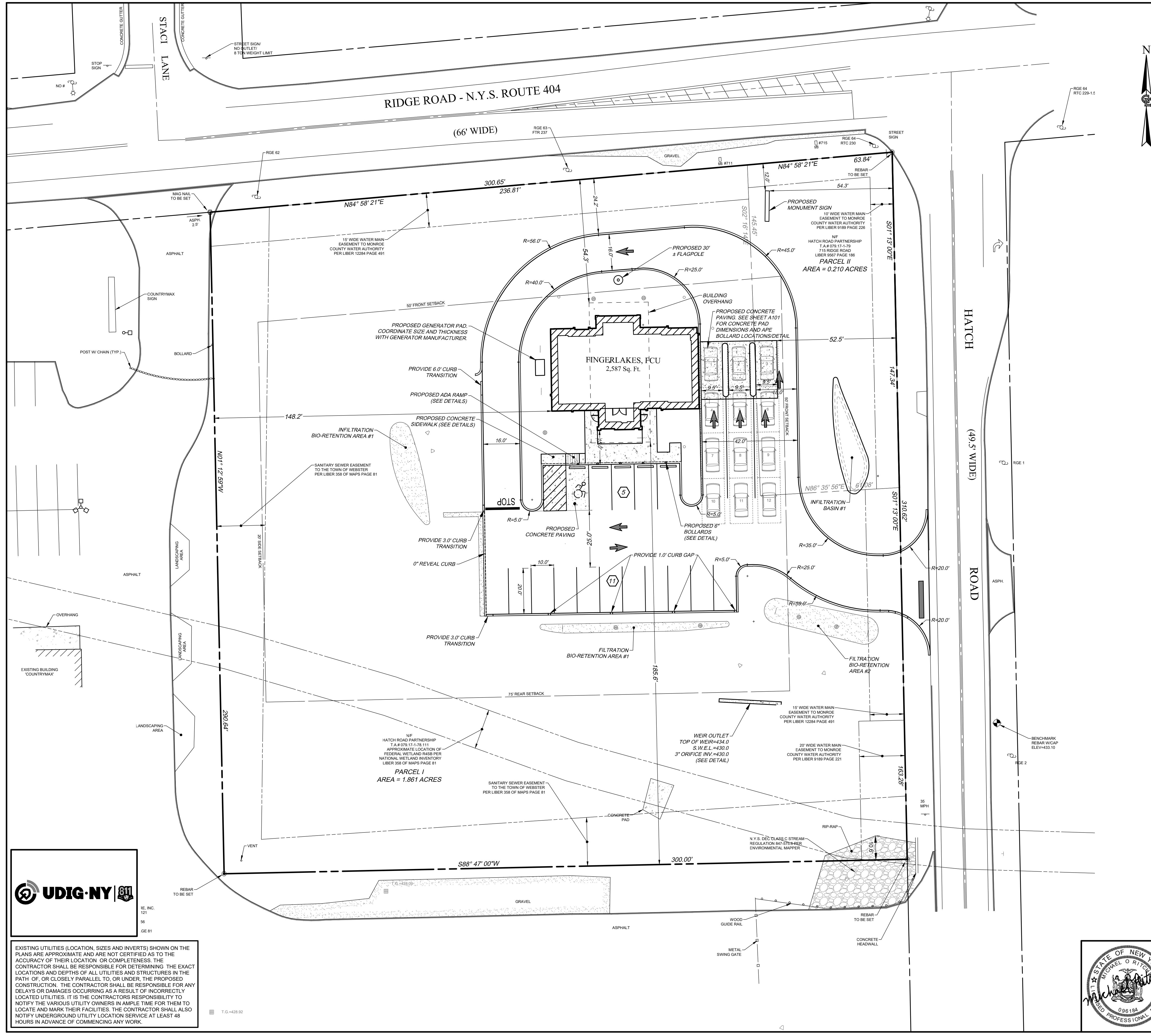
EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATIONS AND CONTENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES OR OTHER LOSSES SUFFERED AS A RESULT OF INACCURATELY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



09618A
MICHAEL O'RILEY
PROFESSIONAL ENGINEER

DATE
05/12/2025

SCALE
1"=20'



SITE LINE LEGEND

SITE DATA

1. TAX PARCEL NO. 079.17-01-078.111, 079.17-01-79
2. PARCEL AREA: 1.861 ACRES & 0.210 ACRES
3. EXISTING ZONING: MC (MEDIUM-INTENSITY COMMERCIAL DISTRICT)
4. BULK REQUIREMENTS:

	<u>REQUIRED</u>	<u>PROVIDED</u>
MIN. LOT AREA (SF)	45,000	2.07 ACRES
MAX LOT COVERAGE	20%	5.9%
MIN. LOT WIDTH (FT)	150	300.65
MAX. BUILDING HEIGHT (FT)	35	22±
MIN. FRONT YARD SETBACK (FT)	50	54±
MIN. SIDE YARD SETBACK (FT)	20	52±
MIN. REAR YARD SETBACK (FT)	75	185±

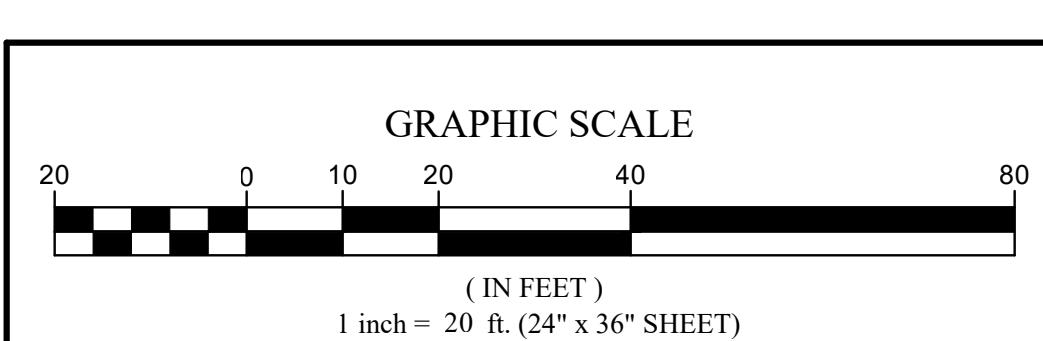
PARKING REQUIREMENT:

1 SPACE/150 SF GROSS FLOOR AREA OVER 1000 SF

$1/150 \times 1,180 = 8$ PARKING SPACES REQUIRED

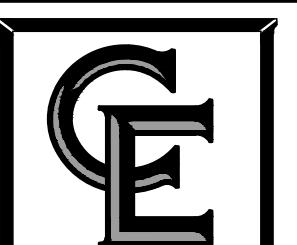
PARKING PROVIDED: 15 PARKING SPACES, 1 ADA/HANDICAP

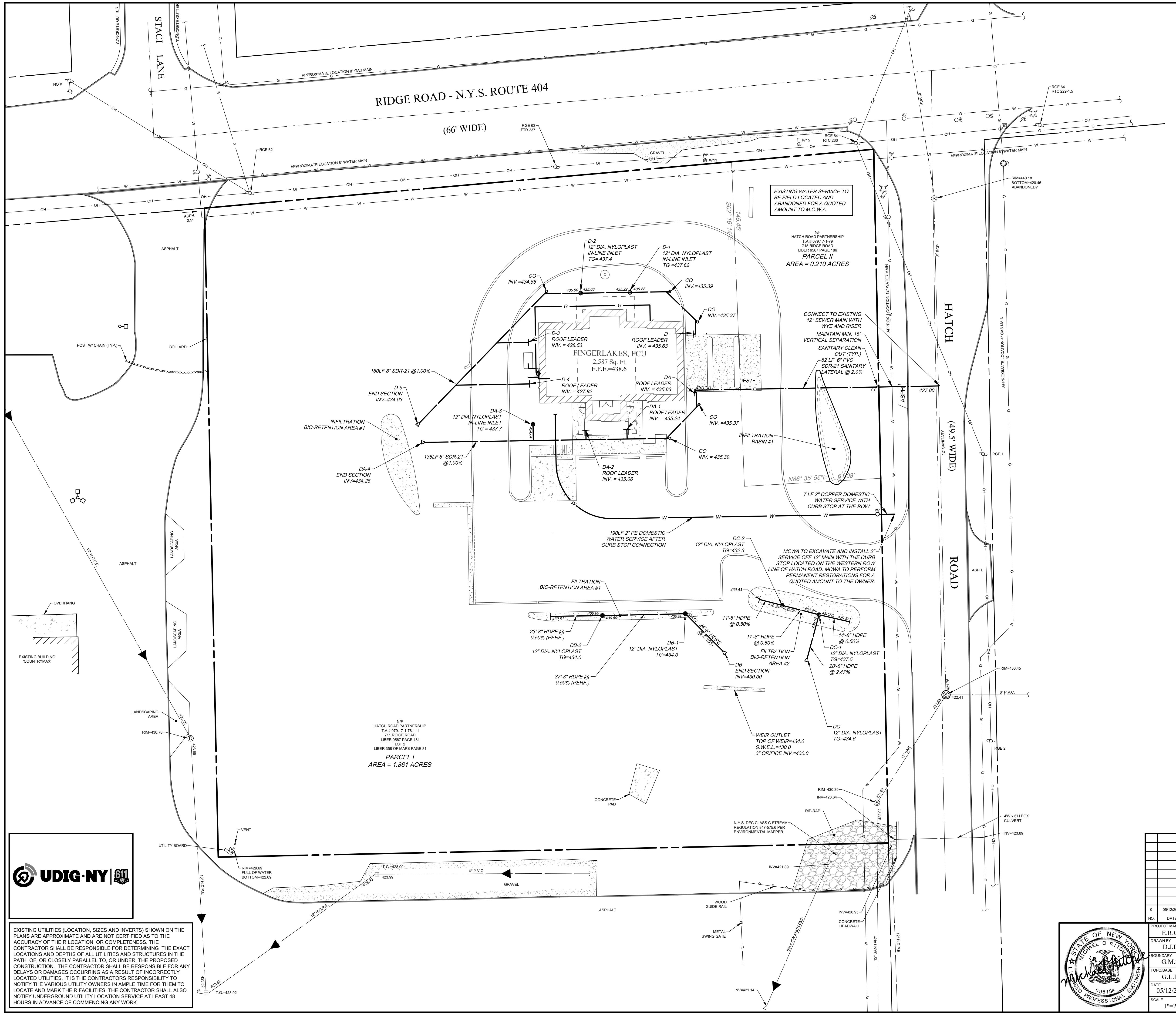
TOTAL = 16 PARKING SPACES

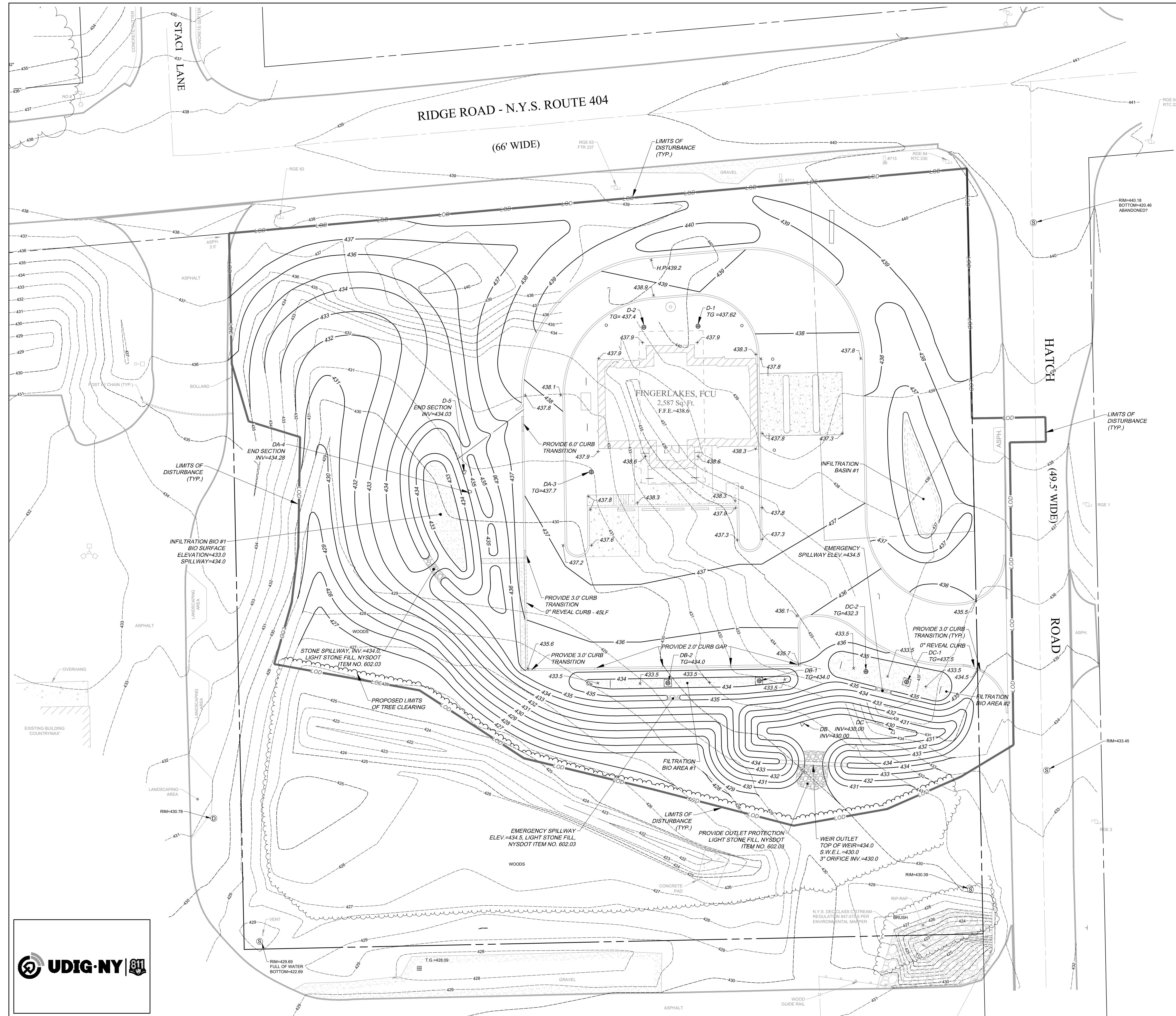


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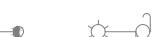
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						<p>IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.</p> <p>ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY", FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.</p>		
0	05/12/2025	ISSUED FOR MUNICIPAL SUBMISSION			D.J.L.	M.P.M.		
NO.	DATE	REVISION			BY	CHKD.	APVLS.	
PROJECT MANAGER E.R.G.		TITLE OF PROJECT FINGERLAKES FCU 711 & 715 RIDGE ROAD						
DRAWN BY D.J.L./A.C.M.		TITLE OF DRAWING SITE PLAN						
BOUNDARY G.M.S.		LOCATION OF PROJECT TAX PARCEL NO. 079.17-1-79 & 78.111 TOWN LOT 60, TOWNSHIP 13, RANGE 4, PHELPS & GORHAM PURCHASE, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK						
TOPO/BASE G.L.R.		CLIENT PWCAMPBELL ATTN. JASON STRAYLEY 109 ZETA DRIVE PITTSBURGH, PENNSYLVANIA 15238		DWG. # 9444 CA120 SHEET 04 OF 12				
DATE 05/12/2025		217 LAKE AVENUE ROCHESTER, NY 14608 (585) 458-3020						
SCALE 1"=20'								
 COSTICH ENGINEERING								





GRADING LINE LEGEND

— — — — —	PARCEL BOUNDARY
— — — — —	EXISTING RIGHT-OF-WAY LINE
— — — — —	EXISTING ADJACENT PROPERTY LINE
— — — — —	CENTER LINE
— — — — —	EXISTING CONCRETE CURB
— — — — —	EXISTING EDGE OF PAVEMENT
— — — — —	EXISTING EDGE OF GRAVEL
— — — — —	EXISTING CONCRETE PAD/ CONCRETE SIDEWALK
	EXISTING UTILITY POLE , GUY ANCHOR & UTILITY POLE WITH LIGHT
	TREES, HEDGE, EDGE OF WOODS
— — — — —	EXISTING SWALE
— — — — —	EXISTING STOCKADE & CHAIN LINKED FENCE
— — — 100 — — — — —	EXISTING CONTOUR
x 100.4	EXISTING SPOT ELEVATION @ x
— — — 100 — — — —	PROPOSED CONTOUR
x 100.4	PROPOSED SPOT ELEVATION @ x
— — — SF — — — —	SILT FENCE
— — — OS — — — —	ORANGE SAFETY FENCE
— — — CFS — — — —	COMPOST FILTER SOCK
— — — LOD — — — —	LIMIT OF DISTURBANCE
	PROPOSED INLET PROTECTION
	PROPOSED BIO-RETENTION AREA
	PROPOSED 3' WIDE FILTER STRIP

GRAPHIC SCALE



(IN FEET)

VIOLATION OF LAW FOR ANY
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LICENSEE WHO ALTERS THIS
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■ T.G.=428.9

The seal is circular with a scalloped outer edge. The words "STATE OF NEW YORK" are at the top, "PROFESSIONAL ENGINEER" are at the bottom, and "096184" is in the center. The center features a shield with a central figure, a star in the upper left, and the word "EXCELSIOR" at the bottom. The name "MICHAEL O'RITCH" is embossed in the upper half of the seal. A large, handwritten signature "Michael O'Ritchie" is written across the center of the seal.

JECT MANAGER
E.R.G.
VN BY
D.J.L.
NDARY
G.M.S.
D/BASE
G.L.R.
E
5/12/2025
LE
1"=20'



L
INEERING
D
VEYING
DSCAPE
CHITECTURE
LAKE AVENUE
TER, NY 14608
(6) 458-3020

TITLE OF PROJECT
TITLE OF DRAWING
LOCATION OF PROJECT
TOWN LOT 60, TC
TOWN OF WEE
CLIENT P
ATTN.
10
DRAFTED BY CH

FINGERLAKES FCU
711 & 715 RIDGE ROAD

GRADING PLAN

TAX PARCEL NO. 079.17-1-79 & 78.111
OWNERSHIP 13, RANGE 4, PHELPS & GORHAM PURCHASE,
BLISTER, COUNTY OF MONROE, STATE OF NEW YORK

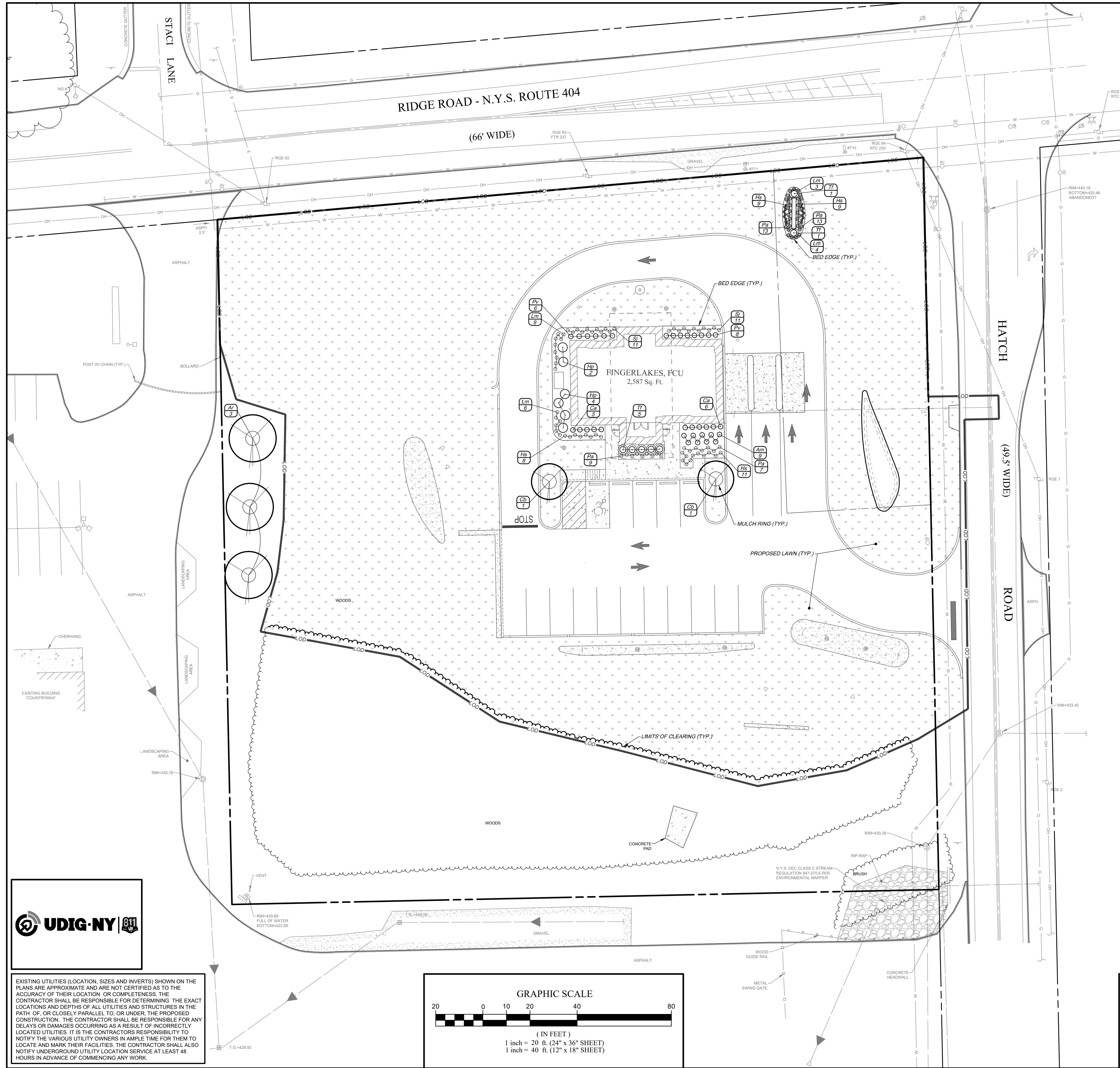
WCAMPBELL JASON STRAYLEY 99 ZETA DRIVE KELLENWICH, NY 14520	DWG. # 9444 CA 140 SHEET 06 OF 12
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711 & 715 RIDGE ROAD

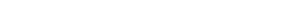
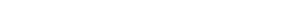
LE OF DRAWING

GRADING PLAN

CATION OF PROJECT TAX PARCEL NO. 079.17-1-79 & 78.111
TOWN LOT 60, TOWNSHIP 13, RANGE 4, PHELPS & GORHAM PURCHASE,
TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK



LANDSCAPE LINE LEGEND

	PARCEL BOUNDARY
	EXISTING RIGHT-OF-WAY LINE
	EXISTING ADJACENT PROPERTY LINE
	CENTER LINE
	EXISTING EASEMENT LINE.
	EXISTING CONCRETE CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF GRAVEL
	EXISTING CONCRETE PAD/ CONCRETE SIDEWALK
	EXISTING UTILITY POLE , GUY ANCHOR & UTILITY POLE WITH LIGHT
	EXISTING WATER MAIN, VALVE, & HYDRANT
	EXISTING SANITARY SEWER, & MANHOLE
	EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
	EXISTING OVERHEAD UTILITIES
	EXISTING TELEPHONE SERVICE
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS SERVICE
	EXISTING ELECTRIC SERVICE
	EXISTING GUARD RAIL
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CONCRETE CURB
	PROPOSED BUILDING
	PROPOSED BIO-RETENTION AREA
	PROPOSED 3' WIDE FILTER STRIP
	PROPOSED WATER MAIN, VALVE, & HYDRANT
	PROPOSED SANITARY SEWER, & MANHOLE
	PROPOSED DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
	PROPOSED OVERHEAD UTILITIES
	PROPOSED TELEPHONE
	PROPOSED UNDERGROUND UTILITIES
	PROPOSED GAS SERVICE
	PROPOSED ELECTRIC SERVICE

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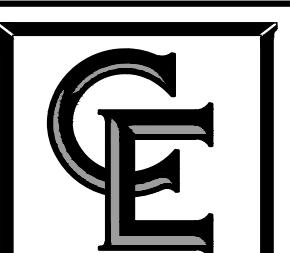
GRAPHIC SCALE

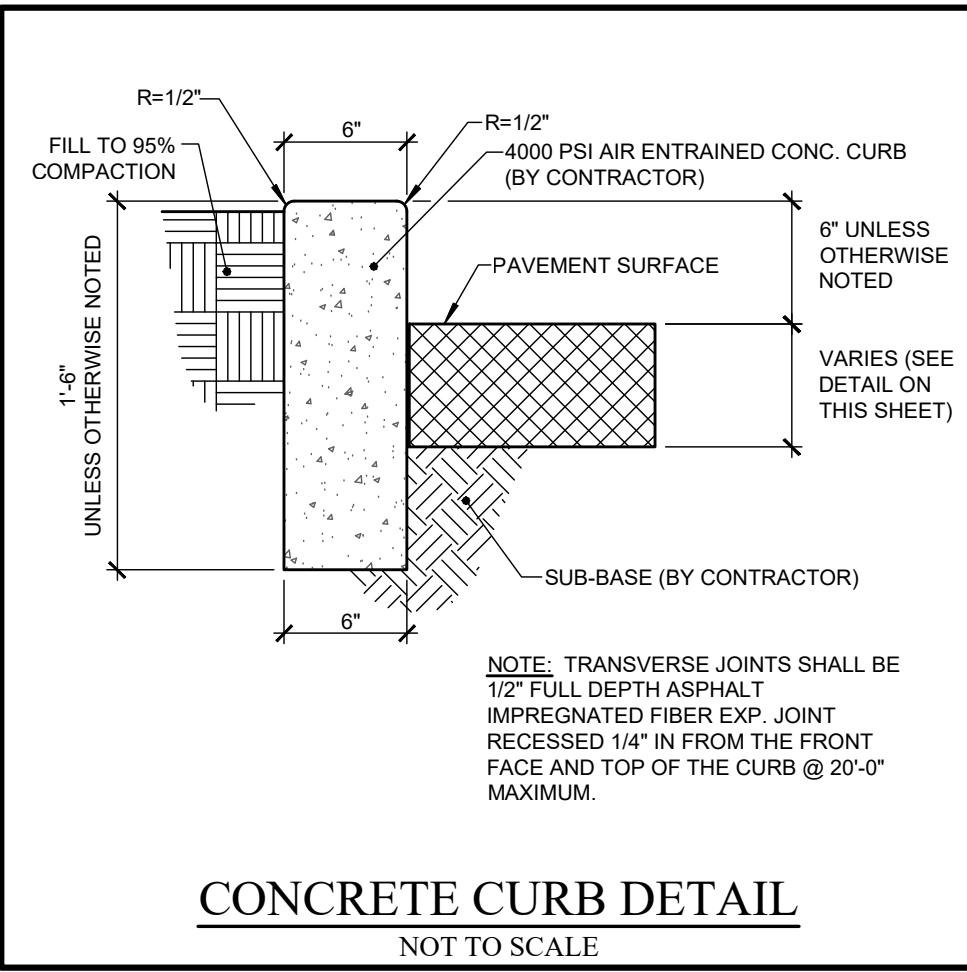
20 0 10 20 40 80

(IN FEET)

1 inch = 20 ft. (24" x 36" SHEET)

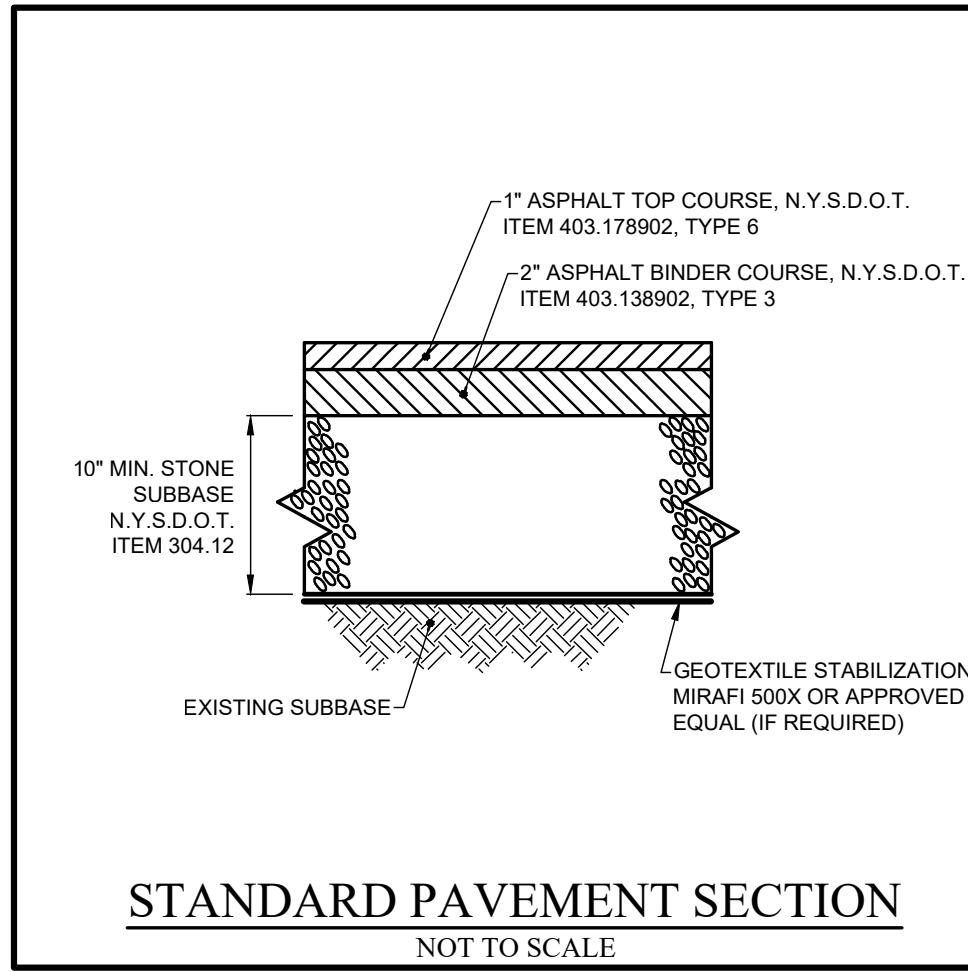
1 inch = 40 ft. (12" x 18" SHEET)

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NO.	DATE	REVISION			BY	CHKD.	APVLS.	
PROJECT MANAGER E.R.G.		 COSTICH ENGINEERING		TITLE OF PROJECT		FINGERLAKES FCU 711 & 715 RIDGE ROAD		
DRAWN BY D.J.L.				TITLE OF DRAWING		LANDSCAPE PLAN		
BOUNDARY G.M.S.				LOCATION OF PROJECT		TAX PARCEL NO. 079.17-1-79 & 78.111 TOWN LOT 60, TOWNSHIP 13, RANGE 4, PHELPS & GORHAM PURCHASE, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK		
TOPO/BASE G.L.R.				CLIENT	PWCAMPBELL ATTN. JASON STRAYLEY 109 ZETA DRIVE PITTSBURGH, PENNSYLVANIA 15238			
DATE 05/12/2025							DWG. # 9444 LA100	
SCALE 1"=20'							SHEET 07 OF 12	



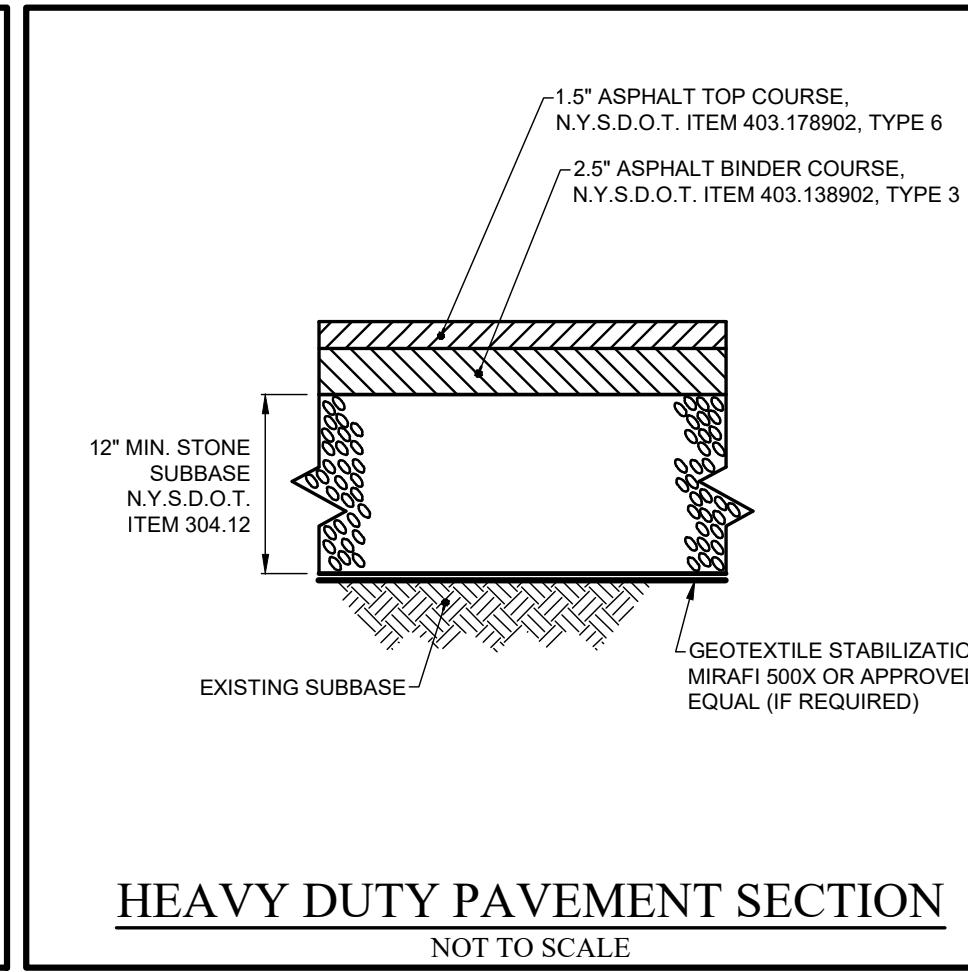
CONCRETE CURB DETAIL

NOT TO SCALE



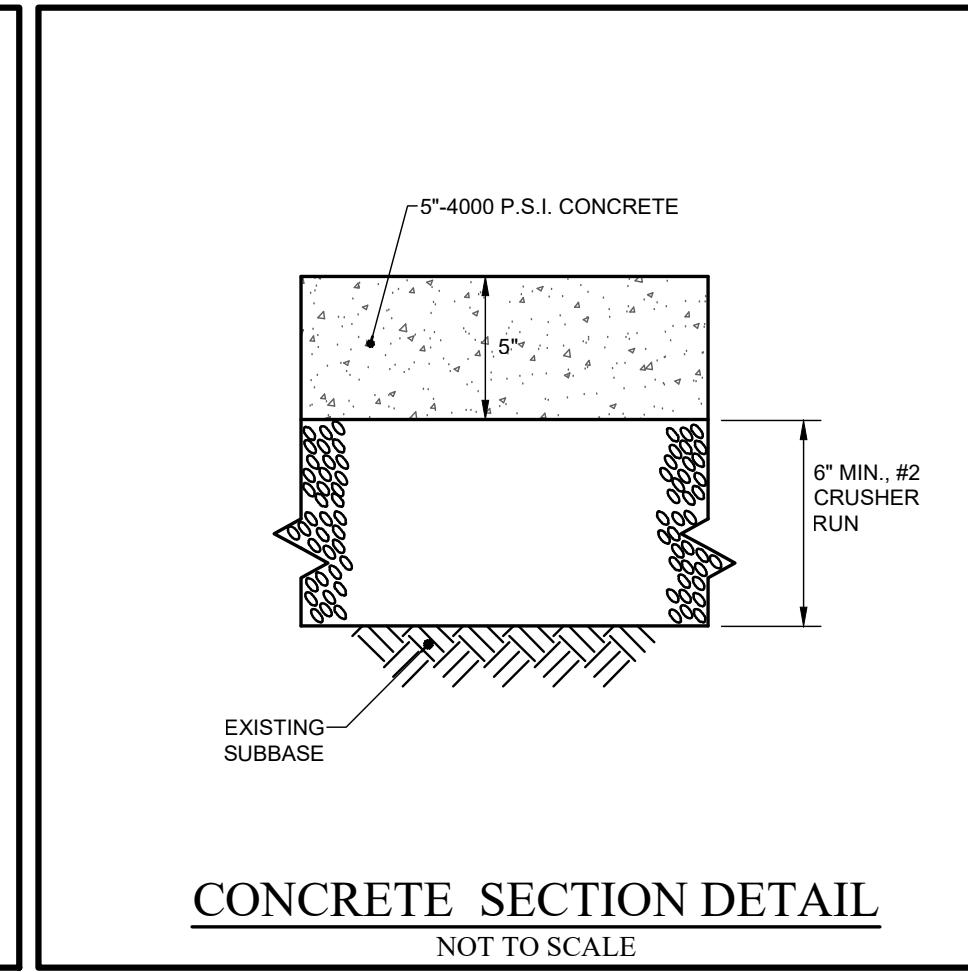
STANDARD PAVEMENT SECTION

NOT TO SCALE



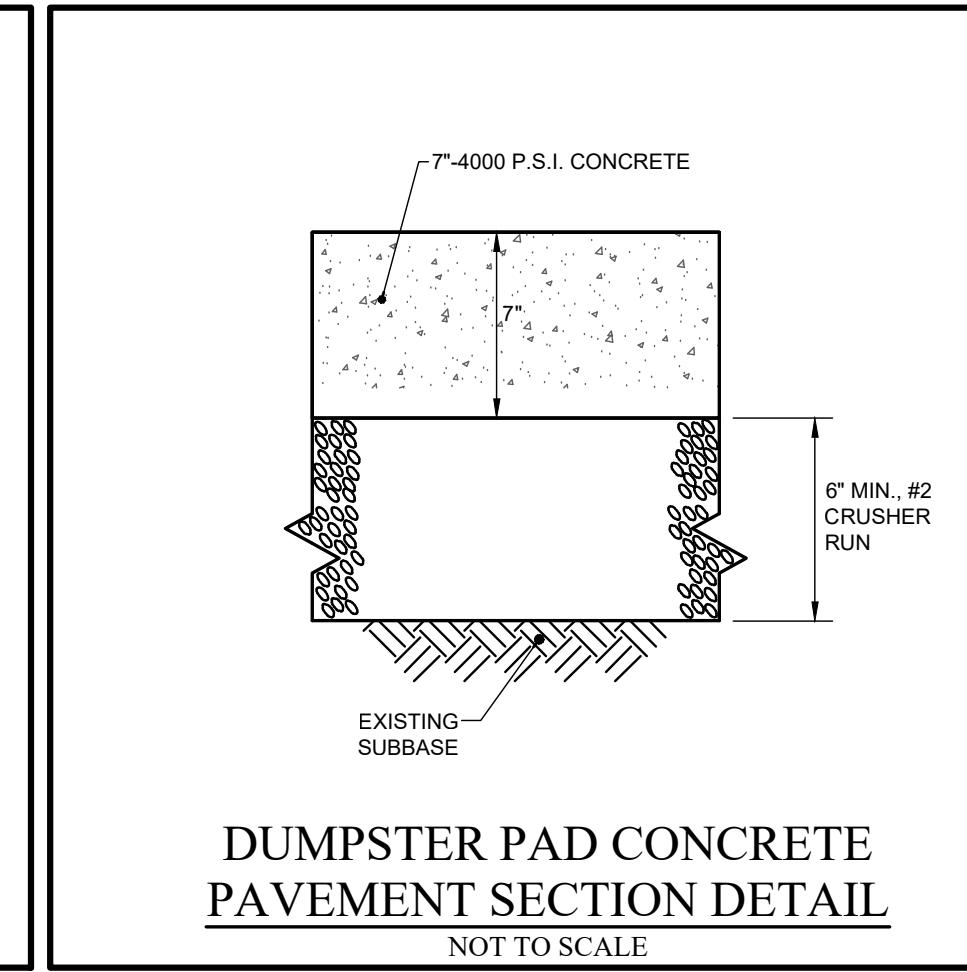
HEAVY DUTY PAVEMENT SECTION

NOT TO SCALE



CONCRETE SECTION DETAIL

NOT TO SCALE



DUMPSTER PAD CONCRETE
PAVEMENT SECTION DETAIL

NOT TO SCALE

CURB RAMP DIMENSION NOTES:

GENERAL

1. THE DIMENSIONS AND SLOPES PRESENTED IN THE DETAILS ARE THE MINIMUM NECESSARY TO COMPLY WITH THE ADA AND DOT STANDARDS. ANY DEVIATIONS FROM THESE MINIMUM VALUES ARE PROVIDED AS THE MAXIMUM SLOPE FROM THESE STANDARDS MUST BE DOCUMENTED WITH THE STANDARDS BEING MET TO THE GREATEST PRACTICABLE AND CONSISTENT WITH THE MOST CURRENT ADAAG.
2. DUE TO THE VARIETY OF CURB RAMP TYPES, THIS SHEET MAY REQUIRE USE OF DETECTABLE WARNINGS. DETECTABLE WARNINGS ON THIS SHEET ARE SHOWN FOR ILLUSTRATION ONLY. SEE THE DETECTABLE WARNING STANDARD SHEET M608-13 FOR DETAILS ON PLACEMENT, ORIENTATION AND DIMENSIONS. SEE CHAPTER 16 OF THE HIGHWAY DESIGN MANUAL FOR MORE INFORMATION.
3. CURB RAMPS
4. THE MINIMUM WIDTH FOR SIDEWALK CURB RAMPS IS 5 FT.
5. THE RUNNING SLOPE OF A CURB RAMP SHALL BE 1:20 (5%) MINIMUM PREFERRED 1:15 (3%) MAXIMUM.
6. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 8.33% THE CURB RAMP LENGTH IS THE LENGTH NECESSARY TO MEET THE EXISTING SIDEWALK, EXCEPT THAT IT NEED NOT BE MORE THAN 4.5 m IN LENGTH.
7. THE CURB RAMP SHOULD BE AS SLOPED AS POSSIBLE, NOT TO EXCEED 1:50 (2%). THE CROSS SLOPE AT MIDBLOCK CROSSINGS MAY BE warped to meet street or highway grade.
8. THE VERTICAL ALIGNMENT OF A CURB RAMP, EXCLUDING THE FLARES, SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN.
9. WHERE A PEDESTRIAN CIRCULATION PATH CROSSES THE CURB RAMP, FLARED SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED PARALLEL TO THE CURB LINE, SHALL BE PROVIDED.
10. LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 5 FT. EXCEPT AT THE BOTTOM OF RAMPS TYPE 1 & 2 ON SHEET M608-11.
11. THE RUNNING AND CROSS SLOPES ON LANDINGS AT INTERSECTIONS IS 1:50 (2%) MAXIMUM. THE RUNNING AND CROSS SLOPES AT MIDBLOCK CROSSINGS MAY BE warped to meet street or highway grade.

LANDINGS

INTEGRAL CURB / SIDEWALK DETAIL

NOT TO SCALE

6" BOLLARD DETAIL

NOT TO SCALE

PERPENDICULAR PARKING DETAIL

NOT TO SCALE

ACCESSIBLE SYMBOL PAVEMENT MARKING DETAIL

NOT TO SCALE

CURB RAMP WITHOUT SIDE FLARES TYPICAL DIMENSIONING

NOT TO SCALE

MID-BLOCK CROSSING CURB RAMP TYPICAL DIMENSIONING

NOT TO SCALE

CROSSWALK MARKING (TYP)

NOT TO SCALE

DIAGONAL SIDEWALK CURB RAMP

NOT TO SCALE

CONSTRUCTION JOINT - B

NOT TO SCALE

CONSTRUCTION JOINT - A

NOT TO SCALE

TYPE L

NOT TO SCALE

LADDER BAR PAVEMENT MARKING DETAIL

NOT TO SCALE

CURB RAMP WITH SIDE FLARES TYPICAL DIMENSIONING

NOT TO SCALE

SIDE FLARES MAXIMUM SLOPE 10% (SEE NOTE 9)

NOT TO SCALE

COUNTER SLOPE CONDITIONS

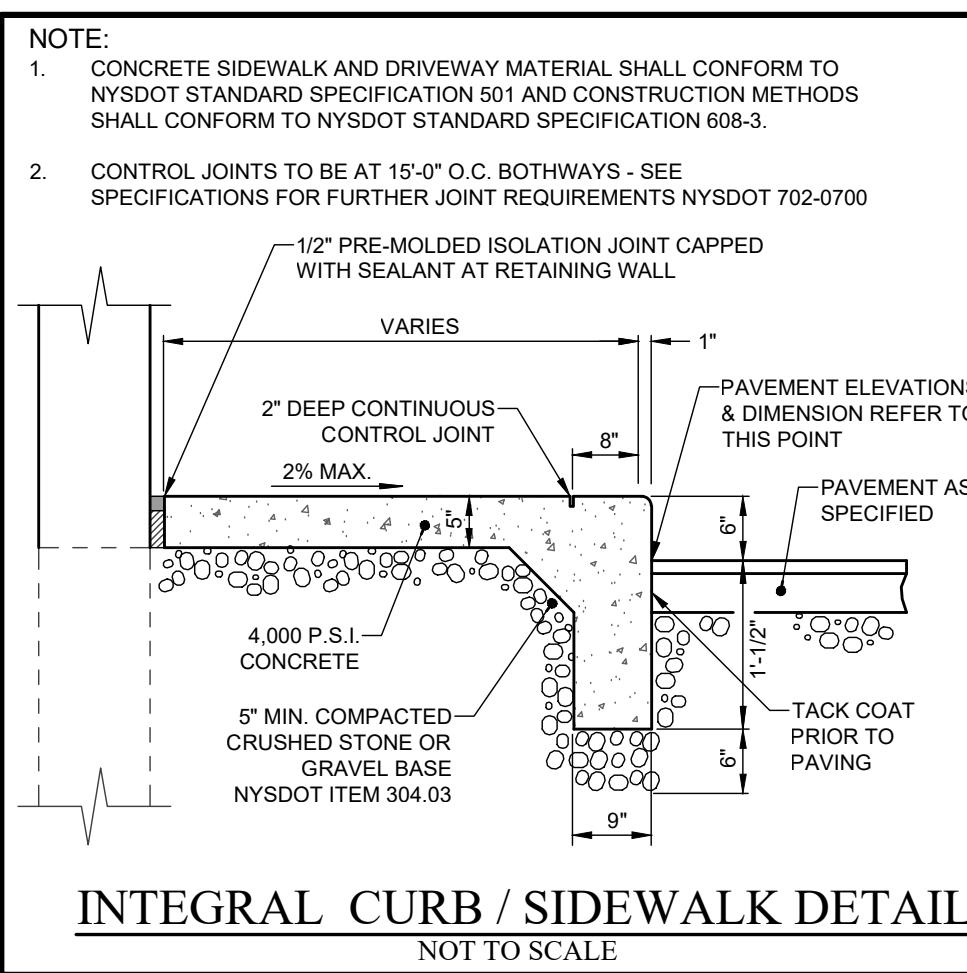
NOT TO SCALE

SIDEWALK CURB RAMP DIMENSIONS (DIMENSIONS, DETAILS AND GEOMETRY)

NOT TO SCALE

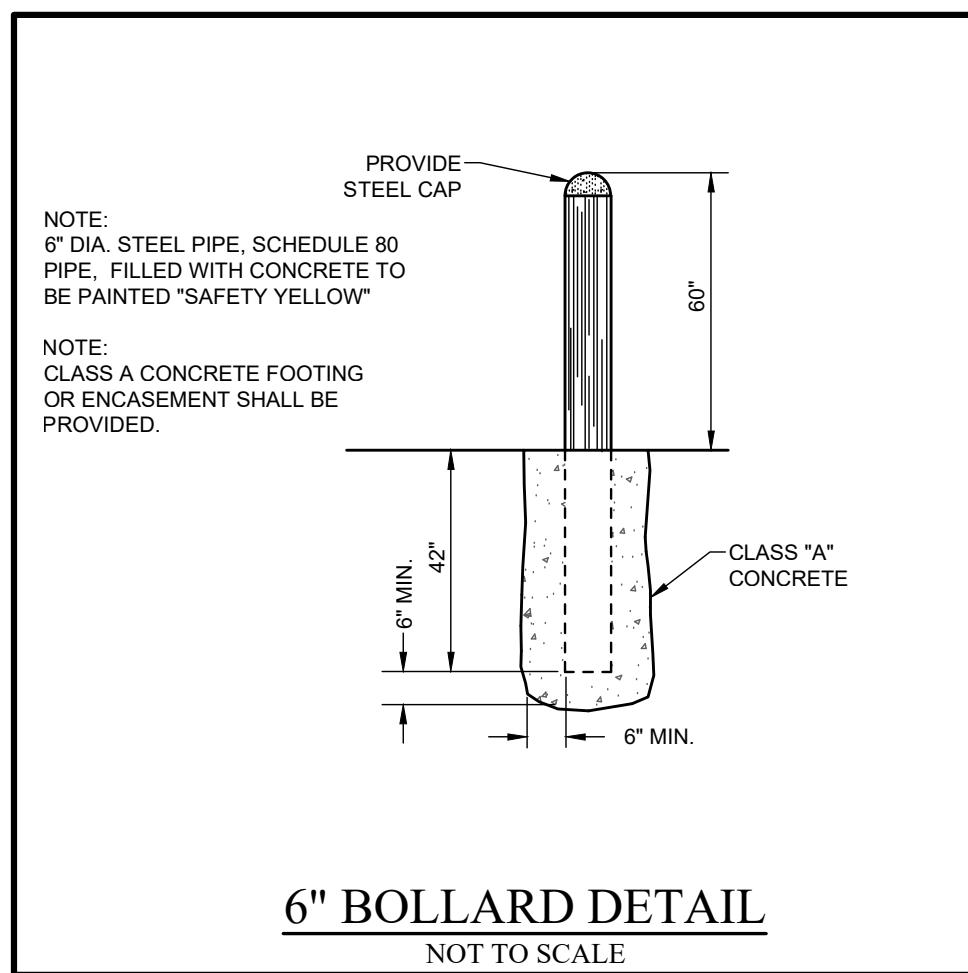
STOP BAR DETAIL

NOT TO SCALE



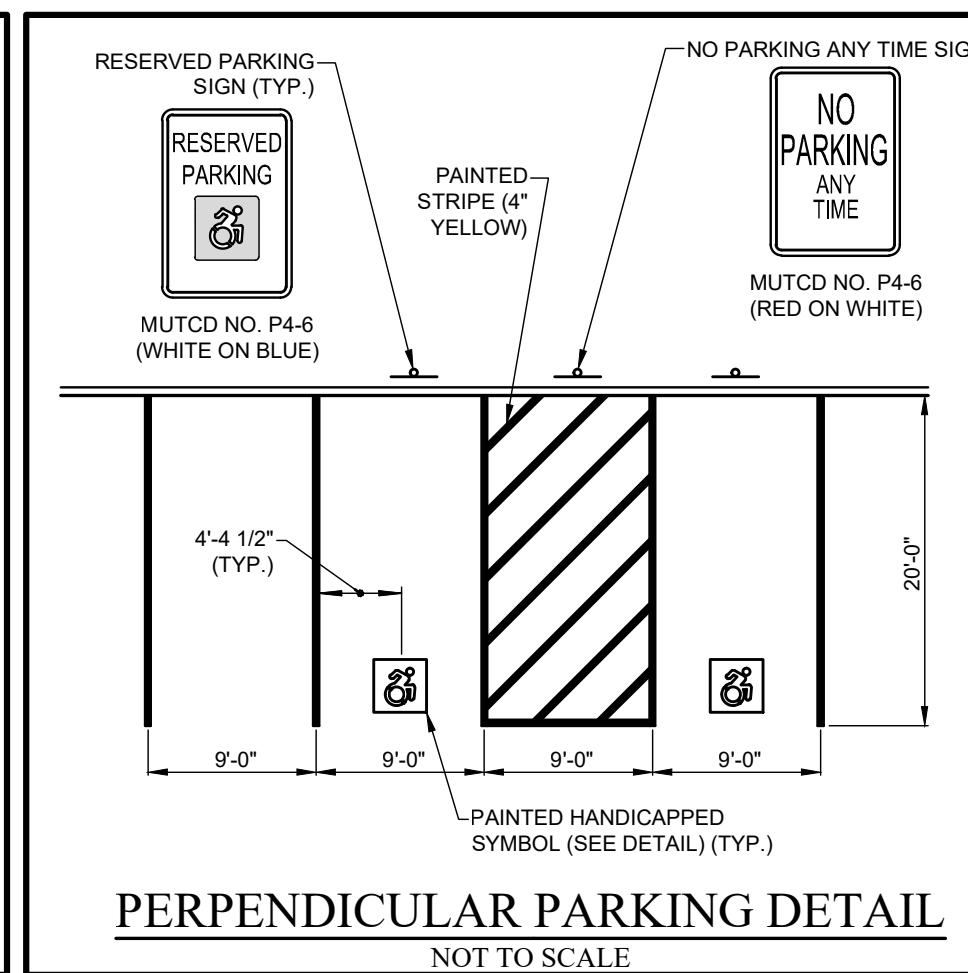
INTEGRAL CURB / SIDEWALK DETAIL

NOT TO SCALE



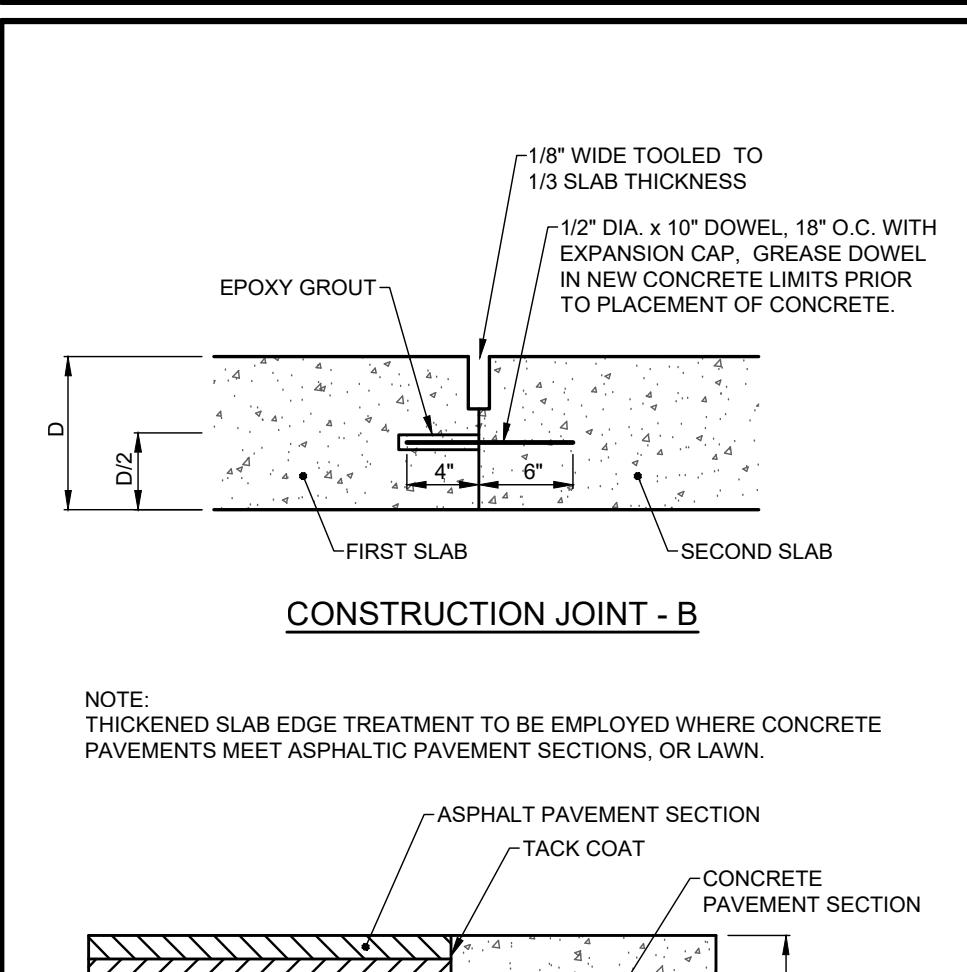
6" BOLLARD DETAIL

NOT TO SCALE



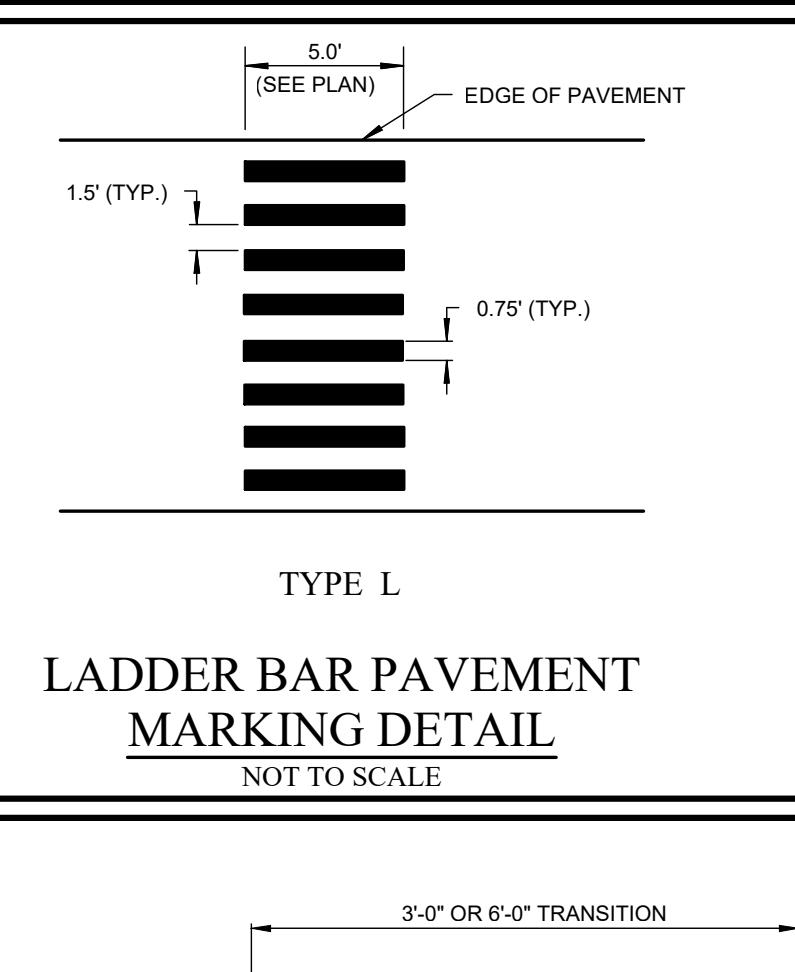
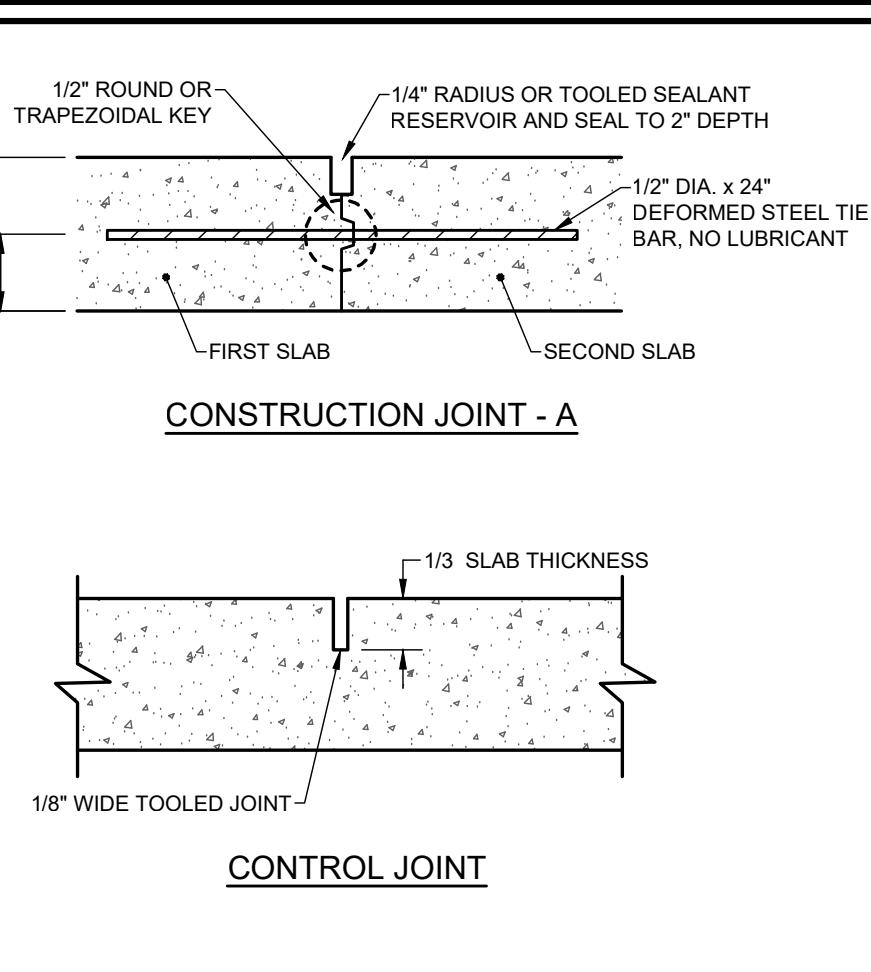
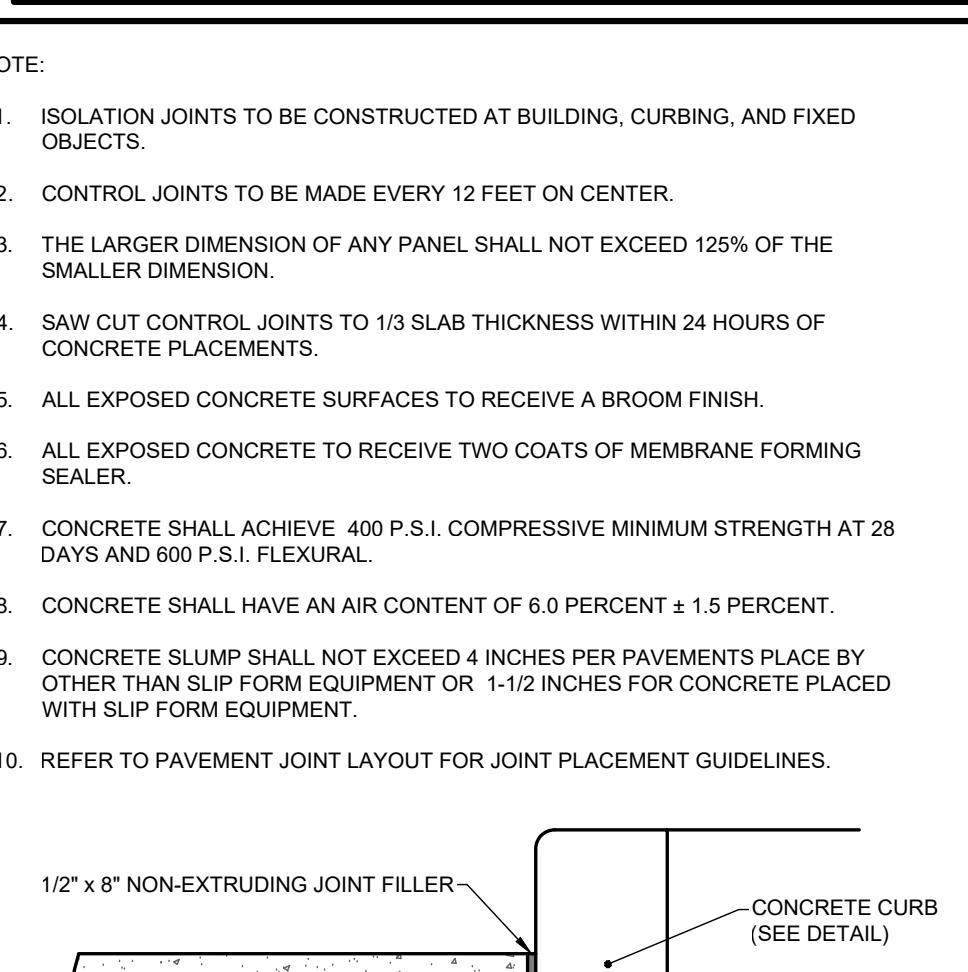
PERPENDICULAR PARKING DETAIL

NOT TO SCALE



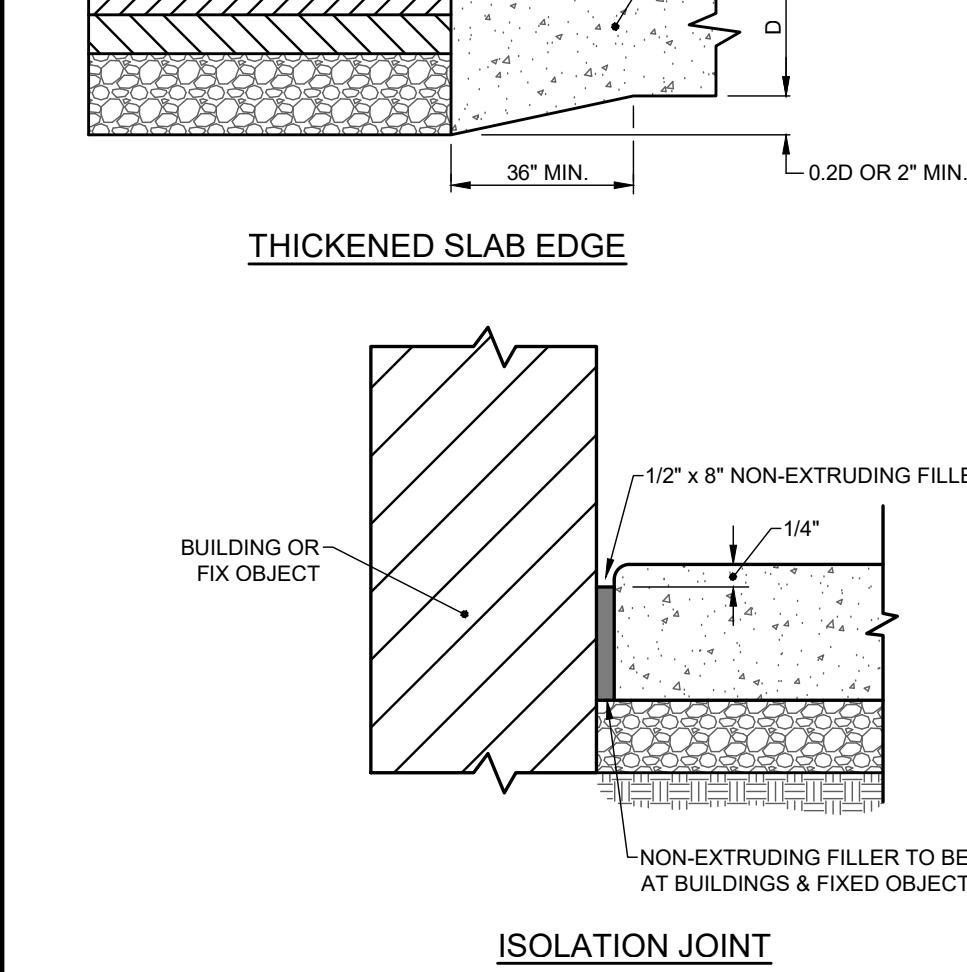
CONSTRUCTION JOINT - B

NOT TO SCALE



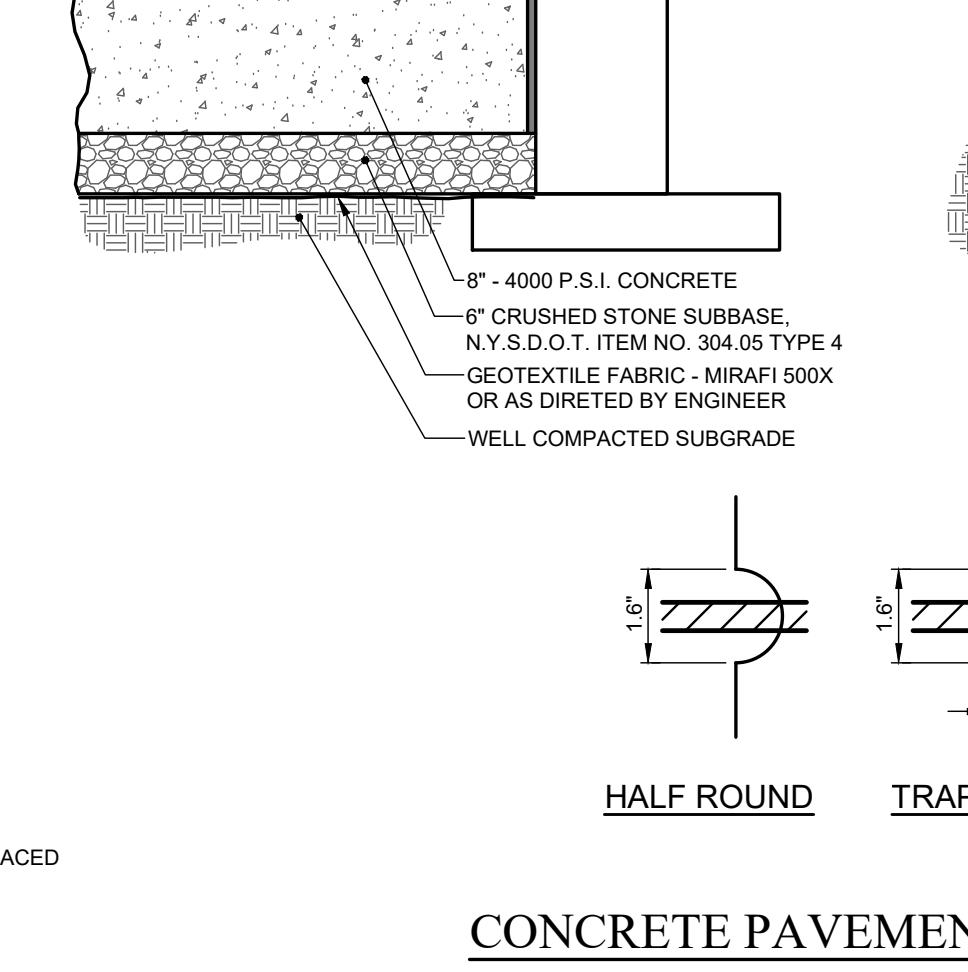
CURB TRANSITION DETAIL

NOT TO SCALE



THICKENED SLAB EDGE

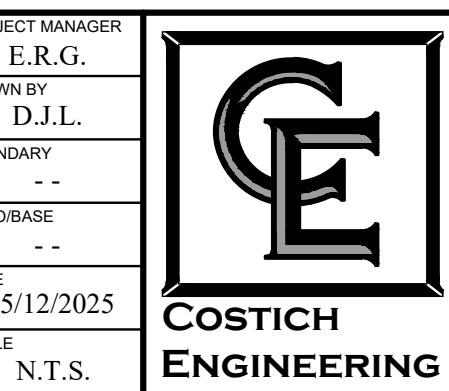
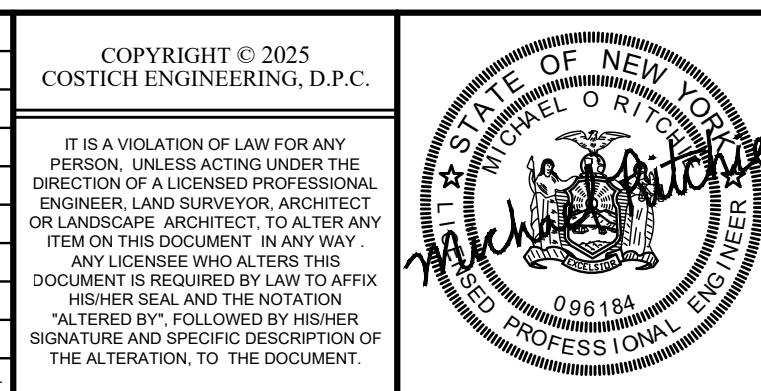
NOT TO SCALE



CONCRETE PAVEMENT DETAIL

NOT TO SCALE

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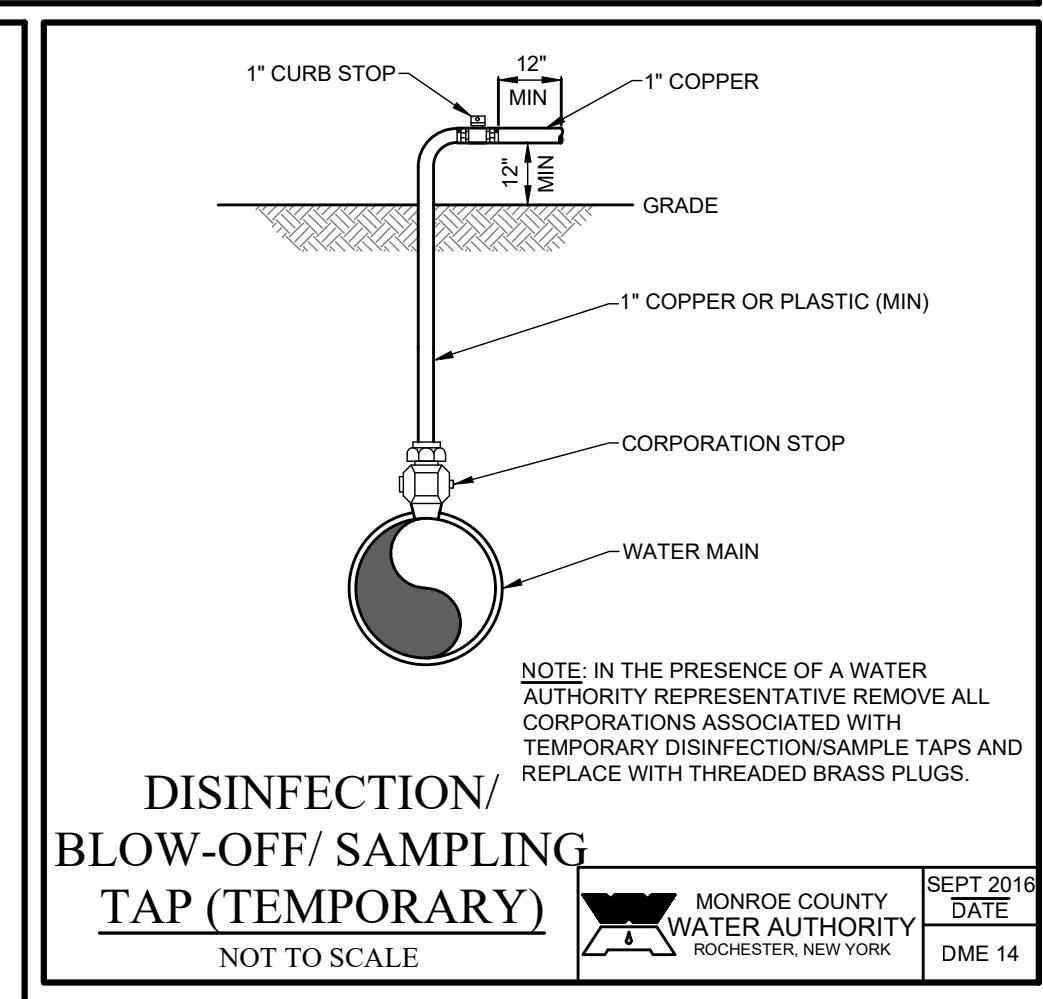
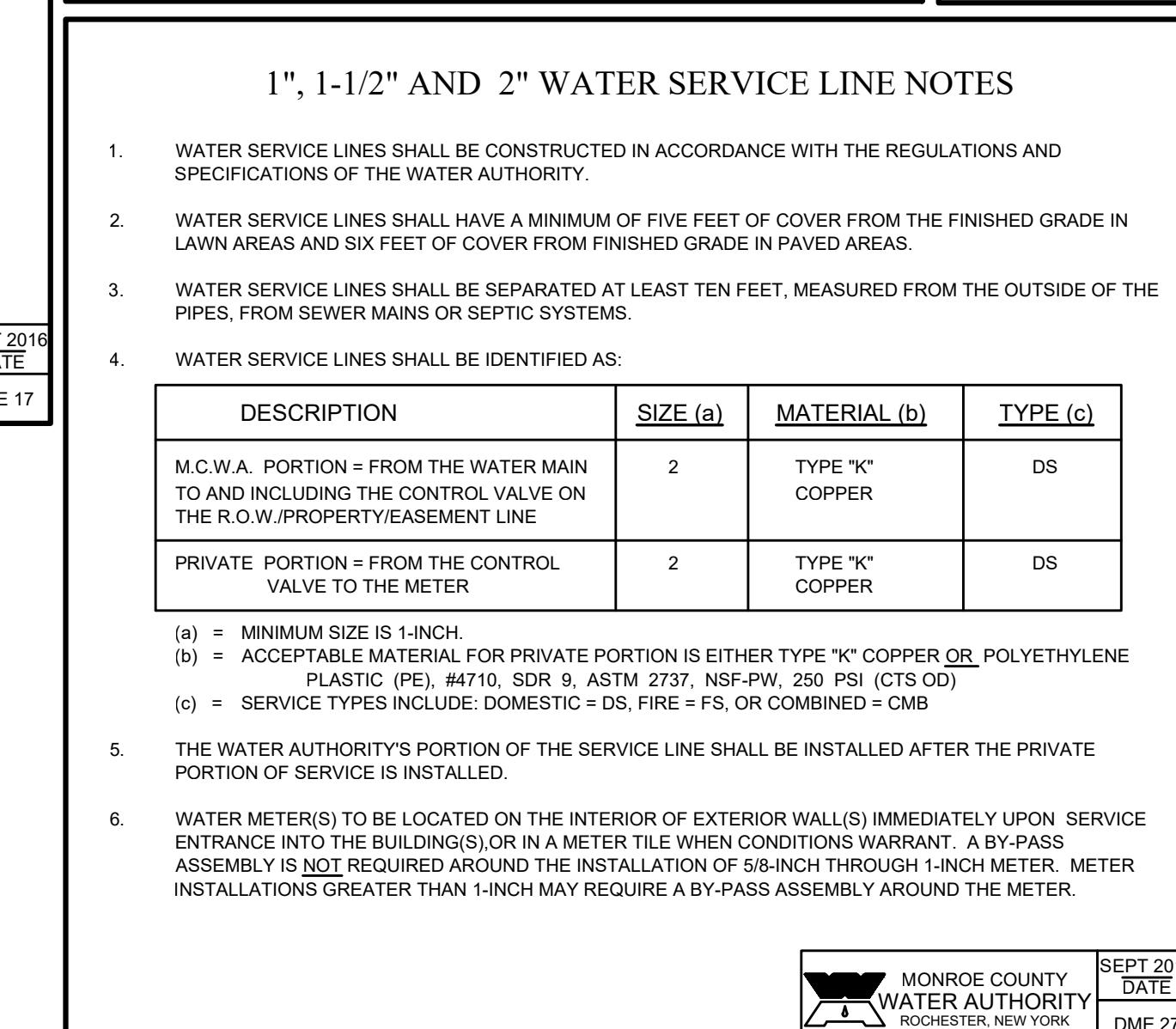
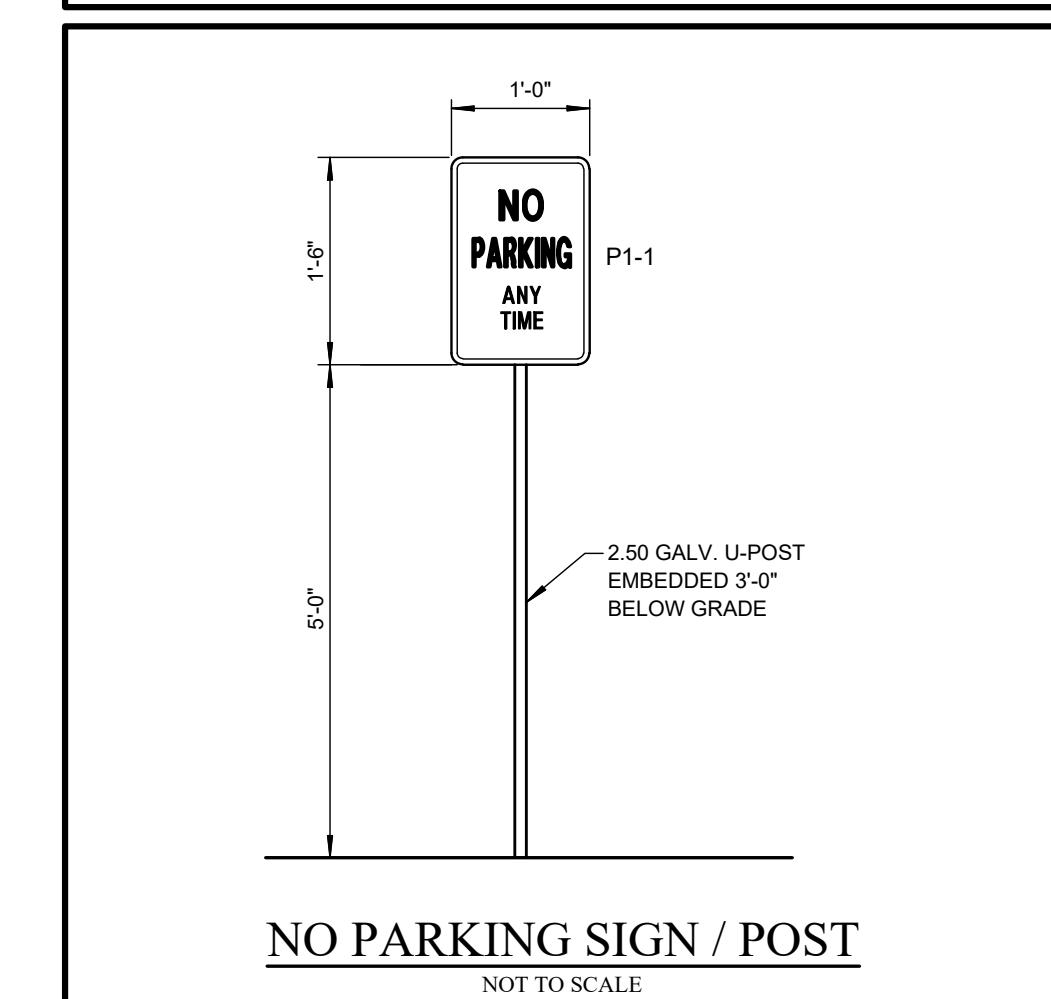
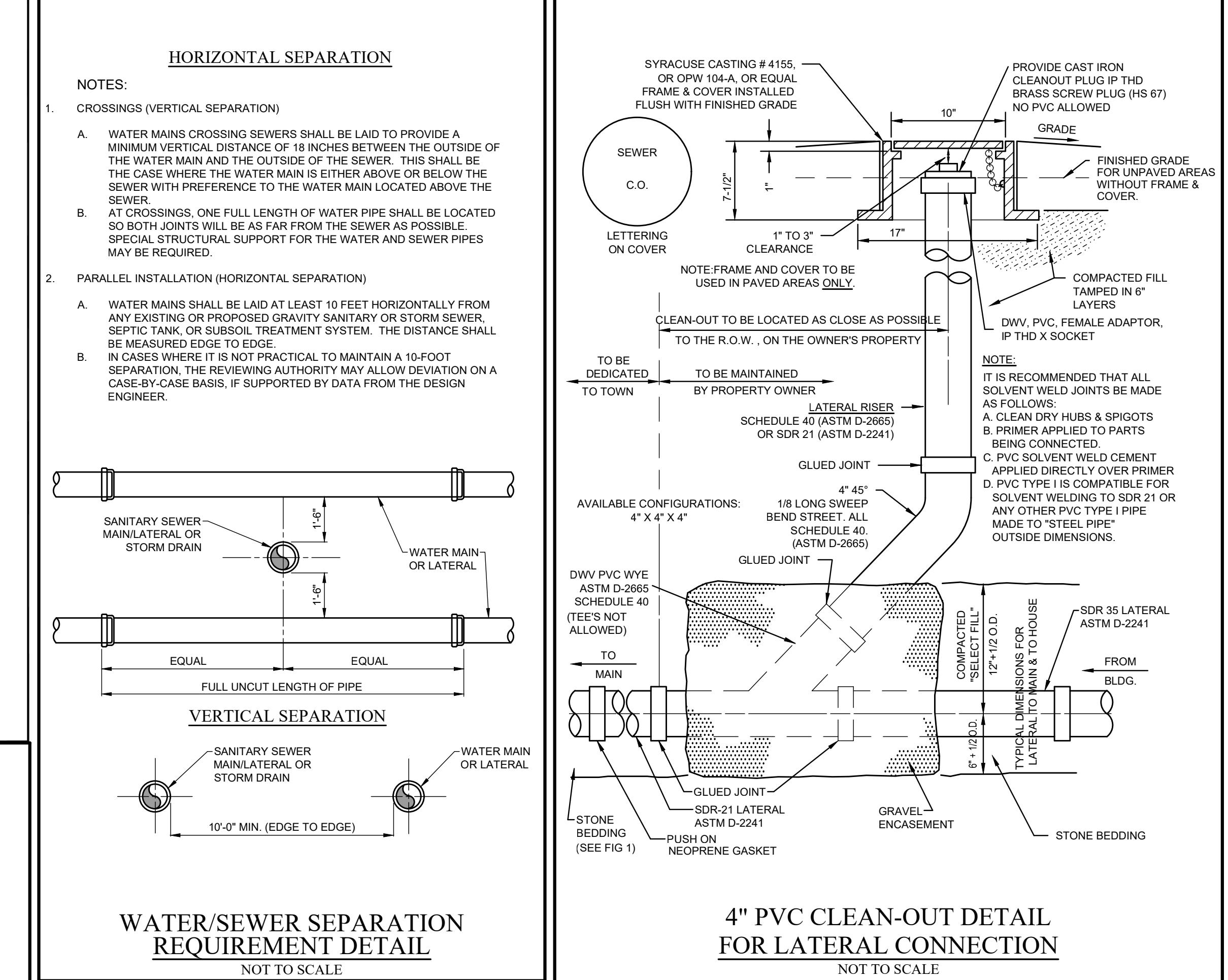
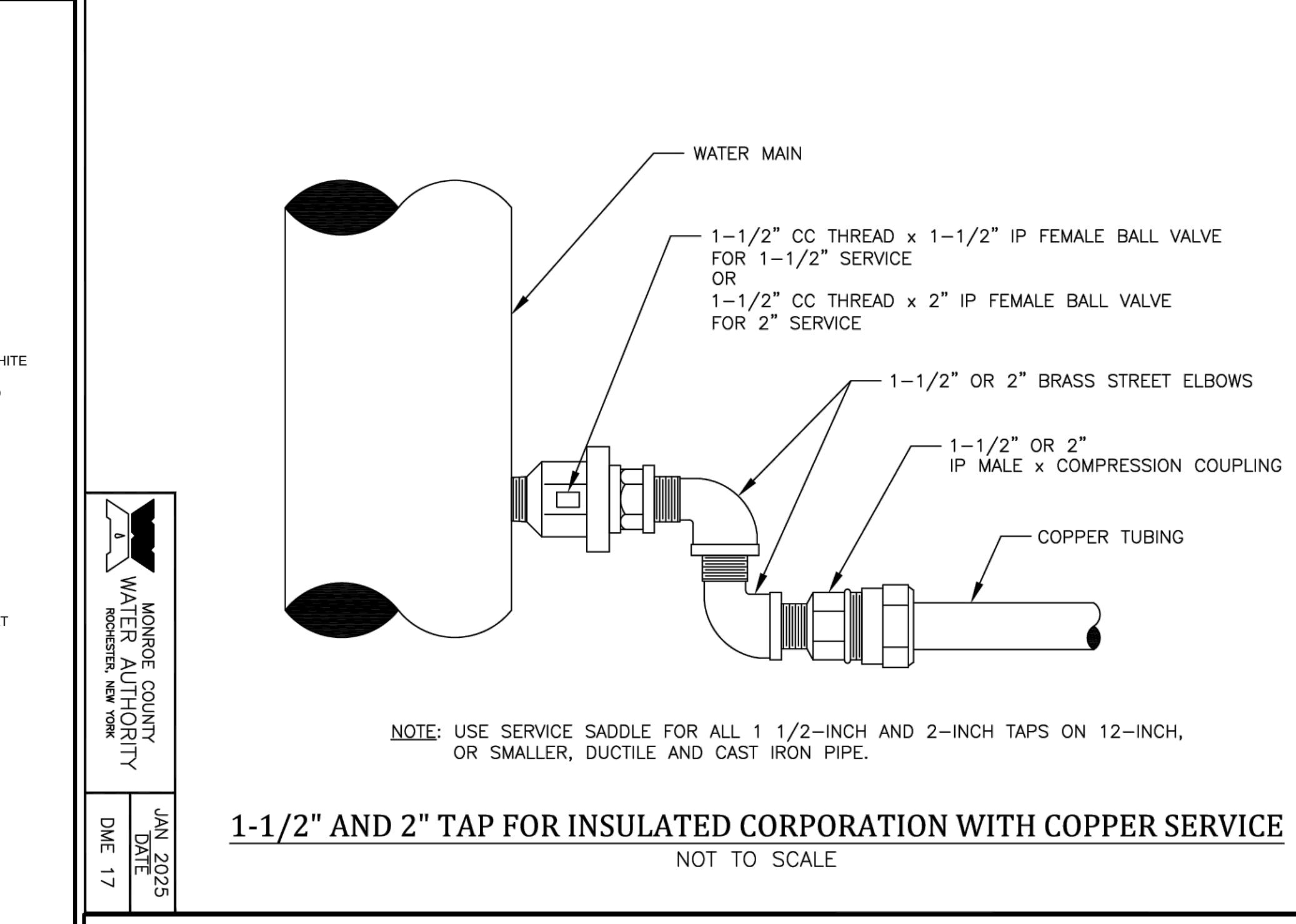


FINGERLAKES FCU
711 & 715 RIDGE ROAD
DETAIL SHEET
LOCATION OF PROJECT TAX PARCEL NO. 079.17-1-78.111
TOWN LOT 60, TOWNSHIP 13, RANGE 4, PHELPS & GORHAM PURCHASE,
TOWN OF WELCHER, COUNTY OF MONROE, STATE OF NEW YORK
CLIENT PNC CAMPBELL
ATTN: JASON STRAILEY
109 ZETA DRIVE
PITTSBURGH, PENNSYLVANIA 15238
DWG # 9444
CA500
SHEET 08 OF 12

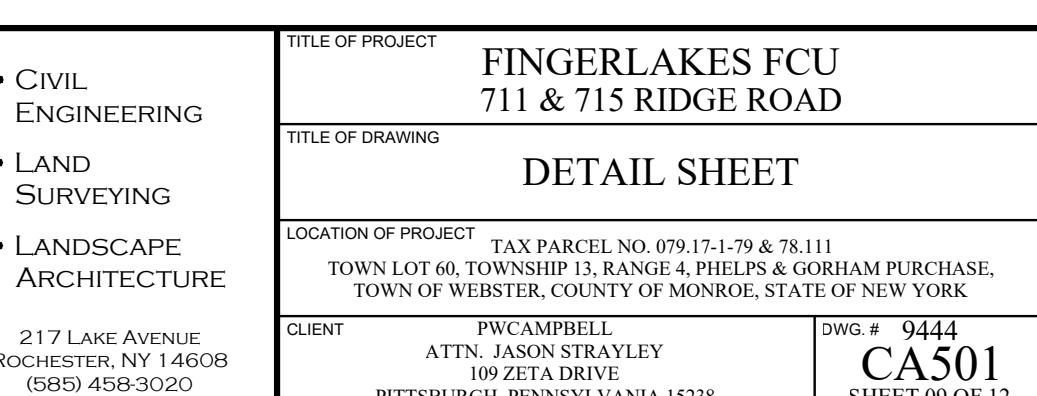
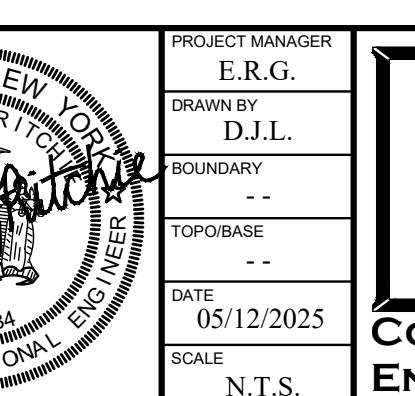
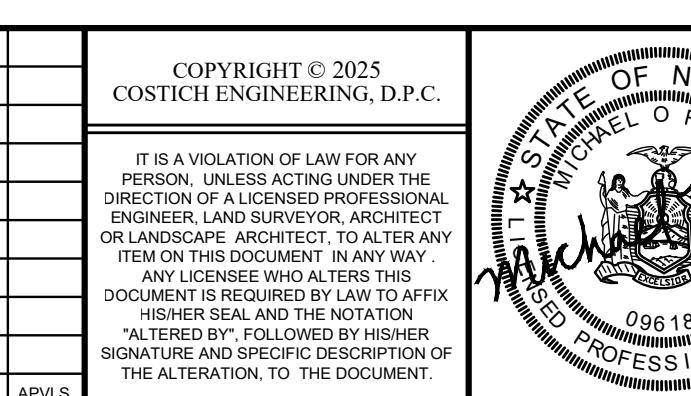
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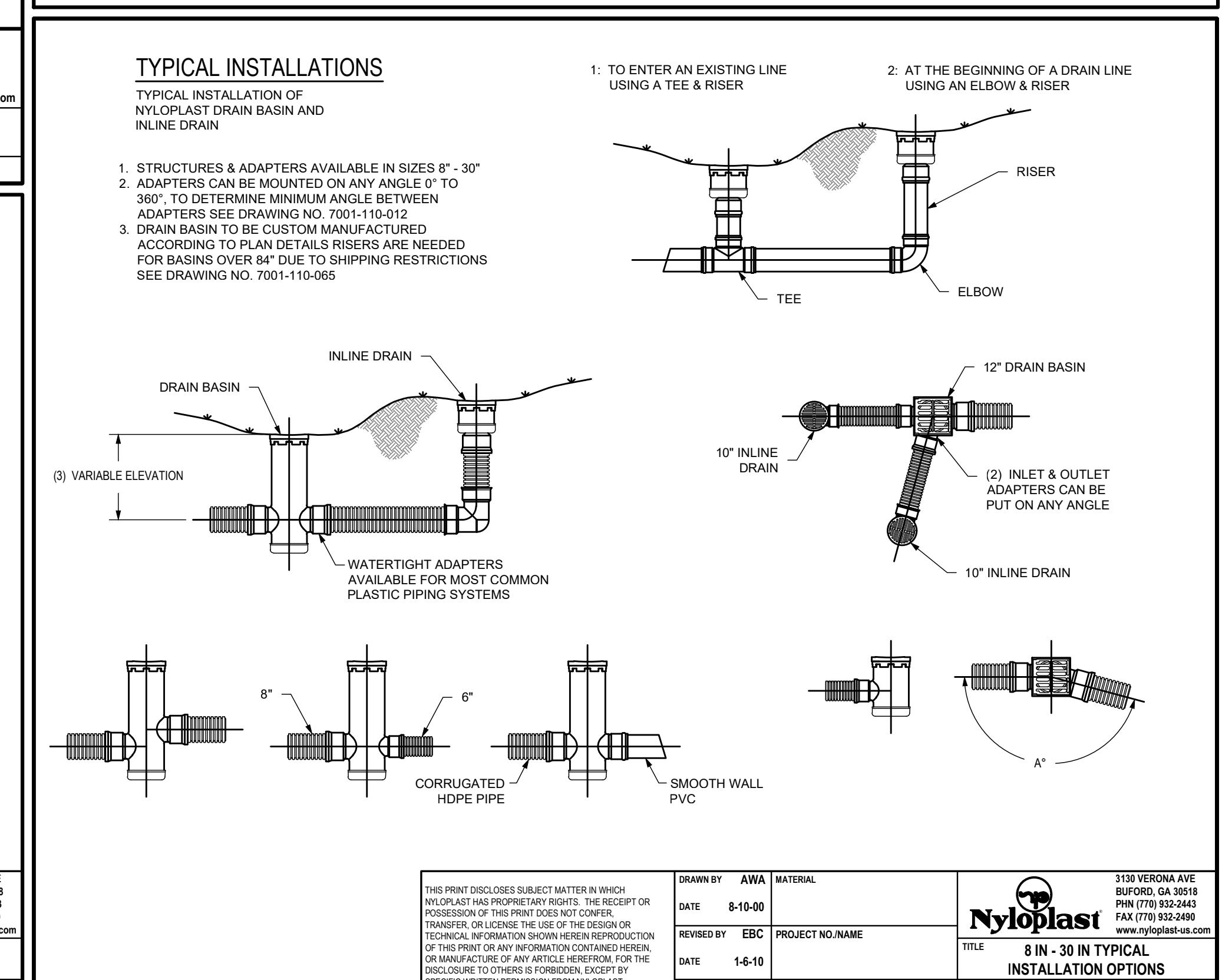
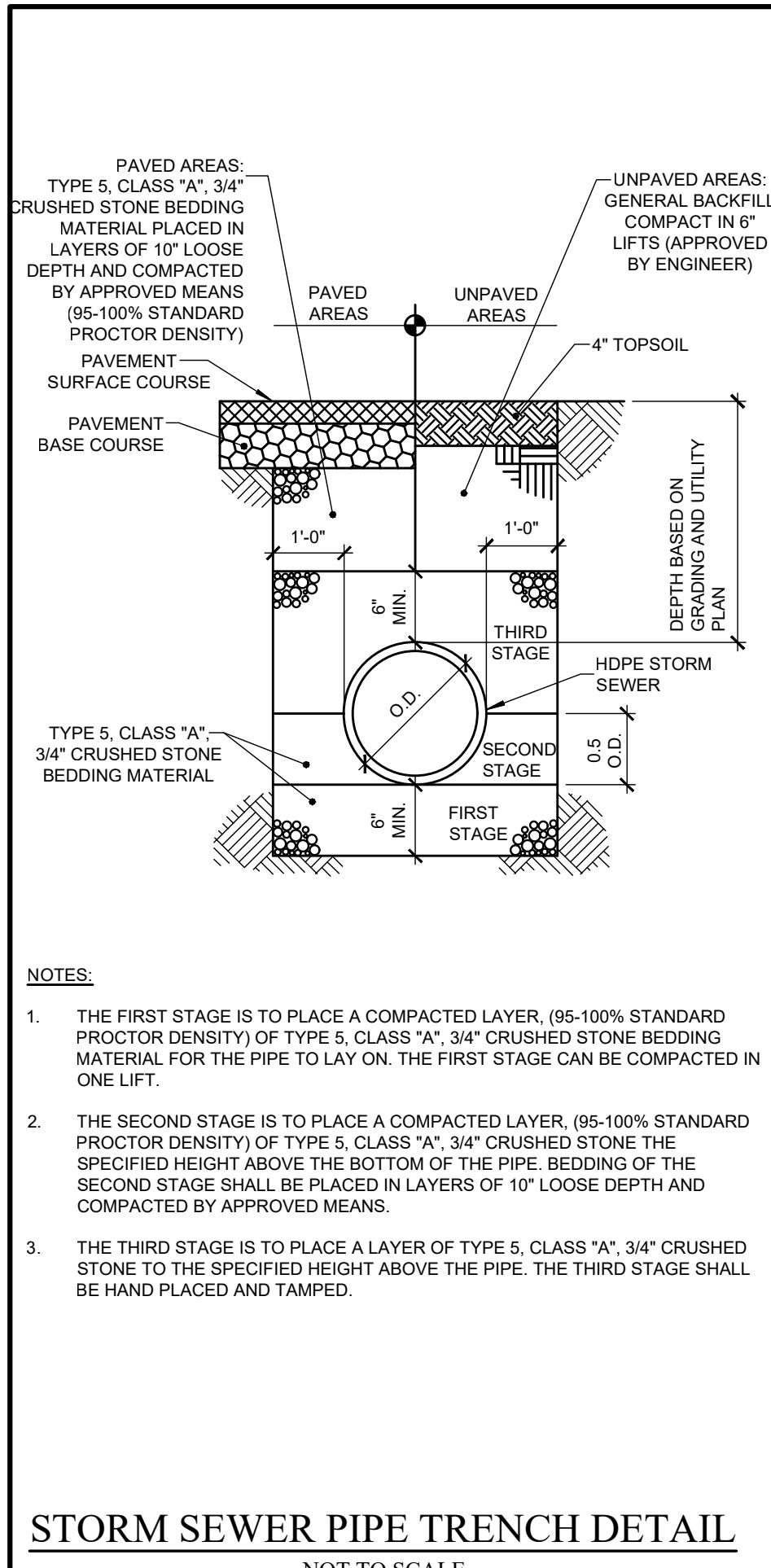
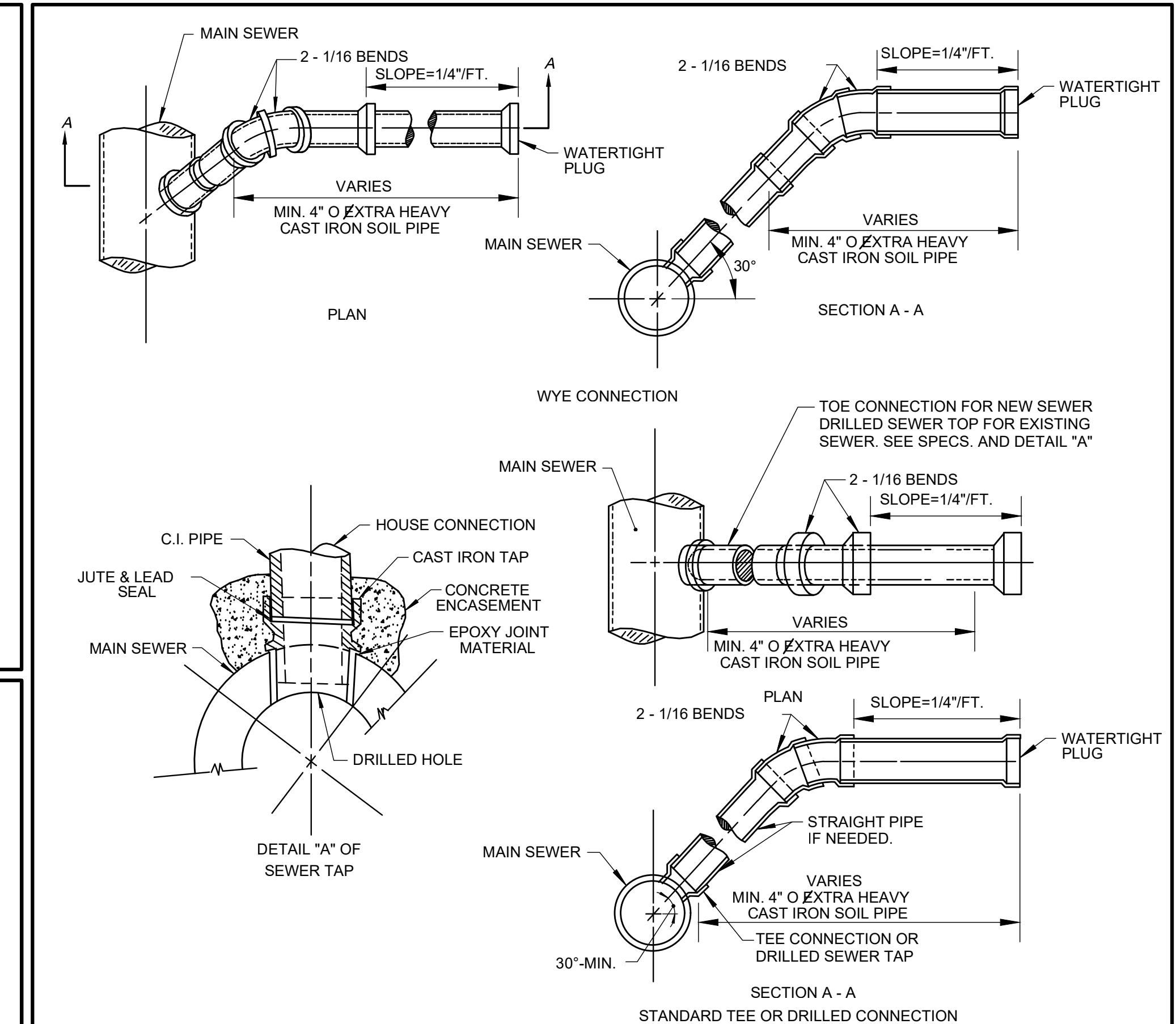
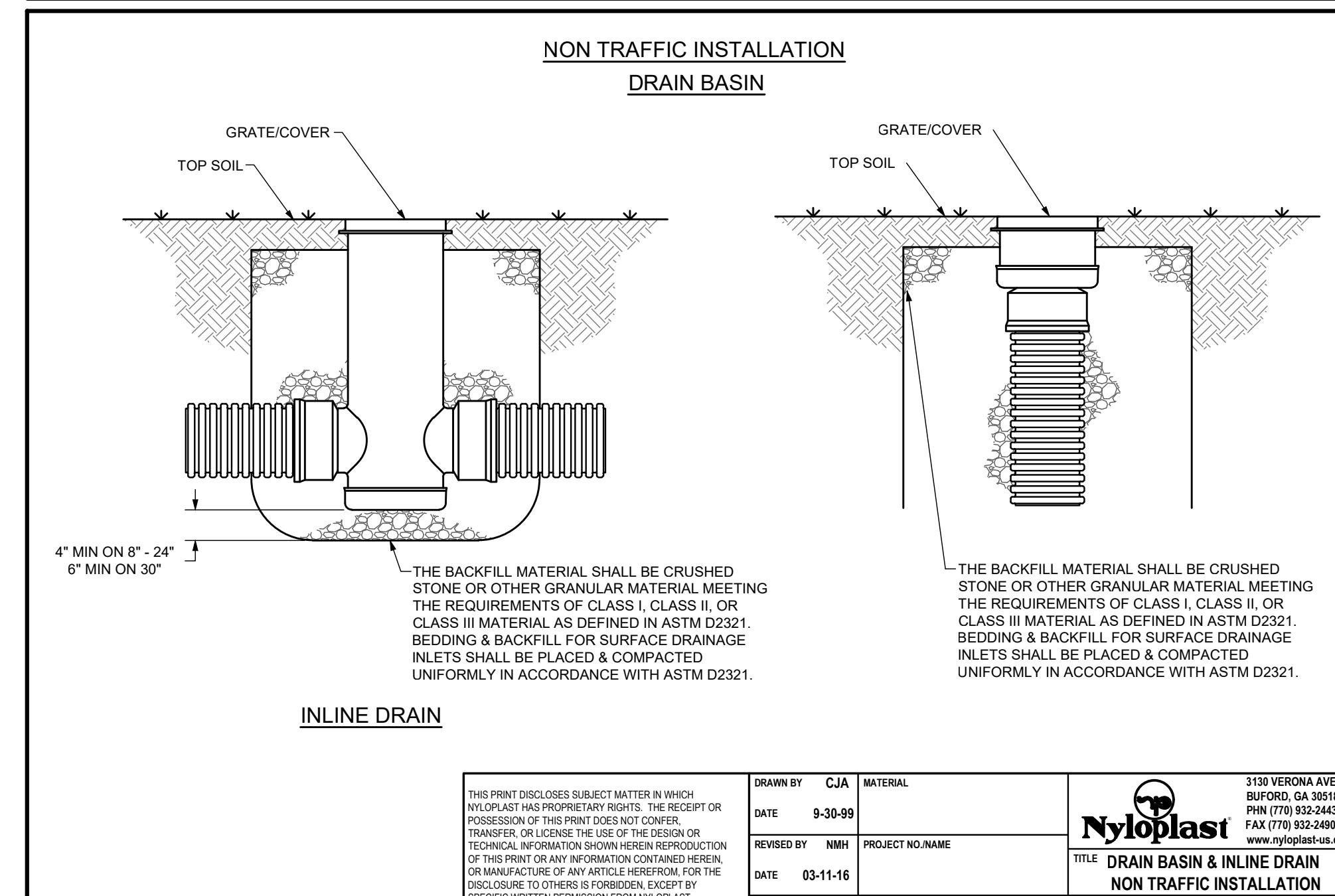
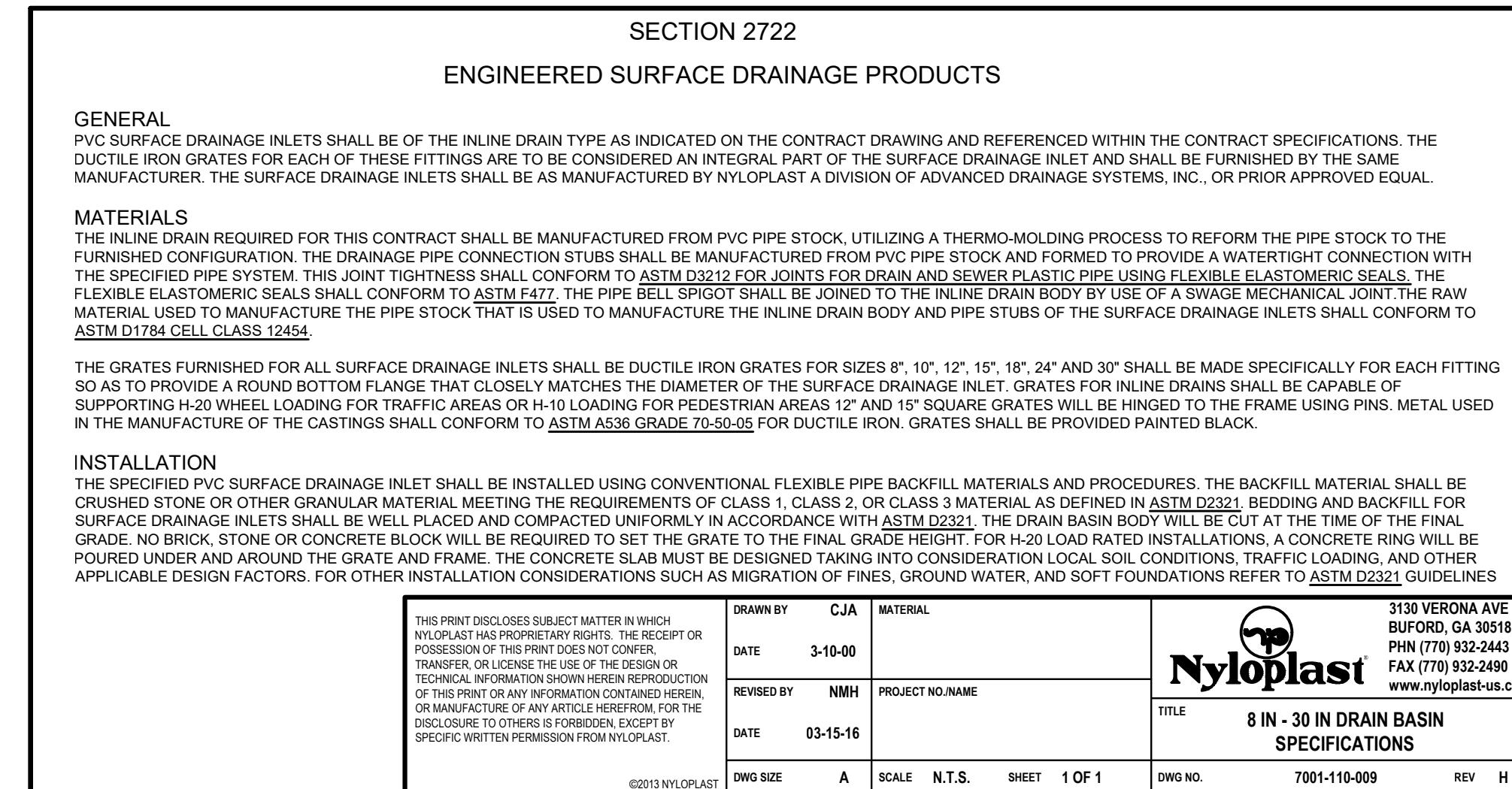
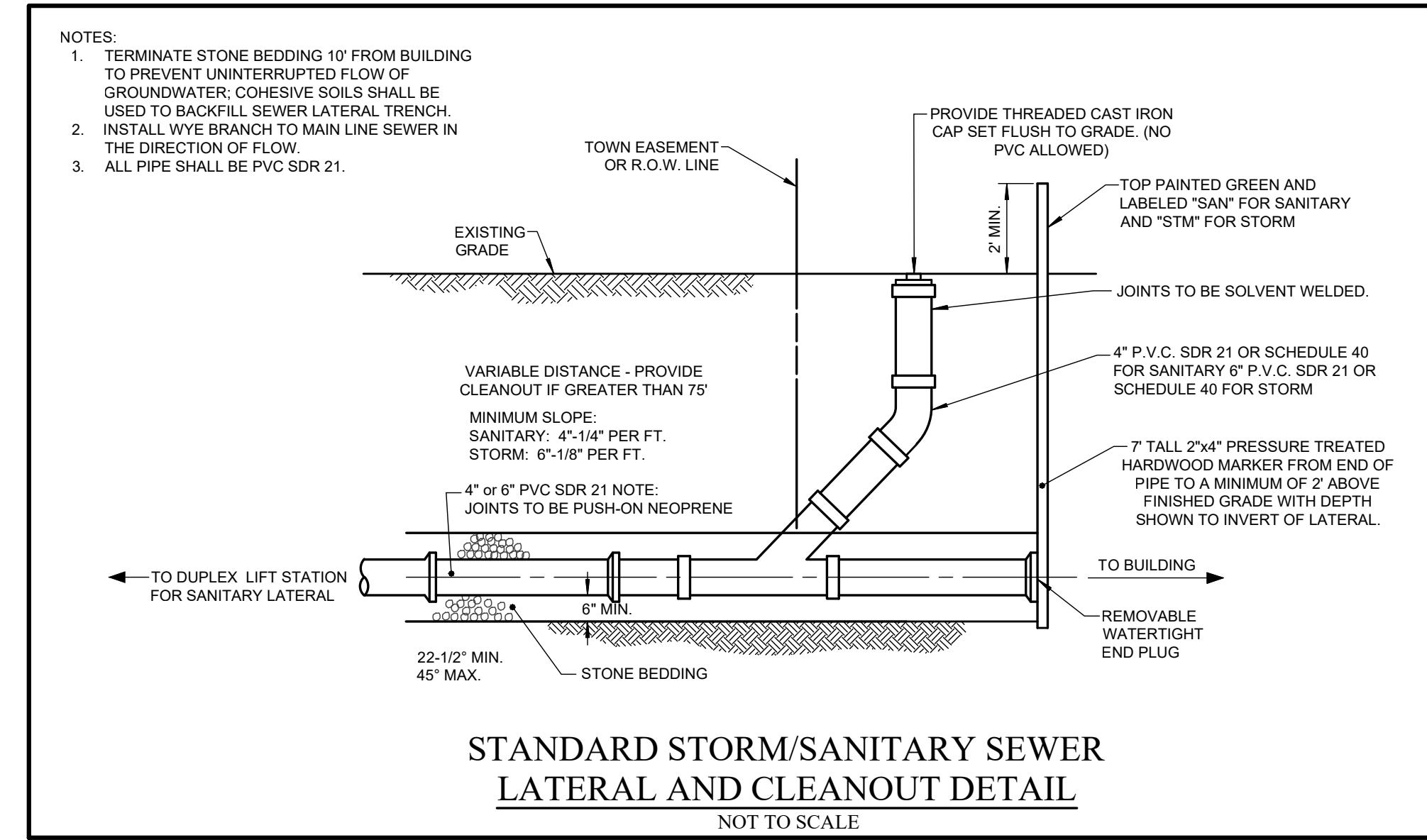
1. ONE "VAN ACCESSIBLE" SIGN PER SIX HANDICAP SPACES PROVIDED ON SITE, MUST MOUNTED BELOW THE "RESERVED PARKING" SIGN.
2. ADA GUIDELINES STATE THAT THE BOTTOM OF THE "VAN ACCESSIBLE" SIGN MUST MOUNTED A MINIMUM OF 80" ABOVE GRADE. SOME MUNICIPALITIES LIMIT THE MAXIMUM HEIGHTS AND MAY ALSO REQUIRE ADDITIONAL SIGNAGE. REFER TO LOCAL CODE.
3. ALL RESERVED PARKING SIGNS ON SITE SHALL BE MOUNTED AT THE SAME HEIGHT, REGARDLESS IF A "VAN ACCESSIBLE" SIGN IS PRESENT.

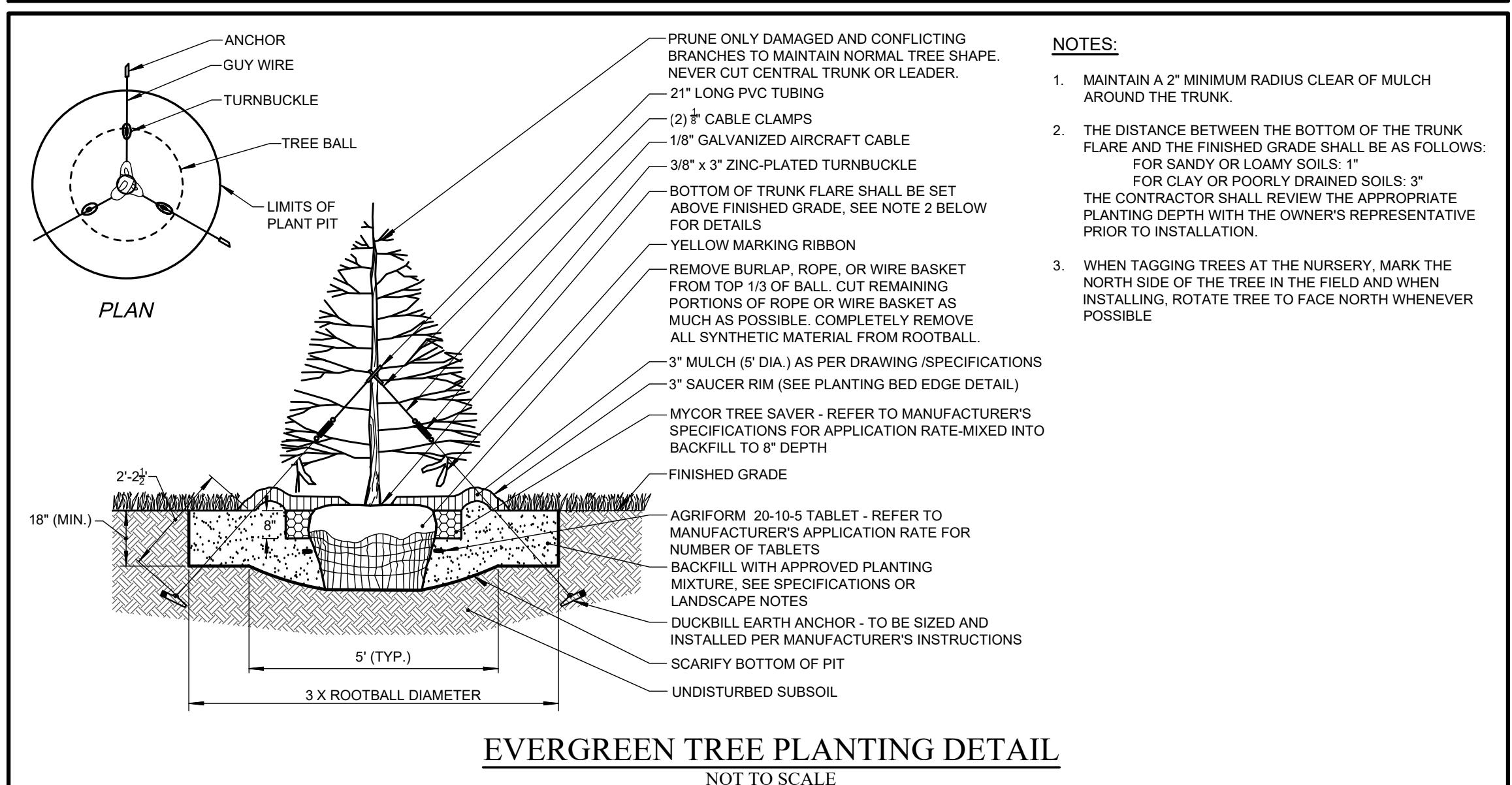
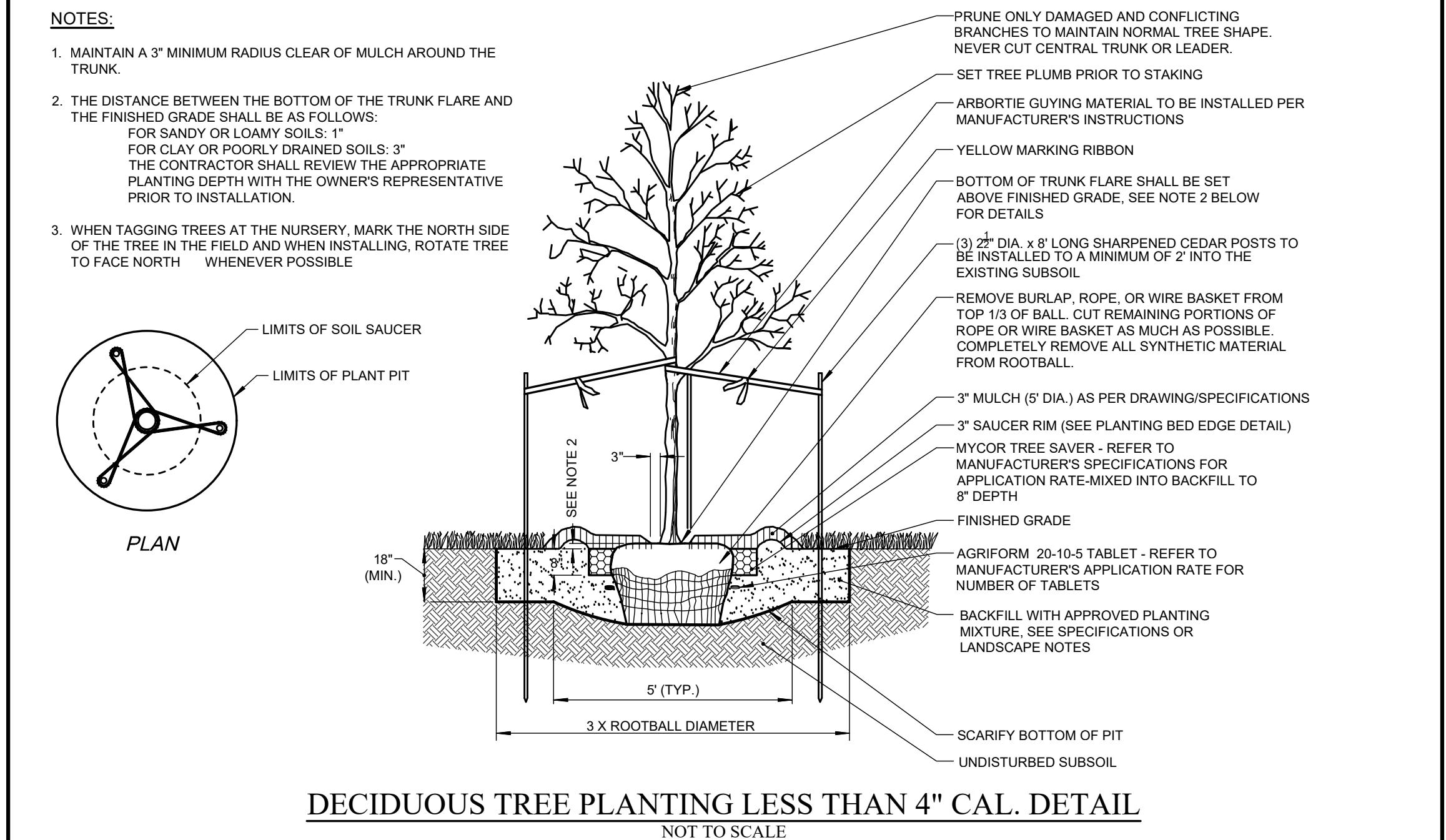
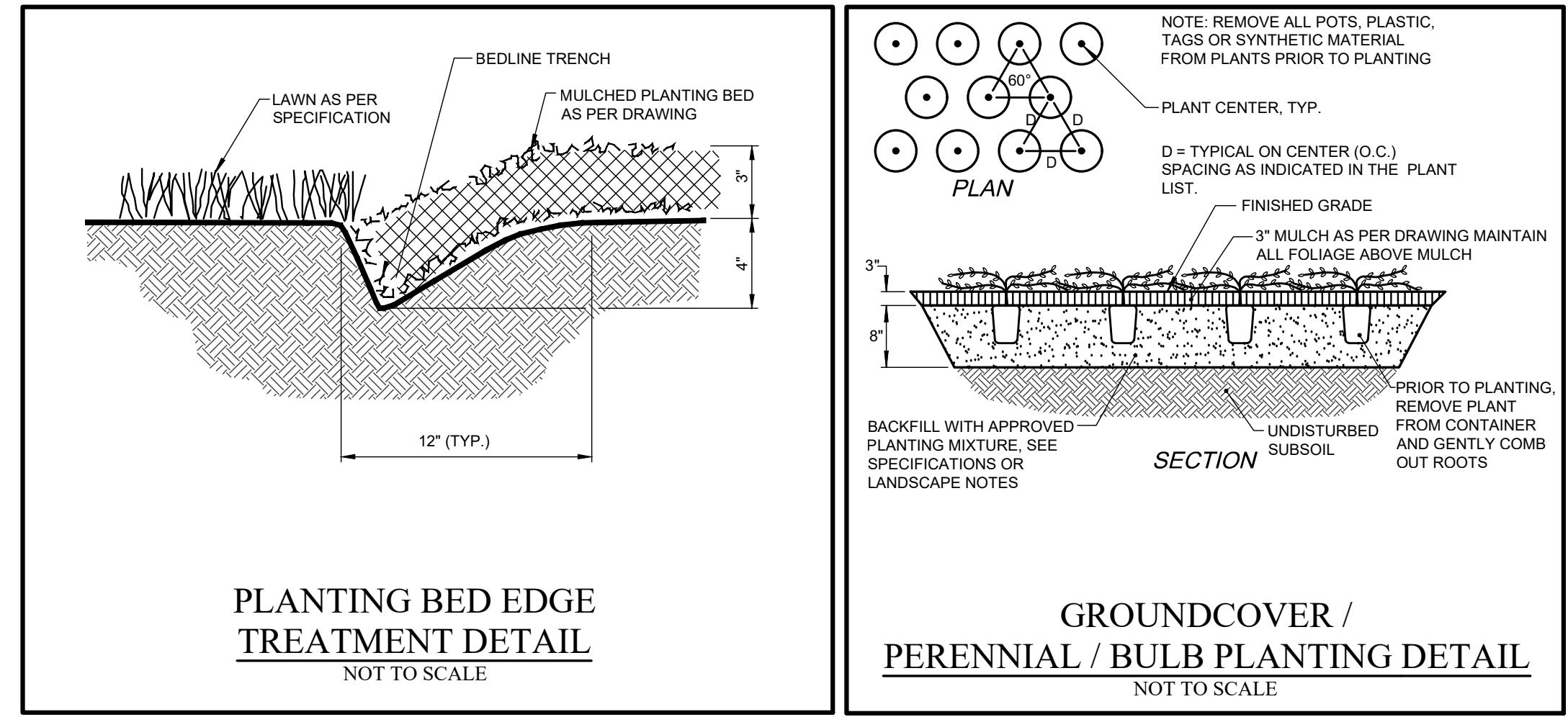
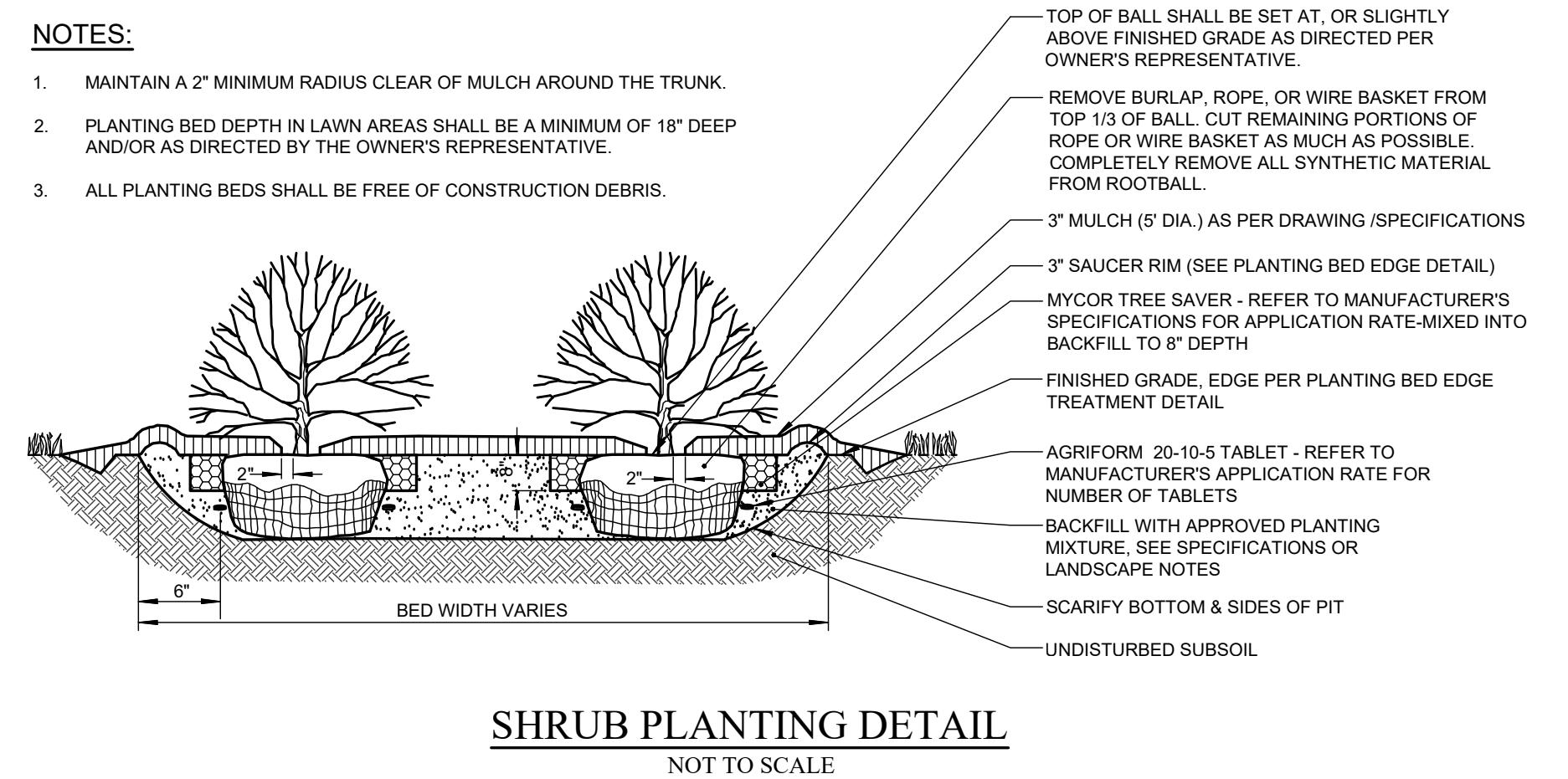
SIGN TO BE ATTACHED TO POST WITH TWO STAINLESS STEEL TEK SCREWS
12"X18" STEEL SIGN WITH WHITE SYMBOL ON A WHITE/BLUE BACKGROUND TO BE BAKED ENAMEL MULCD NY R7-8
RESERVED PARKING
VAN ACCESSIBLE
2" O.D. ROUND GALVANIZED POST. PROVIDE POST CAP AT TOP OF SIGN POST.
SEAL PAVEMENT/CONCRETE JOINT WITH BITUMINUS SEALER
TOPSOIL & GRASS AREA
COMPACTED SUBGRADE
4000 PSI CONCRETE 12" DIA. CONC. BASE
UNDISTURBED SOIL
4" MIN. CONCRETE FOOTING
4" MIN. BOTH SIDES
TYPICAL STEEL POLE MOUNTED SIGN DETAIL
NOT TO SCALE



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