

FINGERLAKES FCU

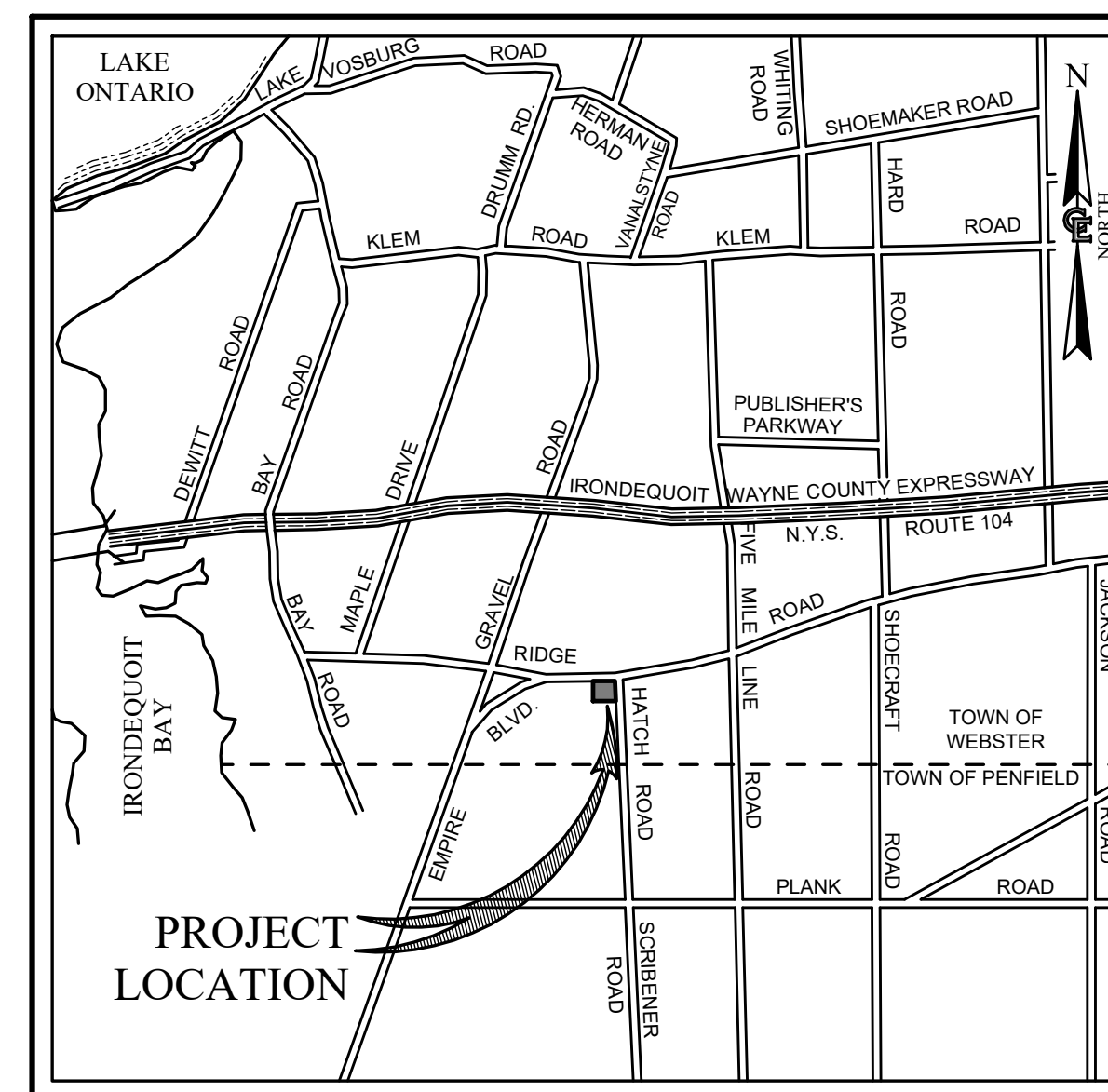
711 & 715 RIDGE ROAD

SITE DEVELOPMENT PLANS

TOWN OF WEBSTER
COUNTY OF MONROE
STATE OF NEW YORK

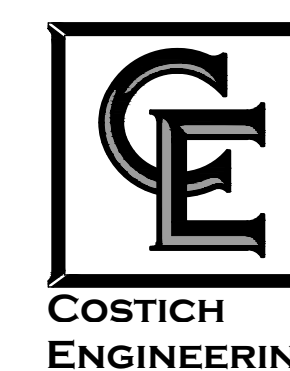
INDEX OF DRAWINGS

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CA100	EXISTING FEATURE/DEMOLITION PLAN (SHEET 02 OF 12)
CA110	EROSION CONTROL PLAN (SHEET 03 OF 12)
CA120	SITE PLAN (SHEET 04 OF 12)
CA130	UTILITY PLAN (SHEET 05 OF 12)
CA140	GRADING PLAN (SHEET 06 OF 12)
LA100	LANDSCAPE PLAN (SHEET 07 OF 12)
CA500	DETAIL SHEET (SHEET 08 OF 12)
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CA503	DETAIL SHEET (SHEET 11 OF 12)
CA504	DETAIL SHEET (SHEET 12 OF 12)



LOCATION SKETCH
NOT TO SCALE

PREPARED FOR:
PWCAMPBELL
109 SETA DRIVE
PITTSBURGH, PENNSYLVANIA 15238



• CIVIL
ENGINEERING
• LAND
SURVEYING
• LANDSCAPE
ARCHITECTURE
217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

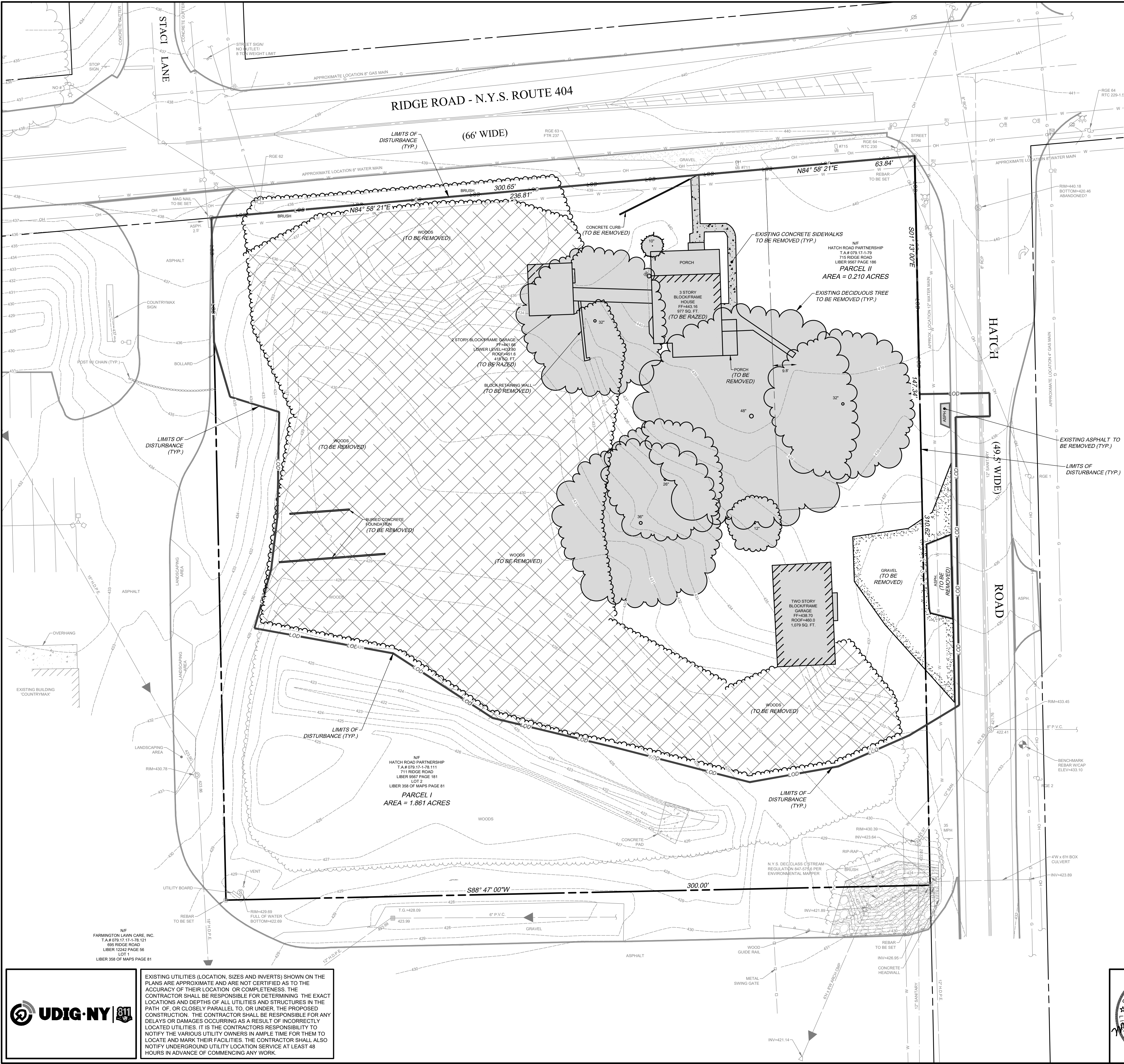
FINGERLAKES FCU
711 & 715 RIDGE ROAD
SITE DEVELOPMENT PLANS
TOWN OF WEBSTER
COUNTY OF MONROE
STATE OF NEW YORK

PRELIMINARY PLANS

DATE: MAY 12, 2025

PROJECT NO. 9444

SHEET NO. GA001
SHEET 01 OF 12



LINE LEGEND

- BOUNDARY PARCEL LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING ADJACENT PROPERTY LINE
- CENTER LINE
- EXISTING CONCRETE CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING WATER MAIN, VALVE, & HYDRANT
- EXISTING SANITARY SEWER & MANHOLE
- EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
- EXISTING OVERHEAD UTILITIES
- EXISTING TELEPHONE
- EXISTING UNDERGROUND UTILITIES
- EXISTING GAS
- EXISTING ELECTRIC
- EXISTING GUARD RAIL
- TREE, HEDGE, EDGE OF WOODS
- EXISTING SWALE
- STOCKADE, CHAIN LINKED FENCE
- EXISTING CONTOUR

DEMOLITION LEGEND

- EXISTING DECIDUOUS & CONSCIOUS TREES TO BE REMOVED
- EXISTING WOODED AREA TO BE REMOVED
- EXISTING CONCRETE CURB TO BE REMOVED
- EXISTING BUILDING TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- INLET PROTECTION
- PROPOSED SILT FENCE
- LIMITS OF DISTURBANCE

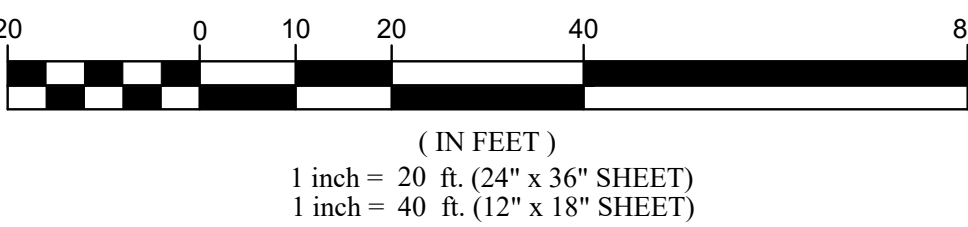
REFERENCES

- MAP ENTITLED "COUNTRYMAX - WEBSTER SUBDIVISION PLAT", PREPARED BY BME ASSOCIATES, HAVING PROJECT NO. 2534, DATED MAY 2018, AND IS ON FILE AT THE MONROE COUNTY CLERK'S OFFICE AT LIBER 358 OF MAPS PAGE 81.
- TITLE REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, HAVING TITLE NO. 2416-1090EC, DATED OCTOBER 21, 2024.
- THE DEEDS AS SHOWN ON FILE IN THE MONROE COUNTY CLERK'S OFFICE.

SURVEY NOTES

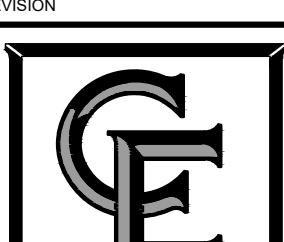
- TOPOGRAPHY SHOWN FROM A FIELD SURVEY BY COSTICH ENGINEERING ON 6/10/2024 HORIZONTAL AND VERTICAL DATA OBTAINED THROUGH NYS DOT CORS NETWORK REFERENCED TO THE FOLLOWING MONUMENT
PITTSFORD CORS STATION
-LATITUDE: 43-05-35.48461 (N) NAD 83 (CORS)
-LONGITUDE: 077-31-31.11244 (W)
-ELLIP HEIGHT: 113.481 METERS NAVD 88 (CORS)

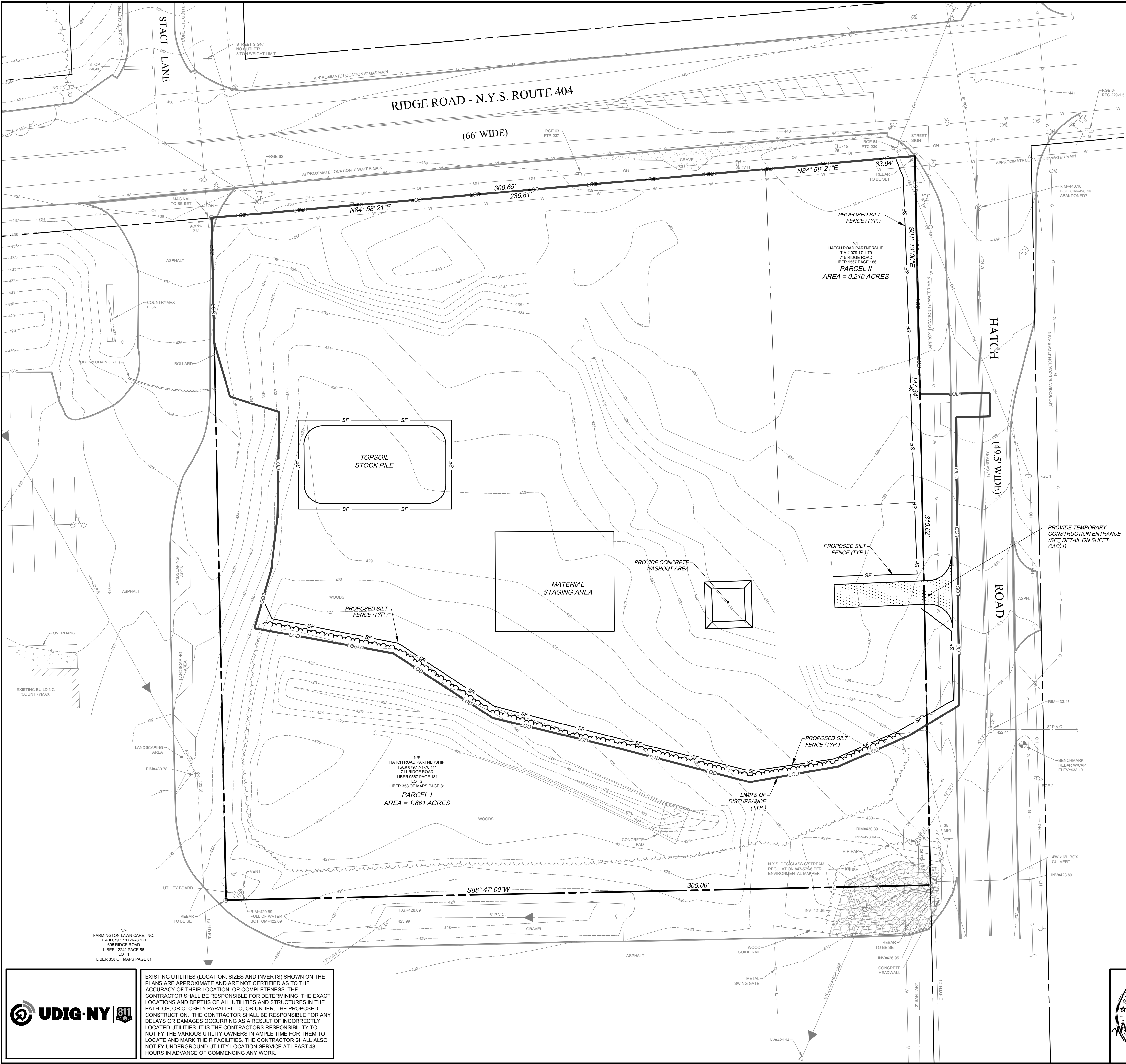
GRAPHIC SCALE



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0	05/12/2025	ISSUED FOR MUNICIPAL SUBMISSION								D.J.L.	M.P.M.								
NO.	DATE	REVISION								BY	CHKD.	APVLS.							
PROJECT MANAGER E.R.G.										TITLE OF PROJECT FINGERLAKES FCU 711 & 715 RIDGE ROAD									
DRAWN BY D.J.L.										TITLE OF DRAWING EXISTING FEATURES/ DEMOLITION PLAN									
BOUNDARY G.M.S.										LOCATION OF PROJECT TAX PARCEL NO. 079.17-1.79 & 78.111 TOWN LOT 60, TOWNSHIP 13, RANGE 4, PHILIPS & GORHAM PURCHASE, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK									
TOPOBASE G.L.R.										CLIENT PWCAMPELL ATTN: JASON STRAYLEY 109 ZETTA DRIVE PITTSBURGH, PENNSYLVANIA 15238									
DATE 05/12/2025										DWG # 9444 CA100 SHEET 02 OF 12									
SCALE 1"=20'																			
 ST COST ENGINEERING										<ul style="list-style-type: none">• CIVIL ENGINEERING• LAND SURVEYING• LANDSCAPE ARCHITECTURE <p>217 LAKE AVENUE ROCHESTER, NY 14608 (585) 458-3020</p>									



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EROSION CONTROL LEGEND

- PROPOSED SILT FENCE
- LIMITS OF DISTURBANCE

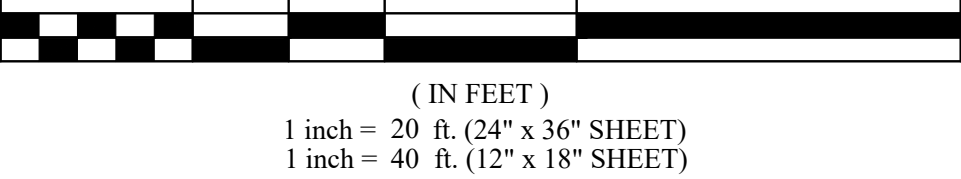
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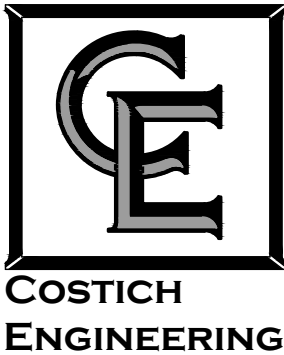
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GRAPHIC SCALE



NF
FARMINGTON LAWN CARE, INC.
T.A.# 079-17-178.121
666 RIDGE ROAD
LOT 1
LIBER 358 OF MAPS PAGE 81

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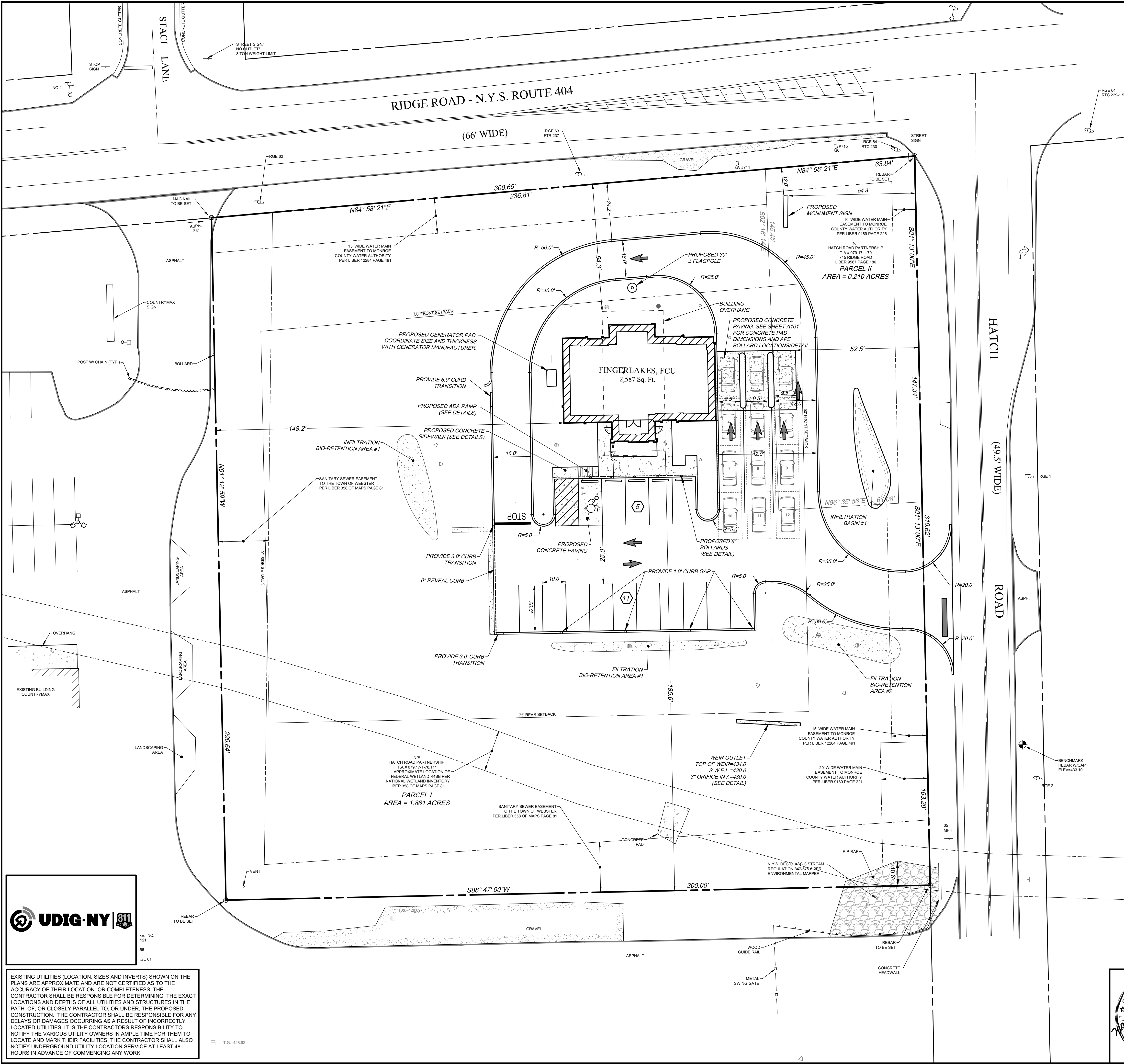
- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

PROJECT MANAGER E.R.G.		DRAWN BY D.J.L.		BOUNDARY G.M.S.		TOPOBASE G.L.R.		DATE 05/12/2025		SCALE 1"=20'	
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SITE LINE LEGEND

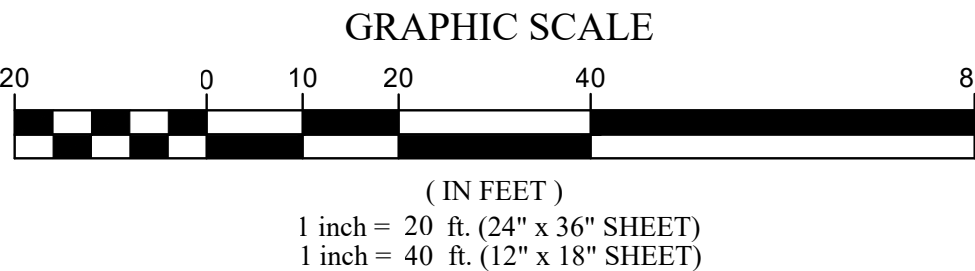
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- EXISTING ADJACENT PROPERTY LINE
- MIN. BUILDING SETBACK
- CENTER LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING
- EXISTING CONCRETE CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING CONC. PAD/ CONC. SIDEWALK
- EXISTING GUARD RAIL
- EXISTING STOCKADE & CHAIN LINK FENCE
- EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONCRETE CURB
- PROPOSED BUILDING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ADA SIDEWALK RAMPS
- PROPOSED BIO-RETENTION AREA
- PROPOSED 3' WIDE FILTER STRIP

SITE DATA

- TAX PARCEL NO. 079.17-01-078.111, 079.17-01-79
- PARCEL AREA: 1.861 ACRES & 0.210 ACRES
- EXISTING ZONING: MC (MEDIUM-INTENSITY COMMERCIAL DISTRICT)
- BULK REQUIREMENTS:

	REQUIRED	PROVIDED
MIN. LOT AREA (SF)	45,000	2,077 ACRES
MAX LOT COVERAGE	20%	5.9%
MIN. LOT WIDTH (FT)	150	300.65
MAX. BUILDING HEIGHT (FT)	35	22±
MIN. FRONT YARD SETBACK (FT)	50	54±
MIN. SIDE YARD SETBACK (FT)	20	52±
MIN. REAR YARD SETBACK (FT)	75	185±

PARKING REQUIREMENT:
1 SPACE/150 SF GROSS FLOOR AREA OVER 1000 SF
1/150 x 1,180 = 8 PARKING SPACES REQUIRED
PARKING PROVIDED: 15 PARKING SPACES, 1 ADA/HANDICAP
TOTAL = 16 PARKING SPACES

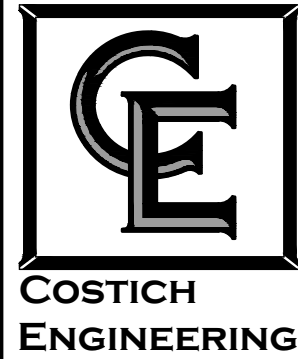


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T.G. 4-28.92

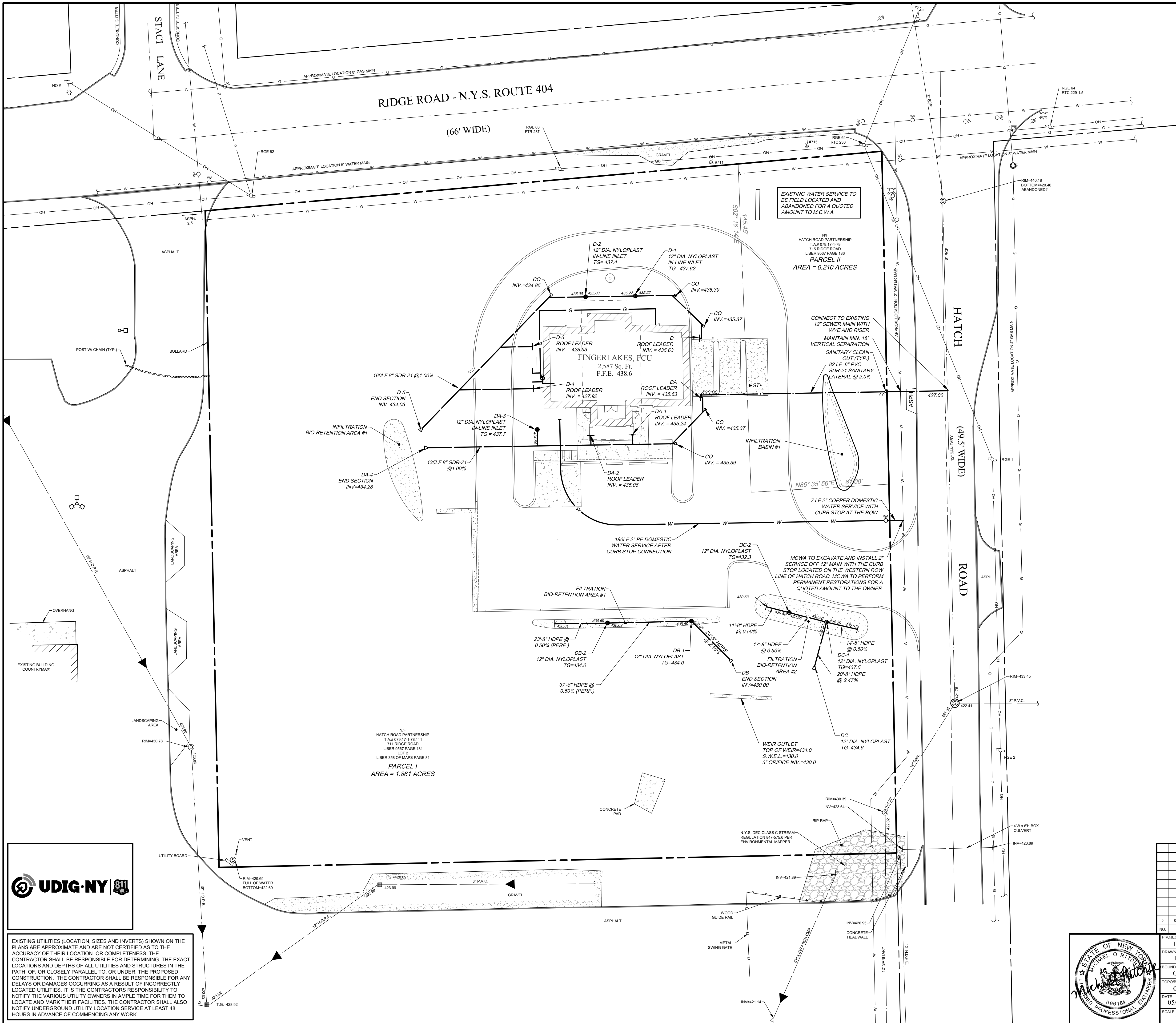


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DWS # 9444 CA120 SHEET 04 OF 12						COPYRIGHT © 2025 COSTICH ENGINEERING, D.P.C.					



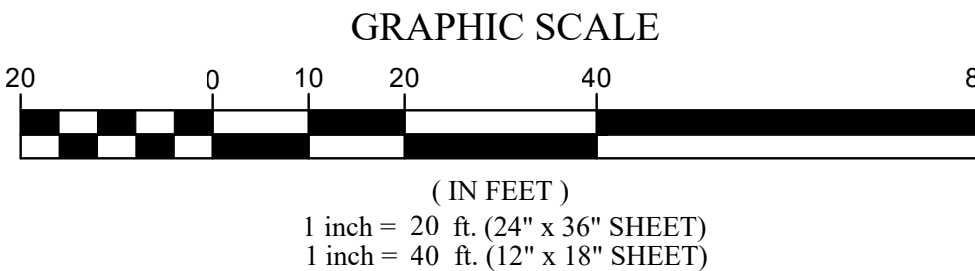
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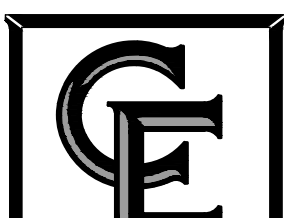
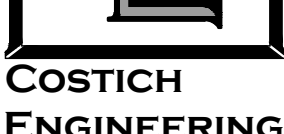


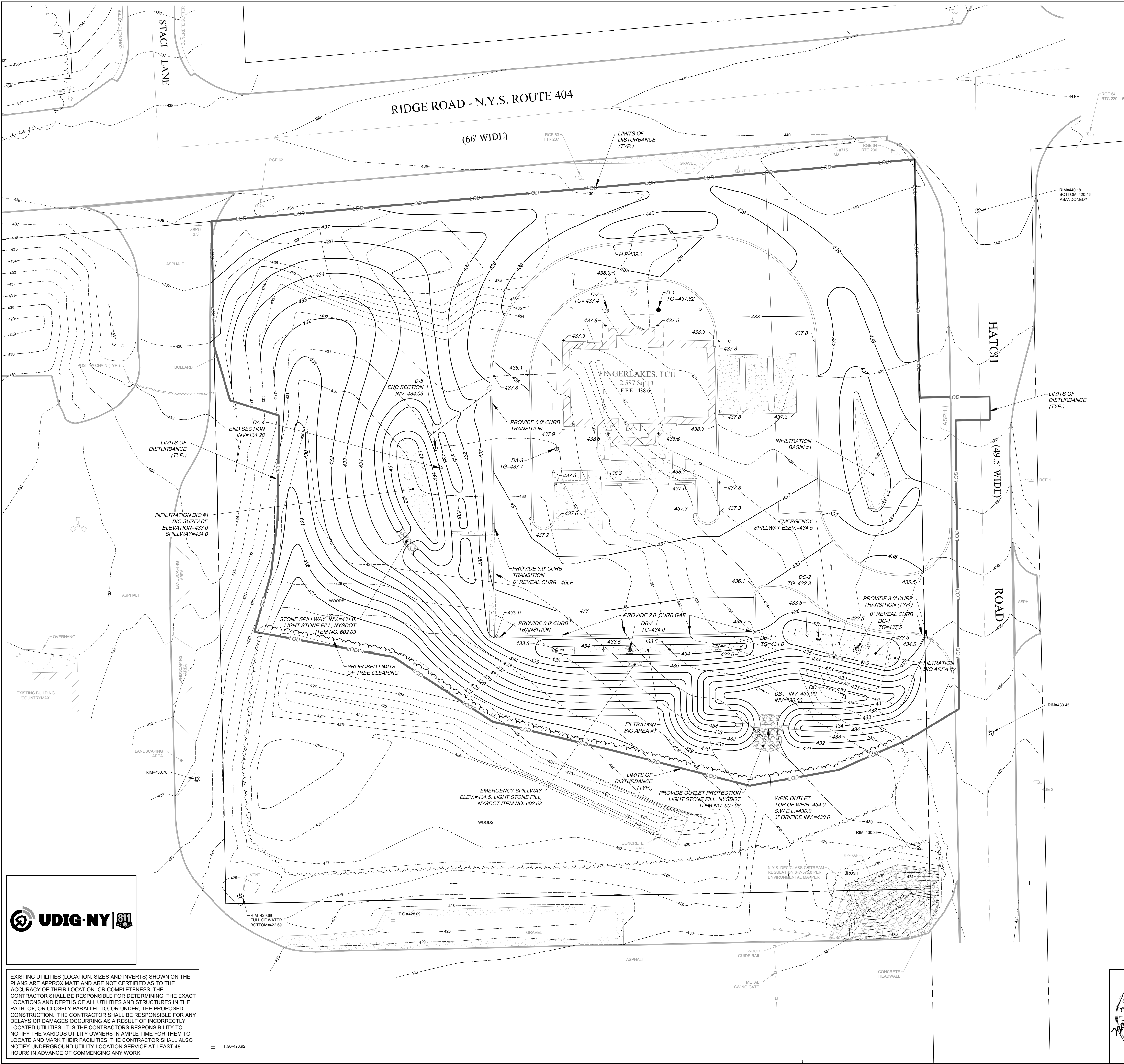
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- EXISTING UNDERGROUND UTILITIES
- EXISTING GAS SERVICE
- EXISTING ELECTRIC SERVICE
- EXISTING GUARD RAIL
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONCRETE CURB
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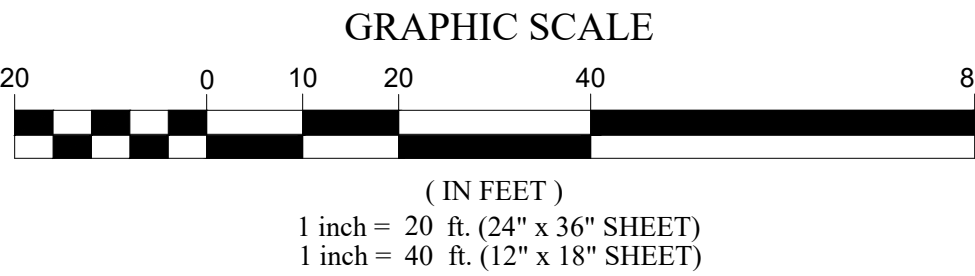
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GRADING LINE LEGEND

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- EXISTING CONTOUR
- EXISTING SPOT ELEVATION @ x
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION @ x
- SILT FENCE
- ORANGE SAFETY FENCE
- COMPOST FILTER SOCK
- LIMIT OF DISTURBANCE
- PROPOSED INLET PROTECTION
- PROPOSED BIO-RETENTION AREA
- PROPOSED 3' WIDE FILTER STRIP

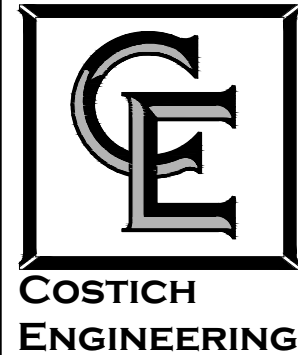


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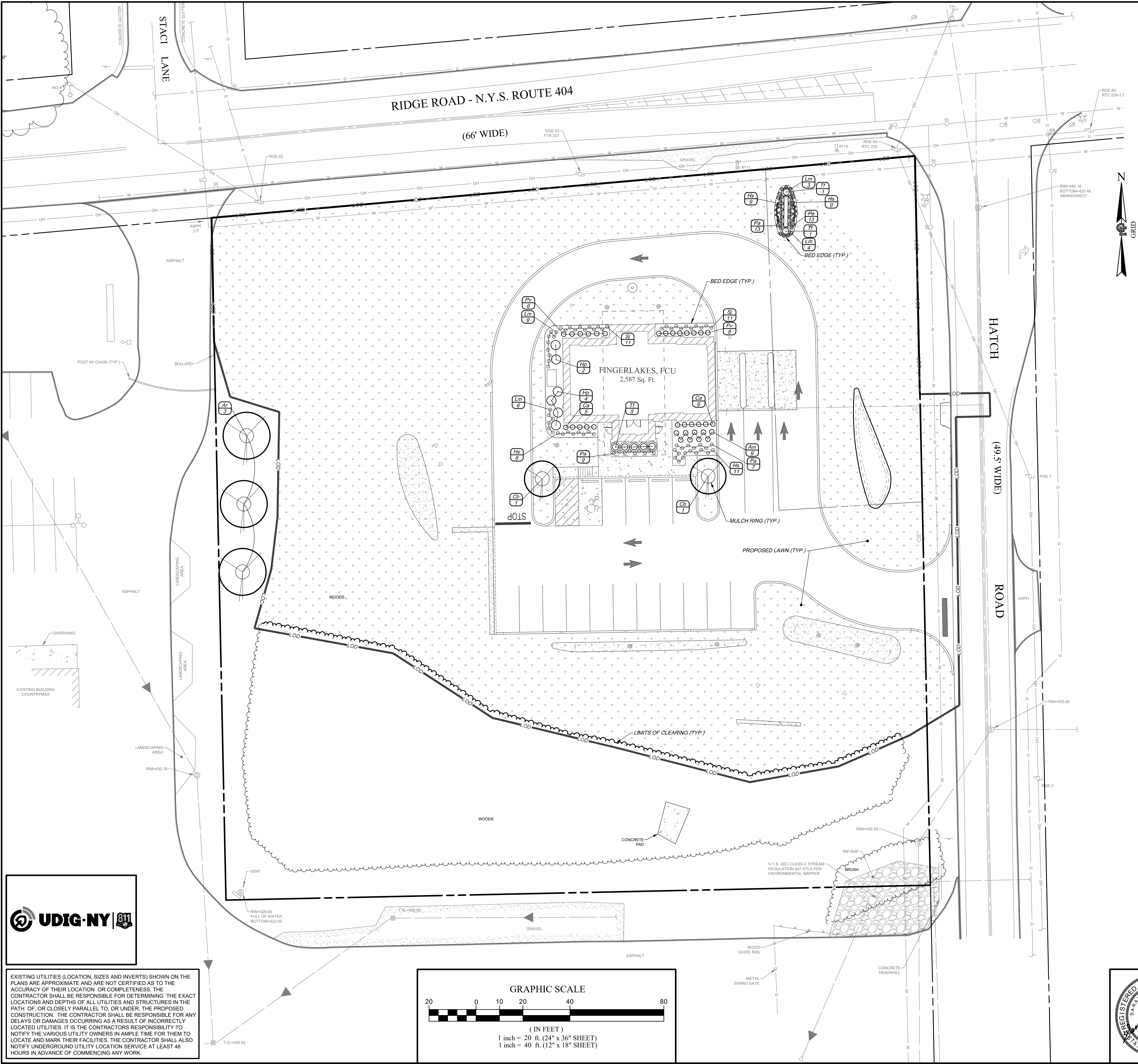


PROJECT MANAGER E.R.G.		DRAWN BY D.J.L.		BOUNDARY G.M.S.		TOPOBASE G.L.R.		DATE 05/12/2025		SCALE 1"=20'		TITLE OF PROJECT FINGERLAKES FCU 711 & 715 RIDGE ROAD		TITLE OF DRAWING GRADING PLAN		LOCATION OF PROJECT TAX PARCEL NO. 079.17-1.79 & 78.111 TOWN LOT 60, TOWNSHIP 13, RANGE 4, PHILIPS & GORHAM PURCHASE, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK		CLIENT PWCAMBELL ATTN: JASON STRAYLEY 109 ZETA DRIVE PITTSBURGH, PENNSYLVANIA 15328		DWG # 9444 CA140 SHEET 06 OF 12	
NO.		DATE		REVISION		BY		CHKD.		APVLS.		D.J.L.		M.P.M.		IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.		COPYRIGHT © 2025 COSTICH ENGINEERING, D.P.C.			



- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

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ROCHESTER, NY 14608
(585) 458-3020

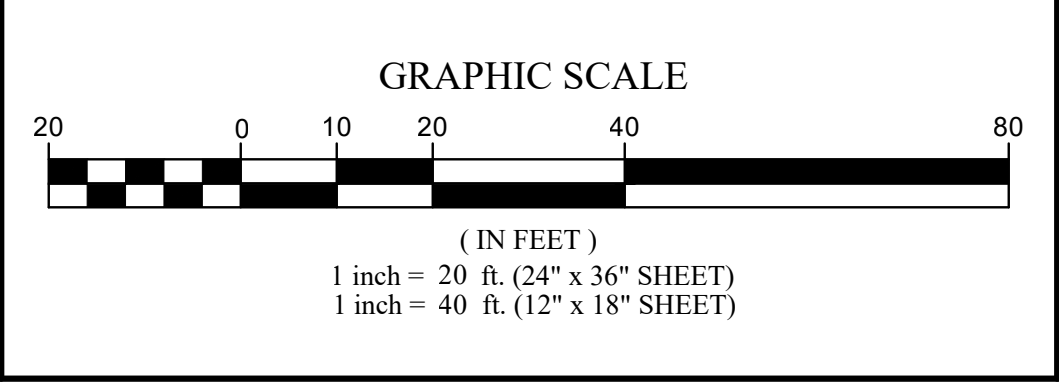


LANDSCAPE LINE LEGEND

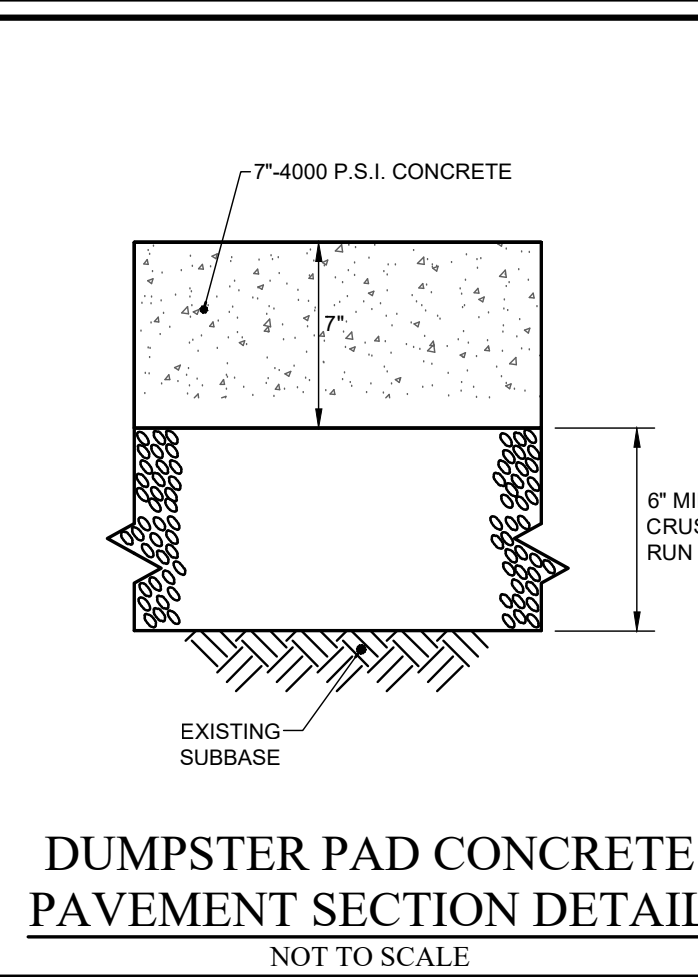
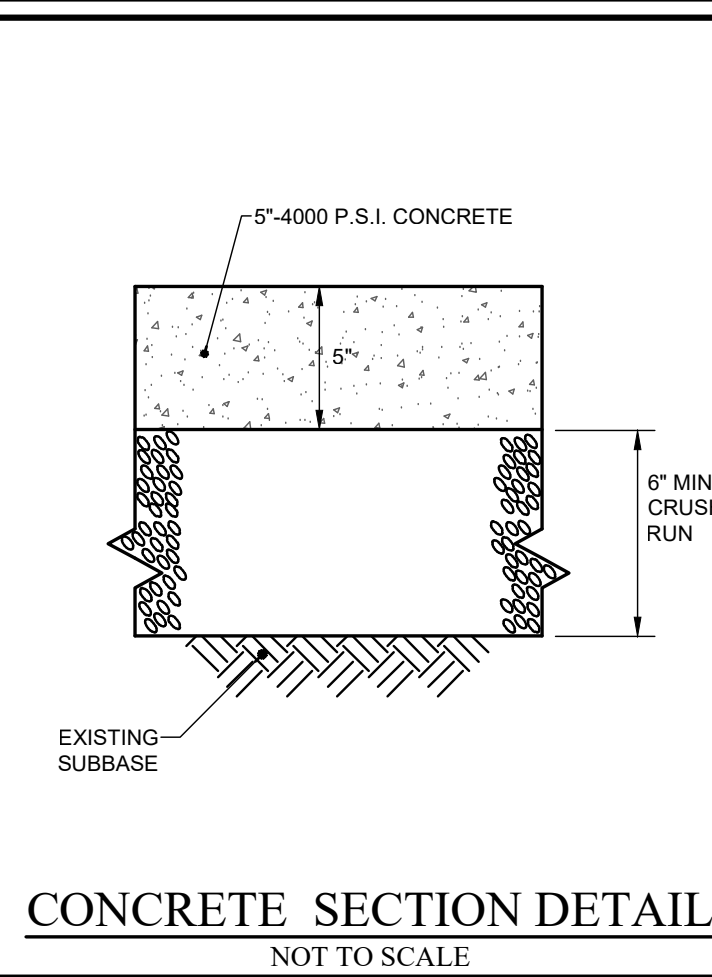
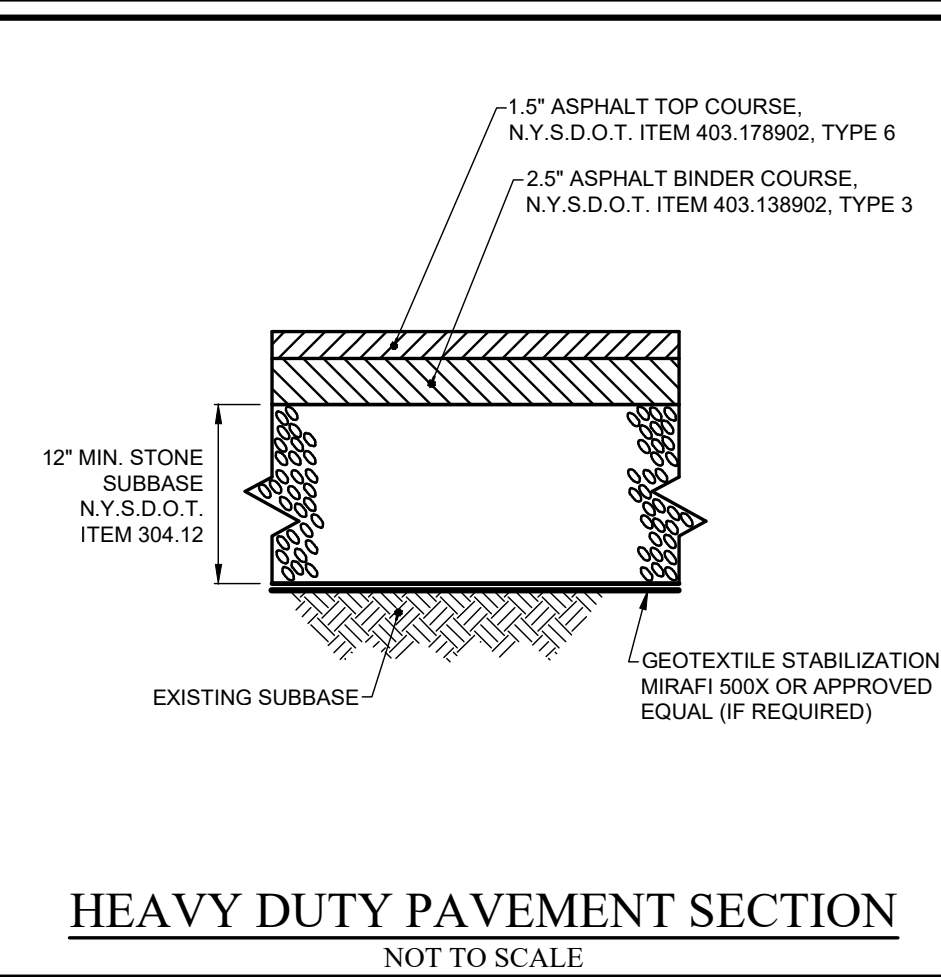
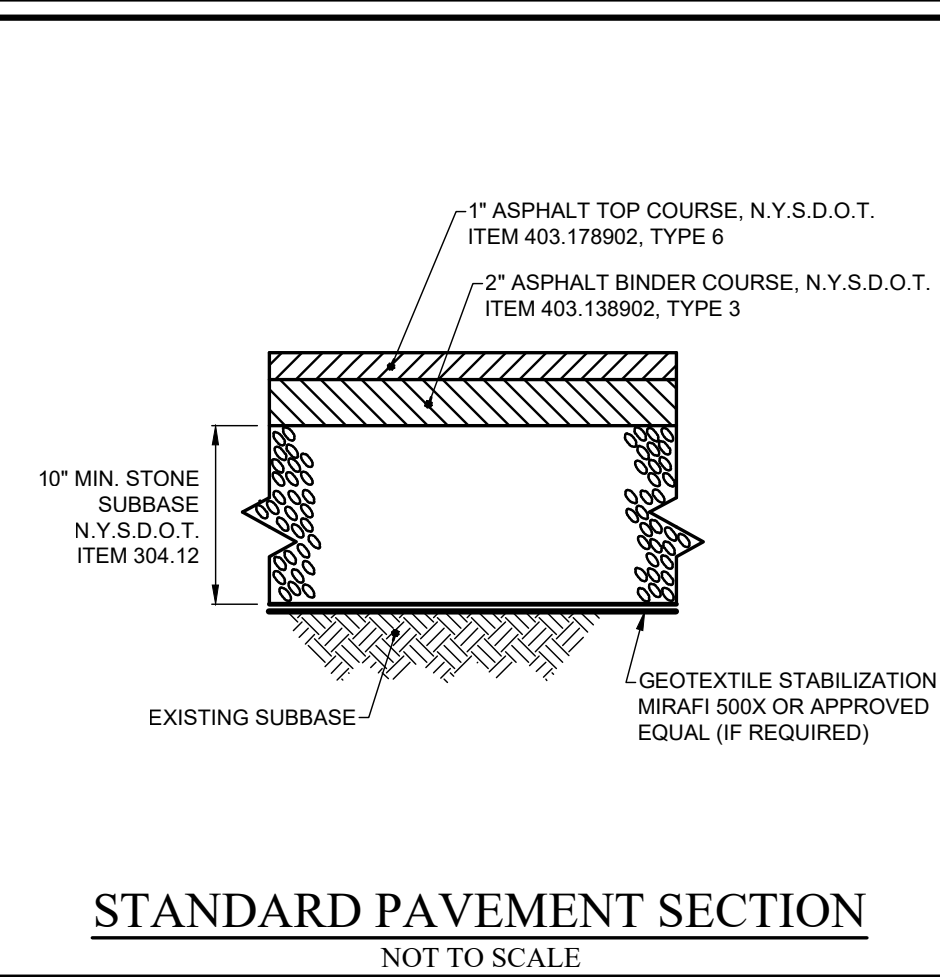
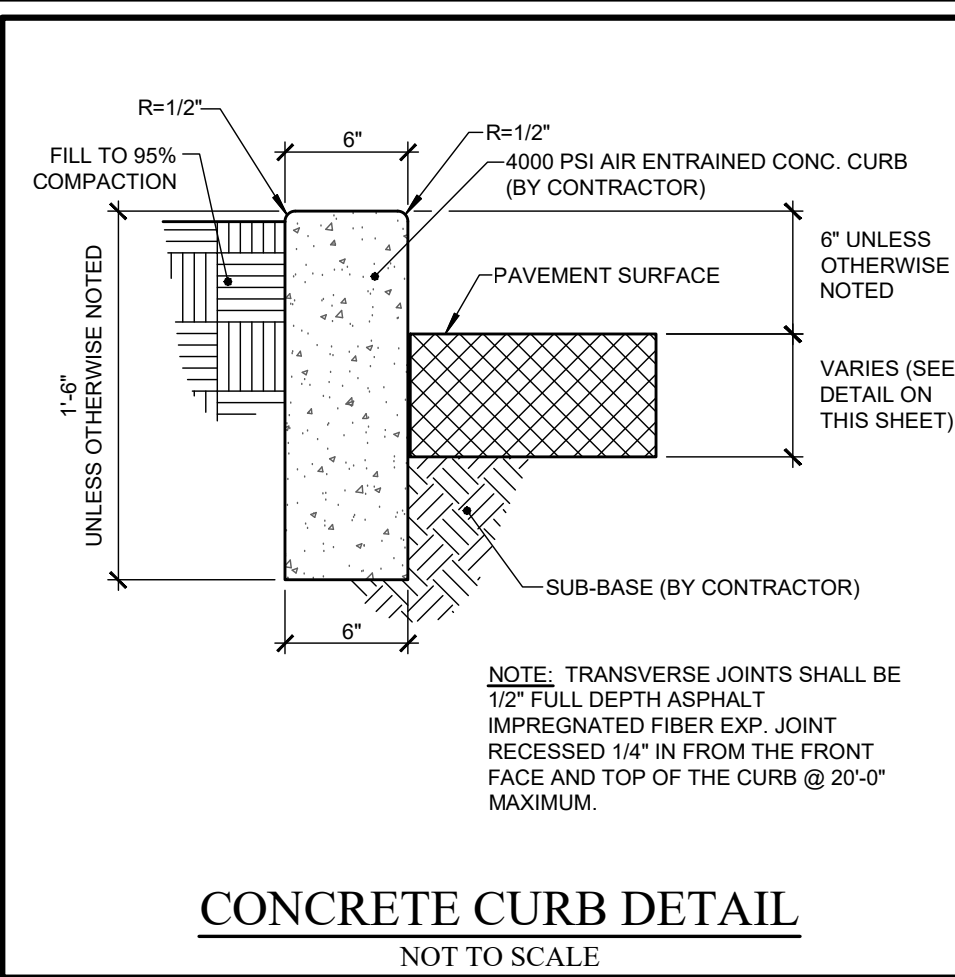
- | | |
|---|---|
| PARCEL BOUNDARY | EXISTING GAS SERVICE |
| EXISTING RIGHT-OF-WAY LINE | EXISTING ELECTRIC SERVICE |
| EXISTING ADJACENT PROPERTY LINE | EXISTING GUARD RAIL |
| CENTER LINE | PROPOSED EDGE OF PAVEMENT |
| EXISTING EASEMENT LINE | PROPOSED CONCRETE CURB |
| EXISTING CONCRETE CURB | PROPOSED BUILDING |
| EXISTING EDGE OF PAVEMENT | PROPOSED BIO-RETENTION AREA |
| EXISTING EDGE OF GRAVEL | PROPOSED 3' WIDE FILTER STRIP |
| EXISTING CONCRETE PAD/CONCRETE SIDEWALK | PROPOSED WATER MAIN, VALVE, & HYDRANT |
| EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT | PROPOSED SANITARY SEWER, & MANHOLE |
| EXISTING WATER MAIN, VALVE, & HYDRANT | PROPOSED DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION |
| EXISTING SANITARY SEWER, & MANHOLE | PROPOSED OVERHEAD UTILITIES |
| EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION | PROPOSED TELEPHONE |
| EXISTING OVERHEAD UTILITIES | PROPOSED UNDERGROUND UTILITIES |
| EXISTING TELEPHONE SERVICE | PROPOSED GAS SERVICE |
| EXISTING UNDERGROUND UTILITIES | PROPOSED ELECTRIC SERVICE |



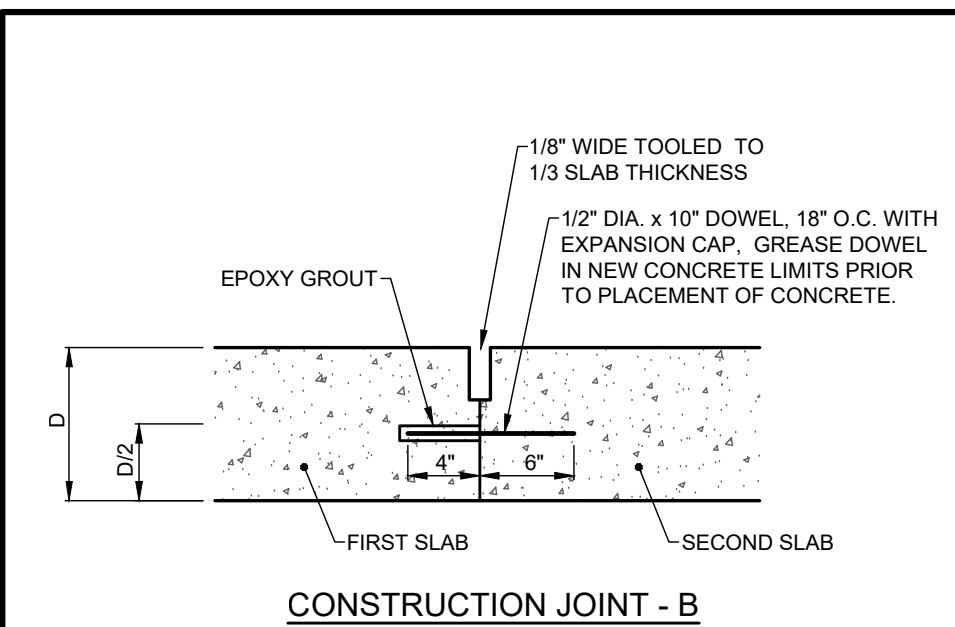
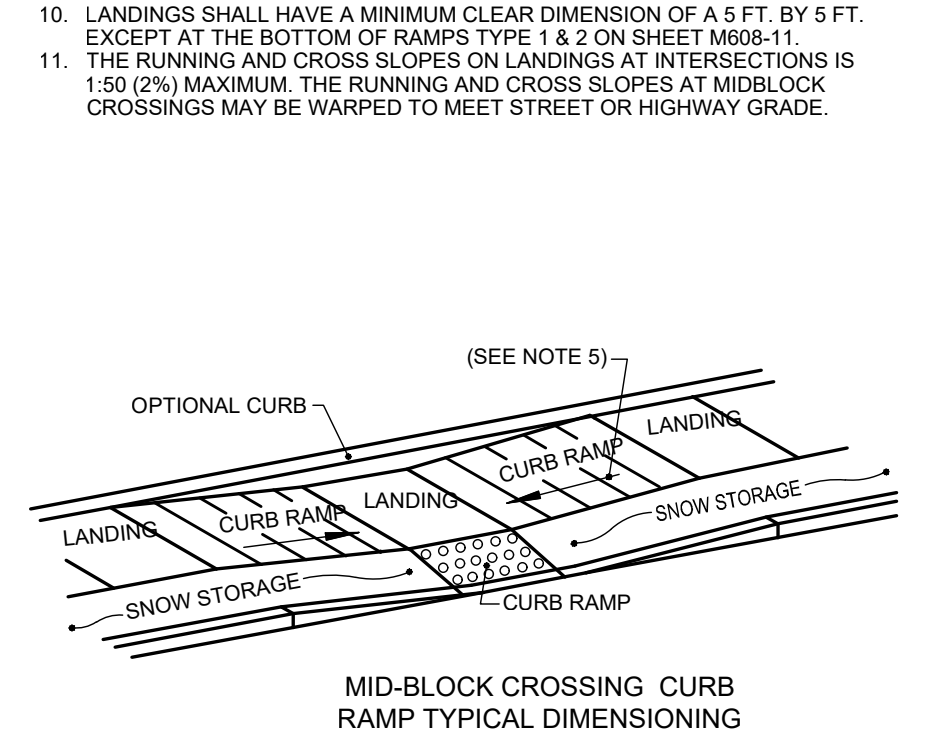
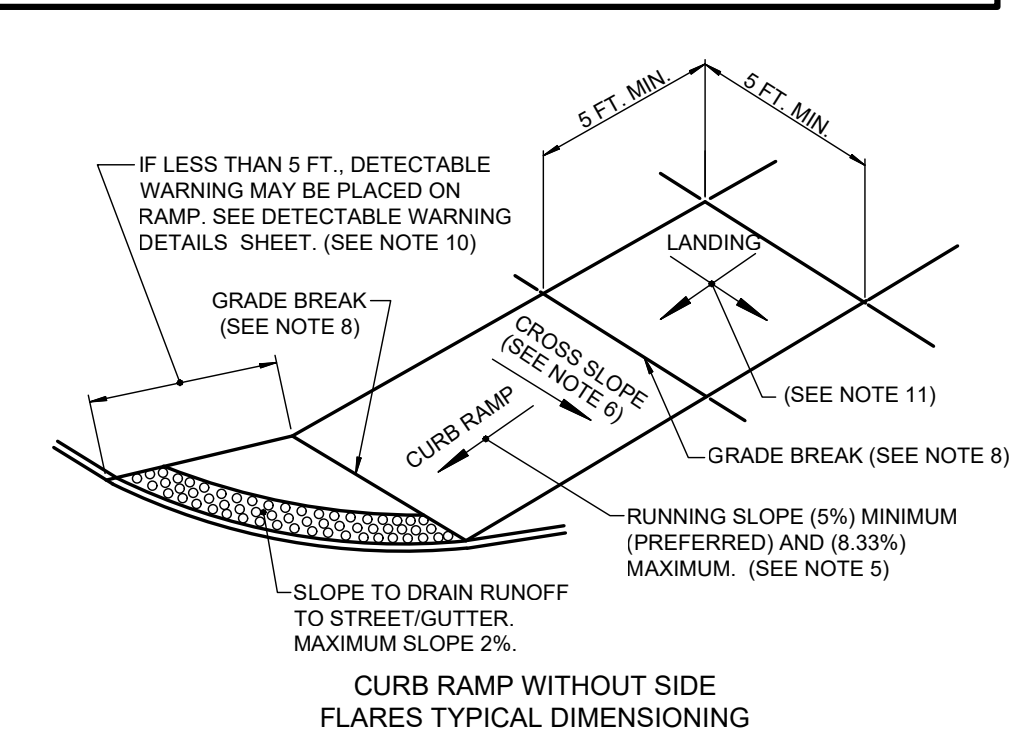
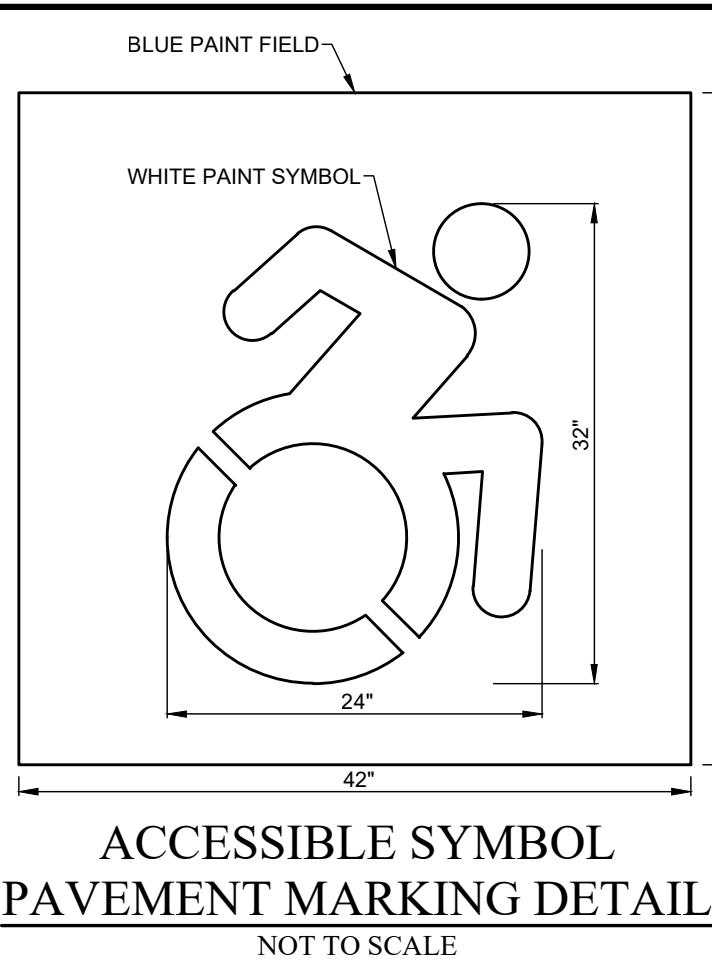
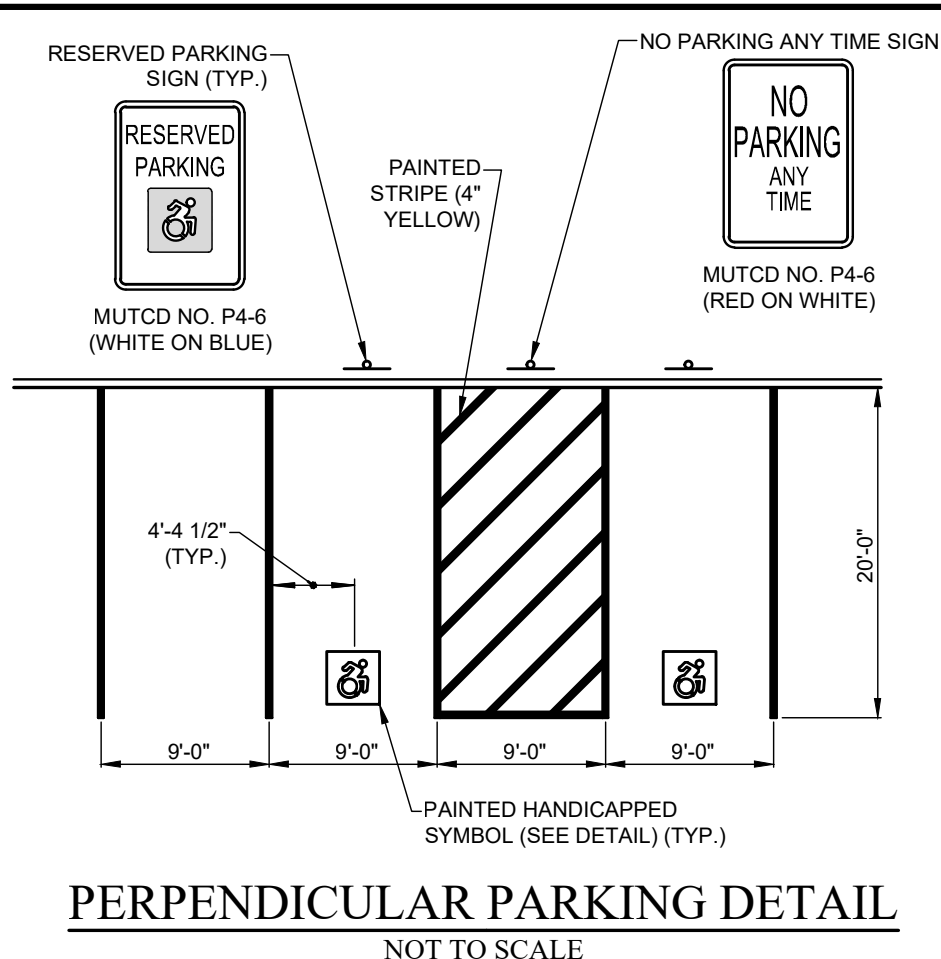
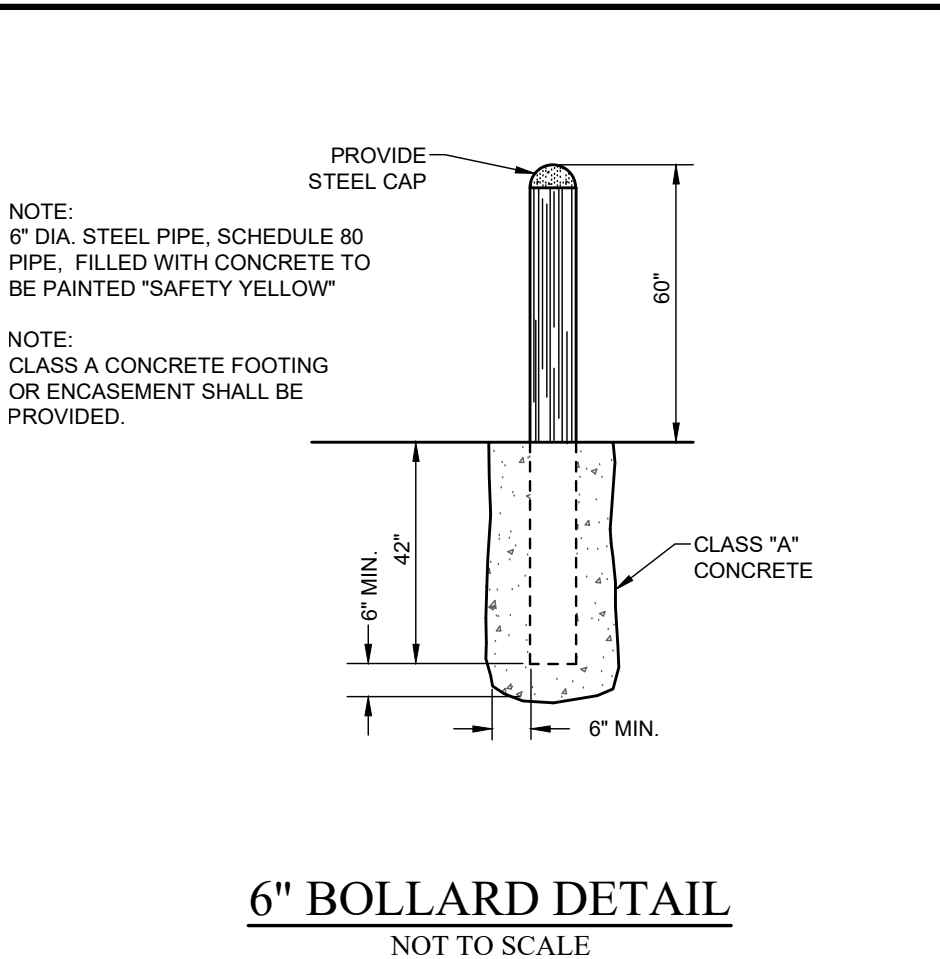
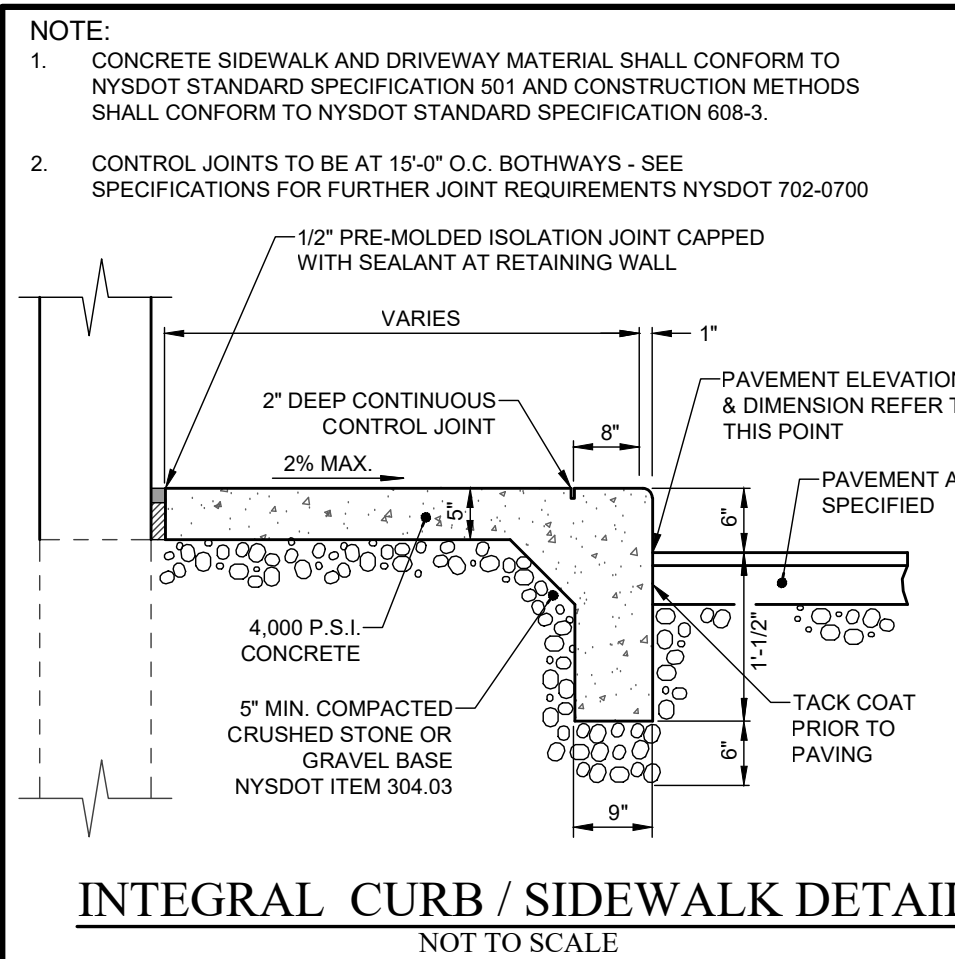
EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



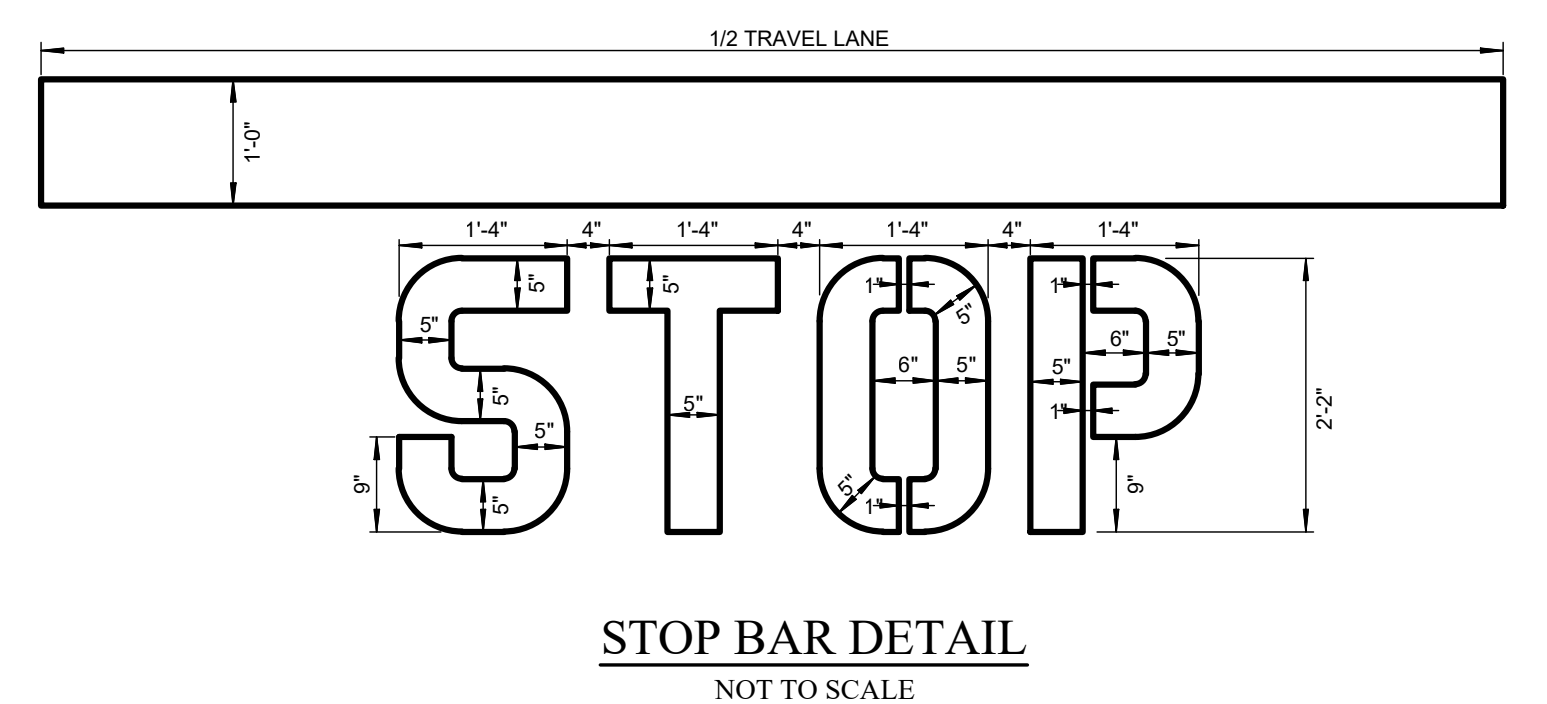
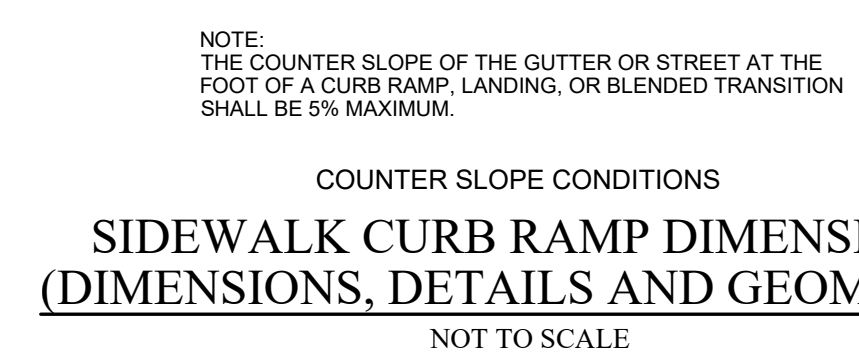
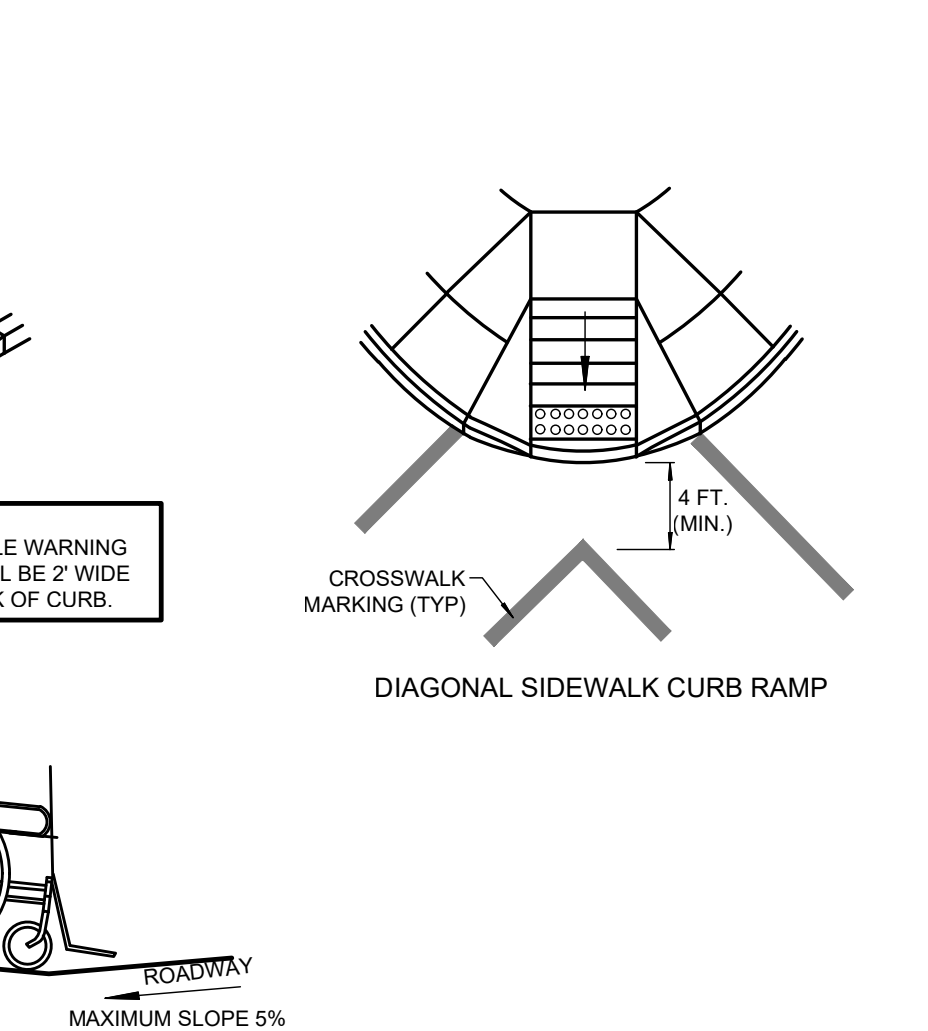
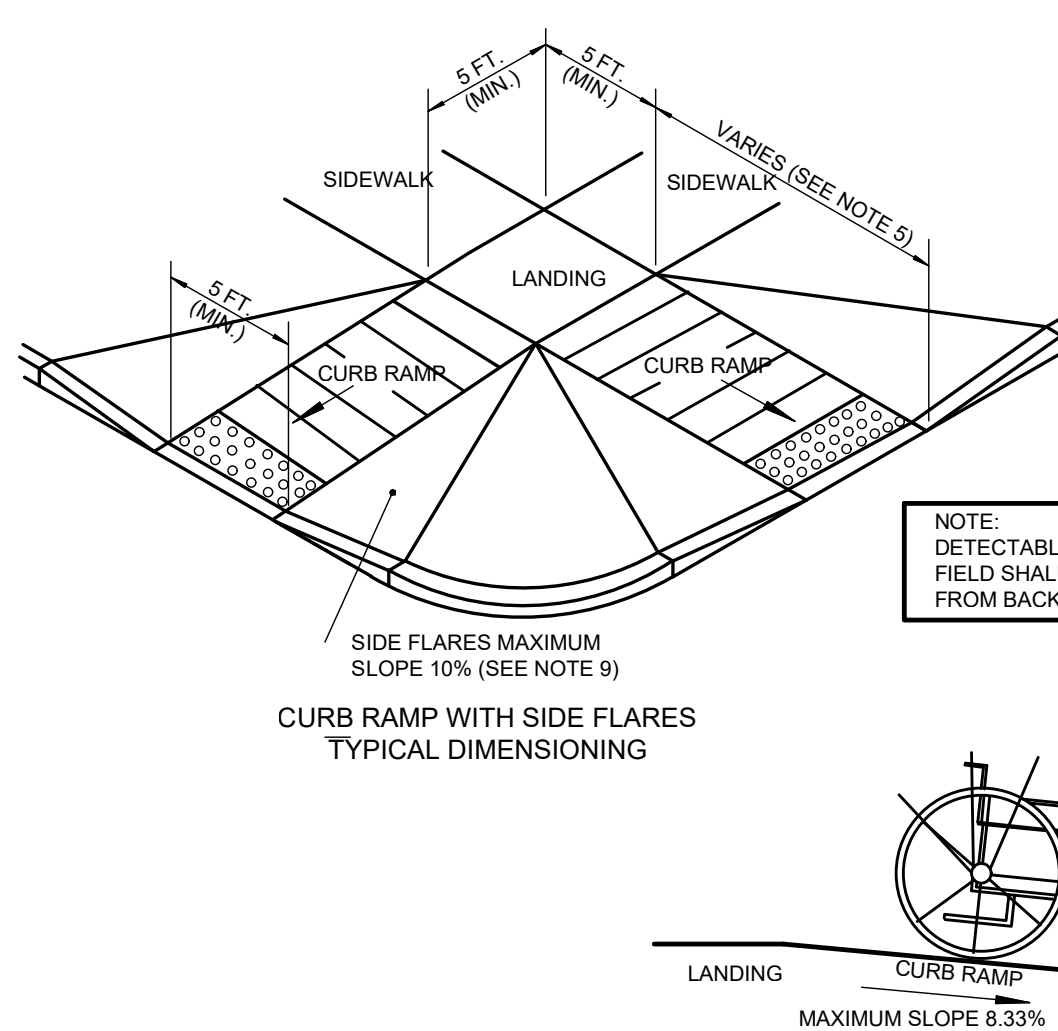
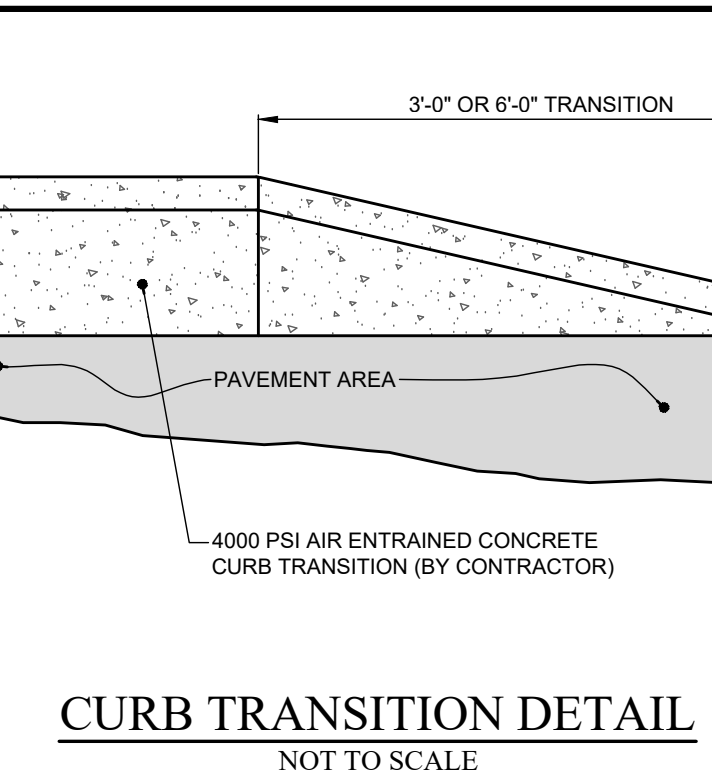
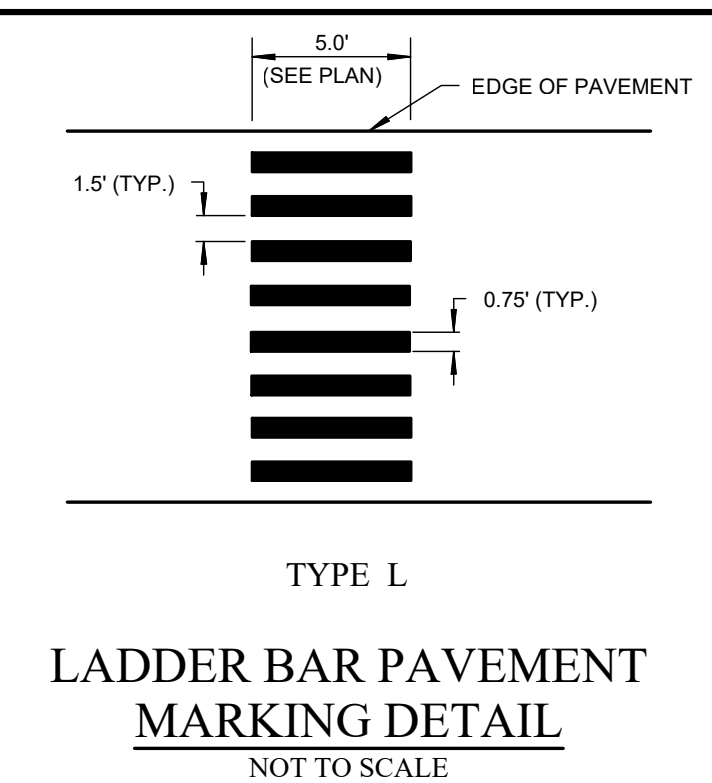
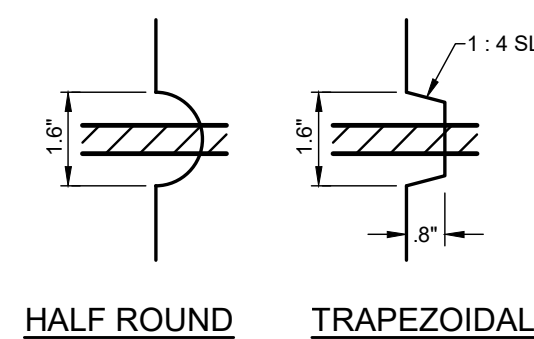
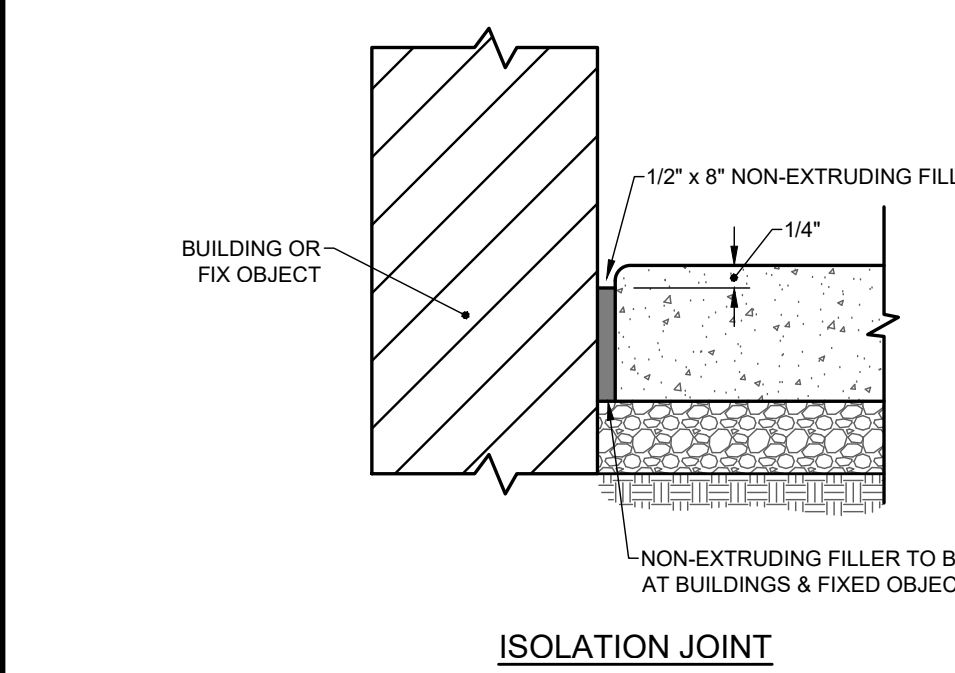
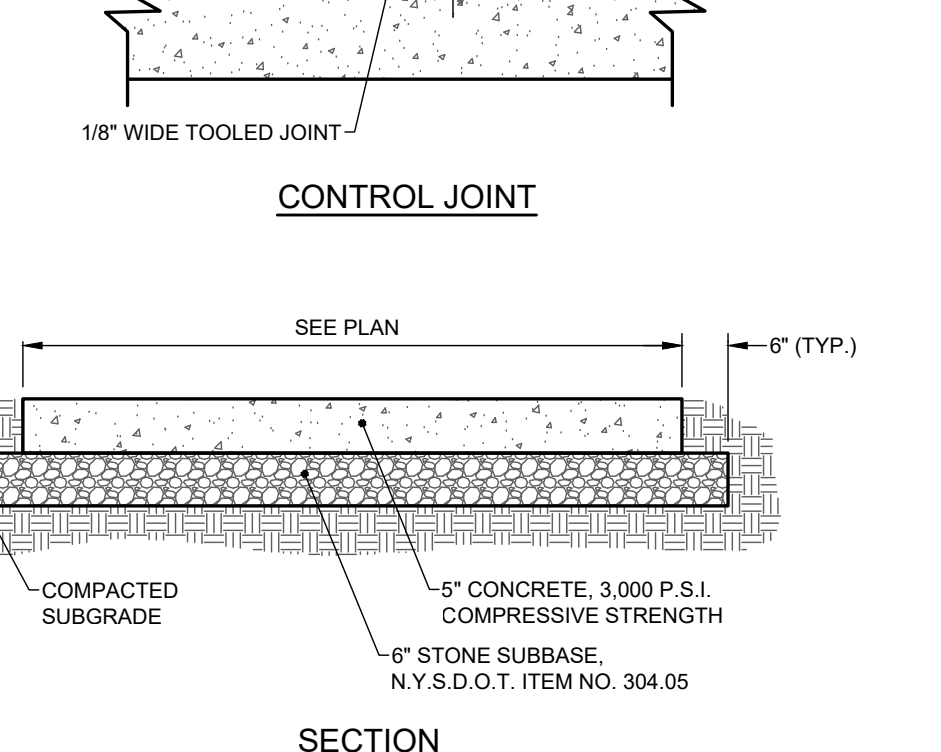
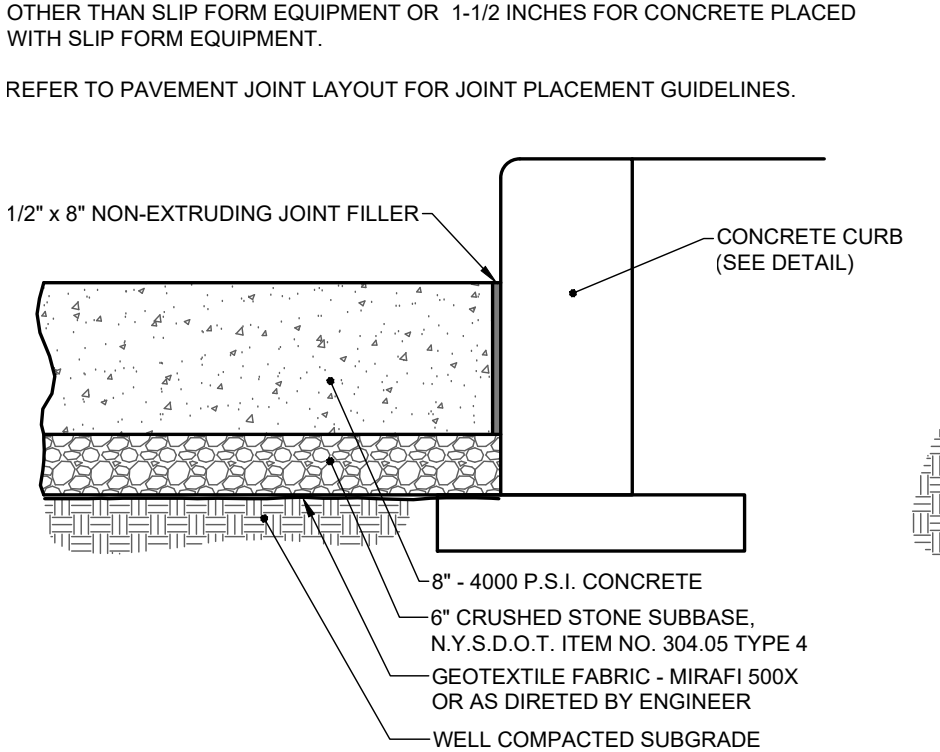
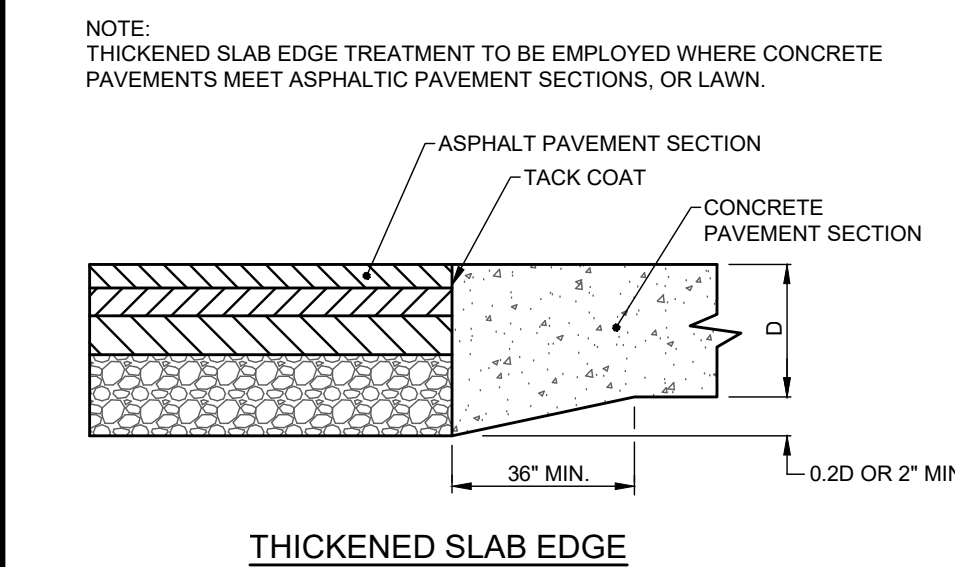
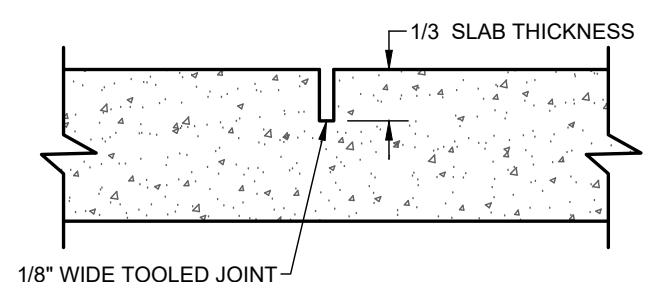
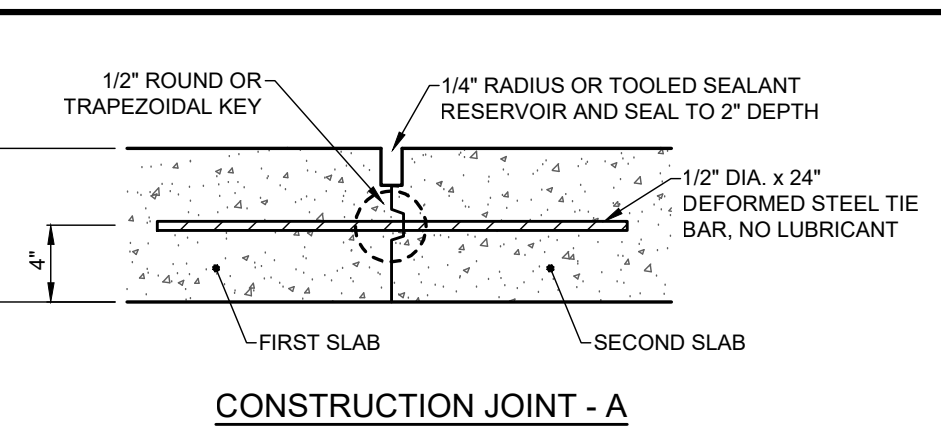
PROJECT MANAGER E.R.G.	TITLE OF PROJECT FINGERLAKES FCU 711 & 715 RIDGE ROAD
DRAWN BY D.J.L.	TITLE OF DRAWING LANDSCAPE PLAN
BOUNDARY G.M.S.	LOCATION OF PROJECT TAX PARCEL NO. 079.17-1-79 & 78.111 TOWN LOT 60, TOWNSHIP 13, RANGE 4, PHILIPS & GORHAM PURCHASE, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK
TOPOBASE G.L.R.	CLIENT PWCAMPBELL ATTN. JASON STRAYLEY 109 ZETA DRIVE PITTSBURGH, PENNSYLVANIA 15238
DATE 05/12/2025	DWG. # 9444 LA100 SHEET 07 OF 12
SCALE 1\"/>	



- ## **CURB RAMP DIMENSION NOTES:**
- GENERAL**
1. THE DIMENSIONS AND SLOPES PRESENTED IN THE DETAILS ARE THE MINIMUM NECESSARY TO COMPLY WITH THE ADA AND DOT STANDARDS. ANY DEVIATION LESS THAN THE MINIMUM WIDTH OR GREATER THAN THE MAXIMUM SLOPE FROM THESE STANDARDS MUST BE DOCUMENTED WITH THE STANDARDS BEING MET TO THE GREATEST EXTENT PRACTICABLE AND CONSISTENT WITH THE MOST CURRENT ADAG.
 2. CURB RAMPS, LANDINGS AND BLENDED TRANSITIONS MAY REQUIRE THE USE OF DETECTABLE WARNING SURFING. DETAIL THE FINISHES ON THIS SHEET ARE SHOWN FOR ILLUSTRATION ONLY. SEE THE DETECTABLE WARNING STANDARD SHEET M808-13 FOR DETAILS ON PLACEMENT.
 3. DESIGN AND DETAIL THE TRANSITION TO CHAPTER 18 OF THE HIGHWAY DESIGN MANUAL FOR MORE INFORMATION.
- CURB RAMPS**
3. THE MINIMUM WIDTH FOR SIDEWALK RAMP SHALL BE 1.20 (5%)
 4. THE RUNNING SLOPE OF A CURB RAMP SHALL BE 1.20 (5%) MINIMUM (PREFERRED) AND 1:12 (8.33%) MAXIMUM.
 5. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 8.33% THE CURB RAMP LENGTH SHALL BE SUFFICIENT TO DETECT THE 8.33% EXISTING SIDEWALK, EXCEPT THAT IT NEED NOT BE MORE THAN 4.5 m IN LENGTH.
 6. THE CROSS SLOPE OF CURB RAMPS SHALL BE AS FLAT AS POSSIBLE, NOT TO EXCEED 1.30 (2%). THE CROSS SLOPE AT MOBILCROSS CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.
 7. THE VERTICAL ALIGNMENT OF A CURB RAMP, EXCLUDING THE FLARES, SHALL BE PLANAR. GRADE BREAKS SHALL BE FLUSH AND PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN.
 8. TRANSITIONS BETWEEN WALKS, LANDINGS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAX).
 9. WHERE A PEDESTRIAN CIRCULATION PATH CROSSES THE CURB RAMP, FLARE SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED PARALLEL TO THE CURB LINE, SHALL BE PROVIDED.
- LANDINGS**
10. LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF 5 FT. BY 5 FT. EXCEPT AT THE BOTTOM OF RAMPS TYPE 1 & 2 ON SHEET M808-11.
 11. THE RUNNING AND CROSS SLOPES ON LANDINGS AT INTERSECTIONS IS 1.20% MAXIMUM. LANDINGS AT MOBILCROSS CROSSINGS AND MOBILCROSS CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.

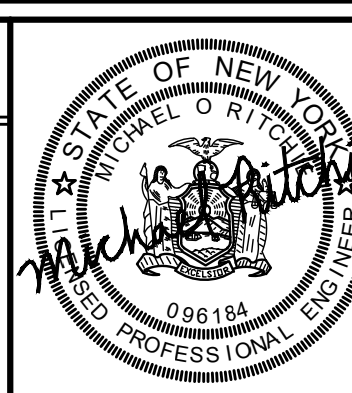



- NOTE:
1. ISOLATION JOINTS TO BE CONSTRUCTED AT BUILDING, CURBING, AND FIXED OBJECTS.
 2. CONTROL JOINTS TO BE MADE EVERY 12 FEET ON CENTER.
 3. THE LARGER DIMENSION OF ANY PANEL SHALL NOT EXCEED 125% OF THE SMALLER DIMENSION.
 4. SAW CUT CONTROL JOINTS TO 1/3 SLAB THICKNESS WITHIN 24 HOURS OF CONCRETE PLACEMENTS.
 5. ALL EXPOSED CONCRETE SURFACES TO RECEIVE A BROOM FINISH.
 6. ALL EXPOSED CONCRETE TO RECEIVE TWO COATS OF MEMBRANE FORMING SEALER.
 7. CONCRETE SHALL ACHIEVE 400 P.S.I. COMPRESSIVE MINIMUM STRENGTH AT 28 DAYS AND 600 P.S.I. FLEXURAL.
 8. CONCRETE SHALL HAVE AN AIR CONTENT OF 6.0 PERCENT \pm 1.5 PERCENT.
 9. CONCRETE SLUMP SHALL NOT EXCEED 4 INCHES PER PAVEMENTS PLACE BY OTHER THAN SLIP FORM EQUIPMENT OR 1-1/2 INCHES FOR CONCRETE PLACED WITH SLIP FORM EQUIPMENT.
 10. REFER TO PAVEMENT JOINT LAYOUT FOR JOINT PLACEMENT GUIDELINES.

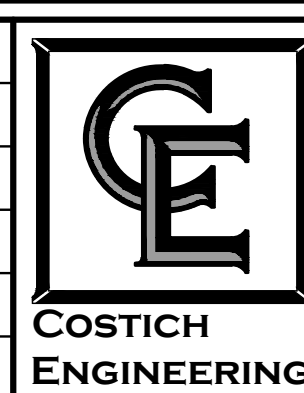
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	PROJECT MANAGER
	E.R.G.
	DRAWN BY
	D.J.L.
	BOUNDARY
	--
TOPO/BASE	
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DATE	
05/12/2025	
SCALE	
N.T.S.	

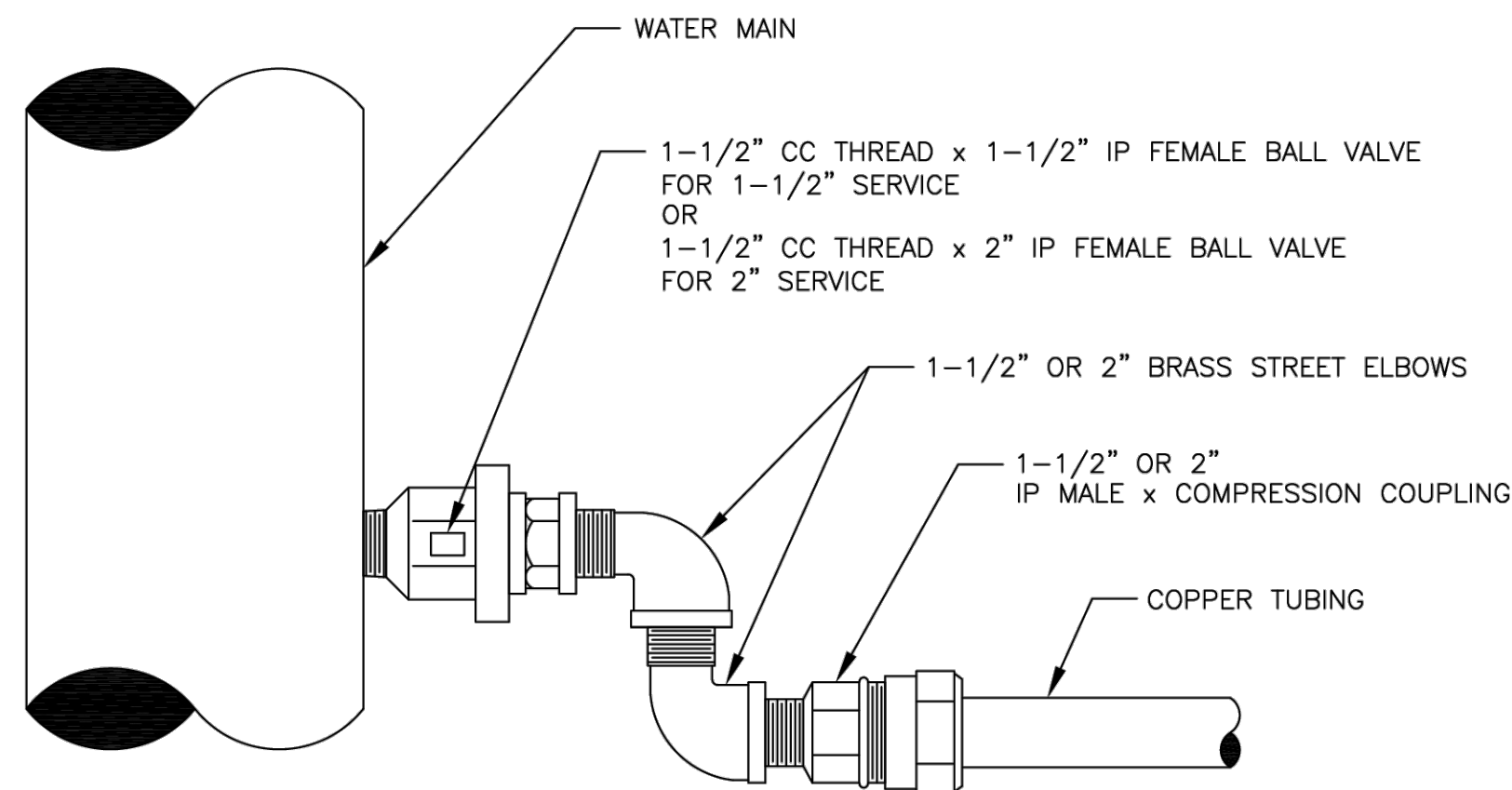
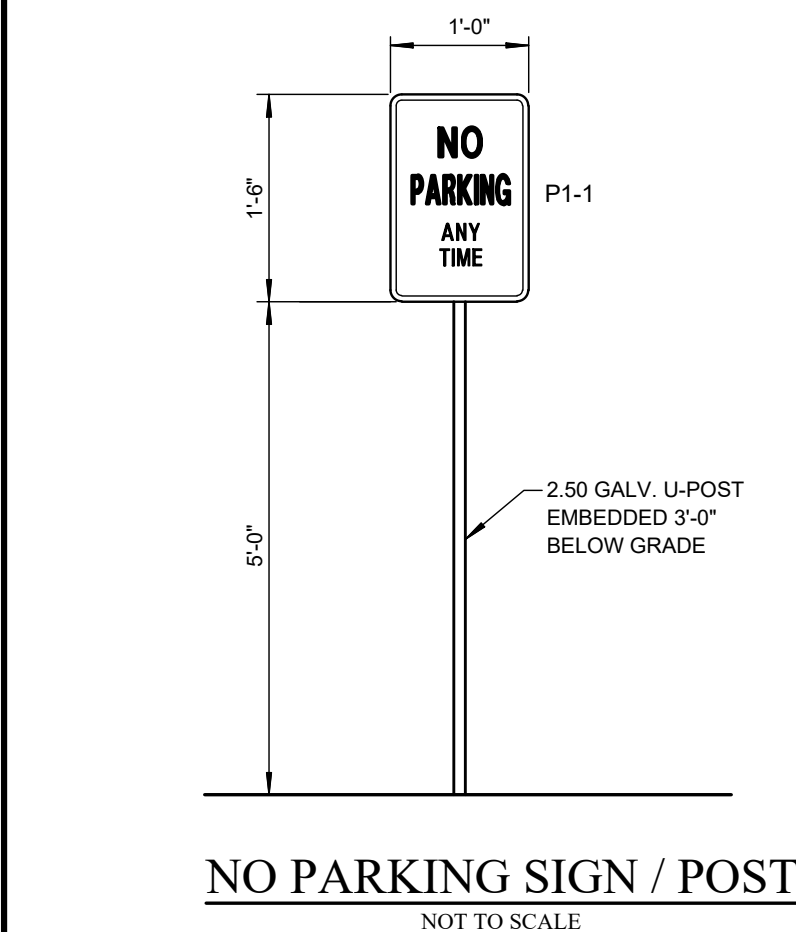


- CIVIL
ENGINEERING
- LAND
SURVEYING
- LANDSCAPE
ARCHITECTURE

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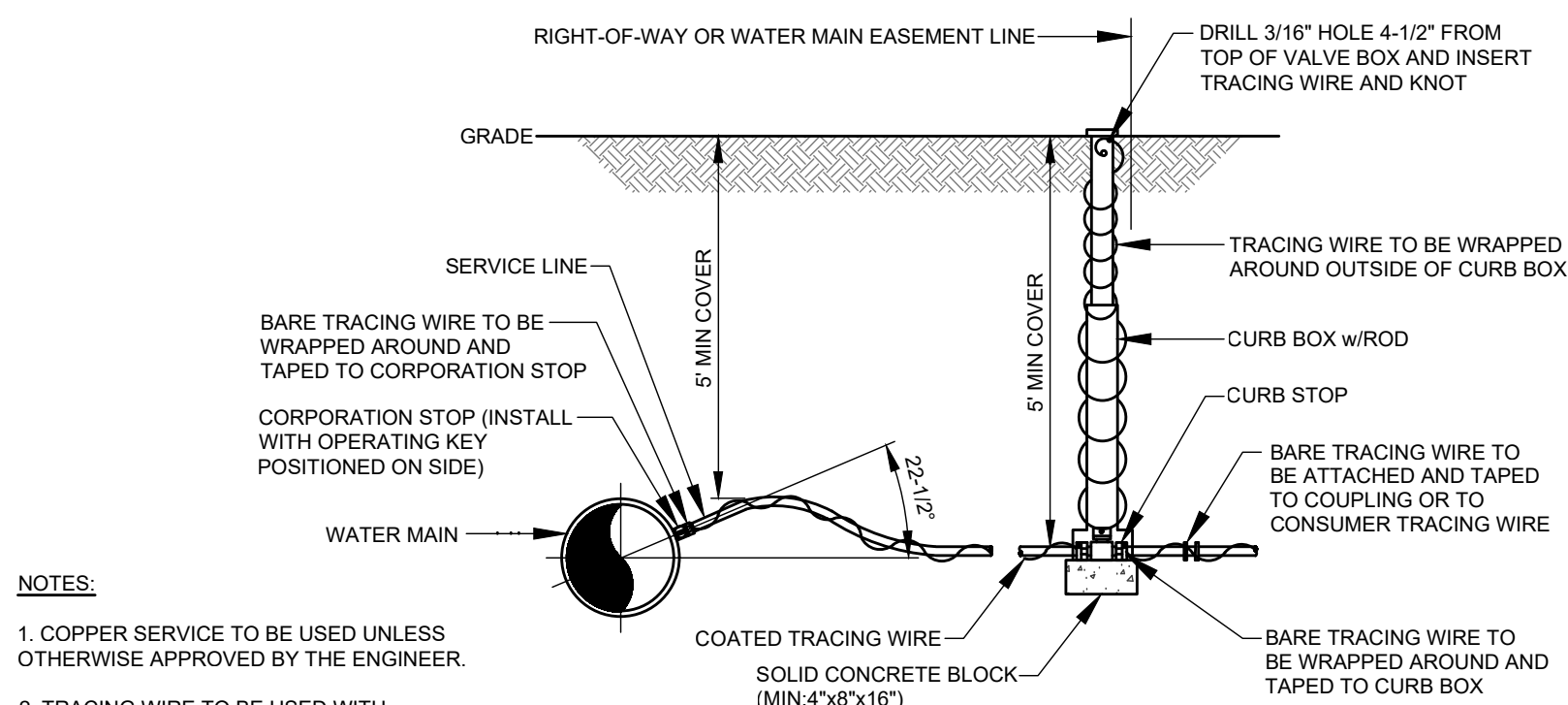
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TITLE OF DRAWING	<p align="center">DETAIL SHEET</p>		
LOCATION OF PROJECT	<p align="center">TAX PARCEL NO. 07917-1-79-8 & 78-111 TOWN LOT 60, TOWNSHIP 13, RANGE 4, PHILIPS & GORHAM PURCHASE, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK</p>		
CLIENT	<p align="center">PWCMPIRELL ATTN: JASON STRAYLEY 109 ZETA DRIVE PITTSBURGH, PENNSYLVANIA 15138</p>	DWG. NO.	<p align="center">9444 Ca500 SHEET 05 OF 12</p>

-
- Diagram illustrating the typical steel pole mounted sign detail, showing the sign assembly, mounting post, and foundation components.
- Key components and dimensions:
- Sign: RESERVED PARKING (with symbol)
 - Mounting Post: 2" O.D. ROUND GALVANIZED POST. PROVIDE POST CAP AT TOP OF SIGN POST.
 - Seal: SEAL PAVEMENT/CONCRETE JOINT WITH BITUMINUS SEALER
 - Topsoil & GRASS AREA
 - COMPACTED SUBGRADE
 - 4000 PSI CONCRETE 12" DIA. CONC. BASE
 - UNDISTURBED SOIL
 - Dimensions:
 - 60" MIN. (Sign height)
 - 36" (Post height above footing)
 - 4" MIN. CONCRETE FOOTING
 - 4" MIN. BOTH SIDES (Concrete base width)
- TYPICAL STEEL POLE MOUNTED SIGN DETAIL**
- NOT TO SCALE



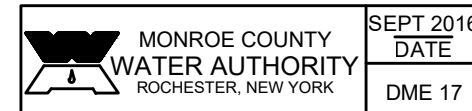
NOTE: USE SERVICE SADDLE FOR ALL 1 1/2-INCH AND 2-INCH TAPS ON 12-INCH, OR SMALLER, DUCTILE AND CAST IRON PIPE.

1-1/2" AND 2" TAP FOR INSULATED CORPORATION WITH COPPER SERVICE



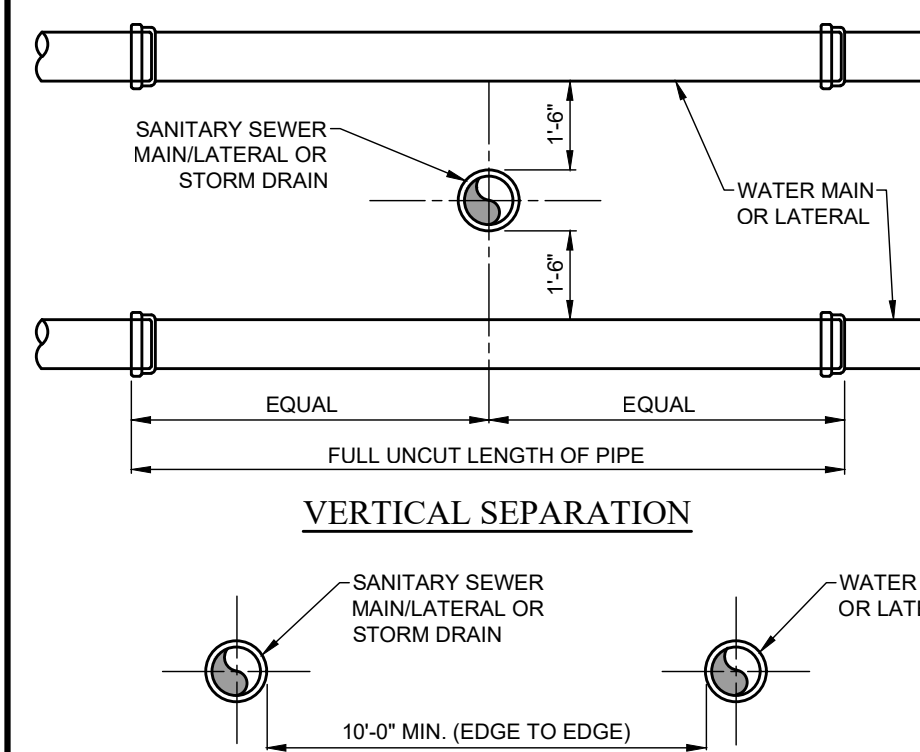
SERVICE INSTALLATION
NOT TO SCALE

- NOTES:**
1. COPPER SERVICE TO BE USED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
 2. TRACING WIRE TO BE USED WITH POLYETHYLENE SERVICE ONLY.



NOTES:

1. CROSSINGS (VERTICAL SEPARATION)
 - A. WATER MAINS CROSSING SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER WITH PREFERENCE TO THE WATER MAIN LOCATED ABOVE THE SEWER.
 - B. AT CROSSINGS, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. SPECIAL STRUCTURAL SUPPORT FOR THE WATER AND SEWER PIPES MAY BE REQUIRED.
2. PARALLEL INSTALLATION (HORIZONTAL SEPARATION)
 - A. WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED GRAVITY SANITARY OR STORM SEWER, SEPTIC TANK, OR SUBSOIL TREATMENT SYSTEM. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.
 - B. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10-FOOT SEPARATION, THE REVIEWING AUTHORITY MAY ALLOW DEVIATION ON A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER.



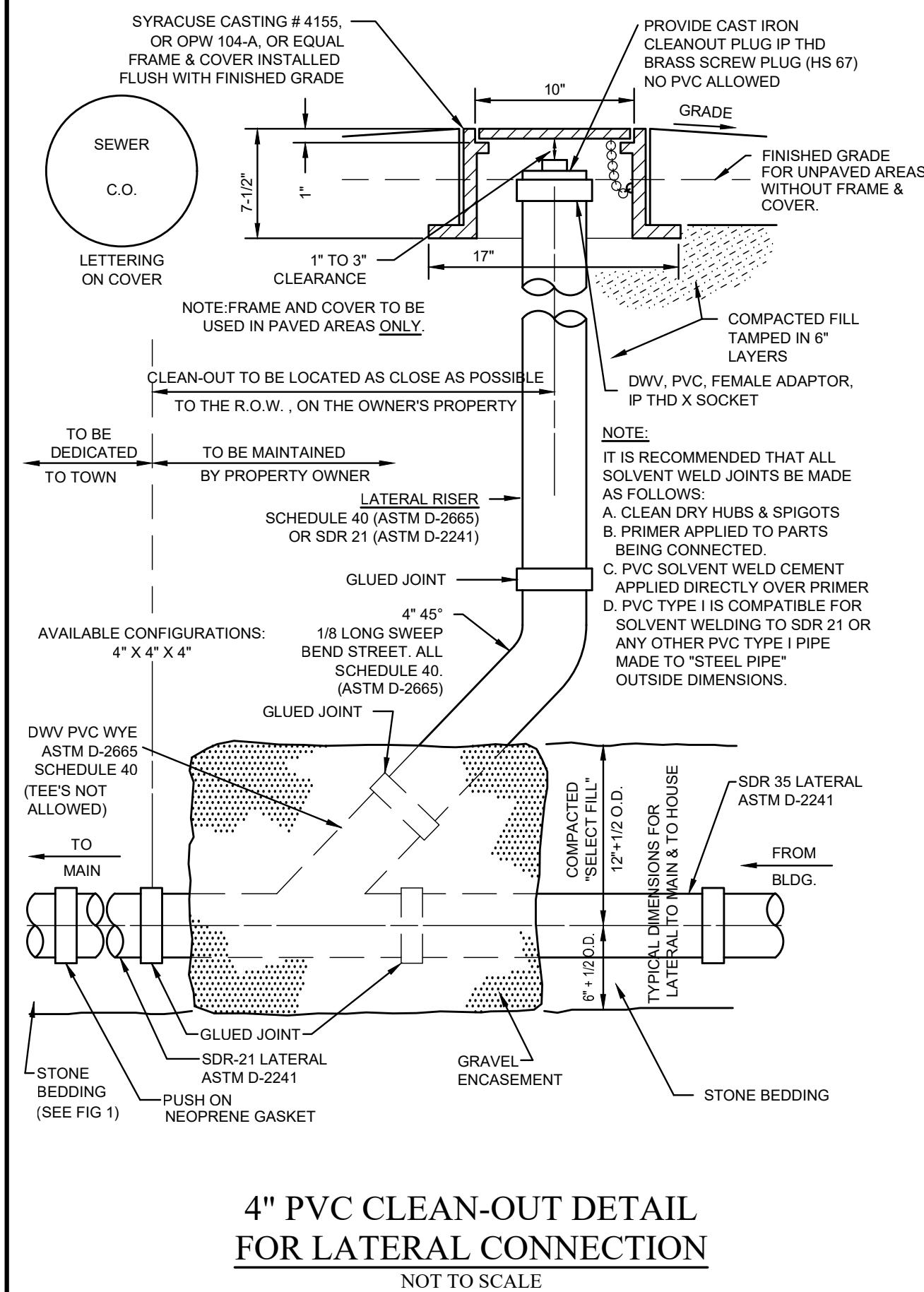
WATER/SEWER SEPARATION REQUIREMENT DETAIL

NOT TO SCALE

1. WATER SERVICE LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE WATER AUTHORITY.
2. WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM THE FINISHED GRADE IN LAWN AREAS AND SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.
3. WATER SERVICE LINES SHALL BE SEPARATED AT LEAST TEN FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS.
4. WATER SERVICE LINES SHALL BE IDENTIFIED AS:

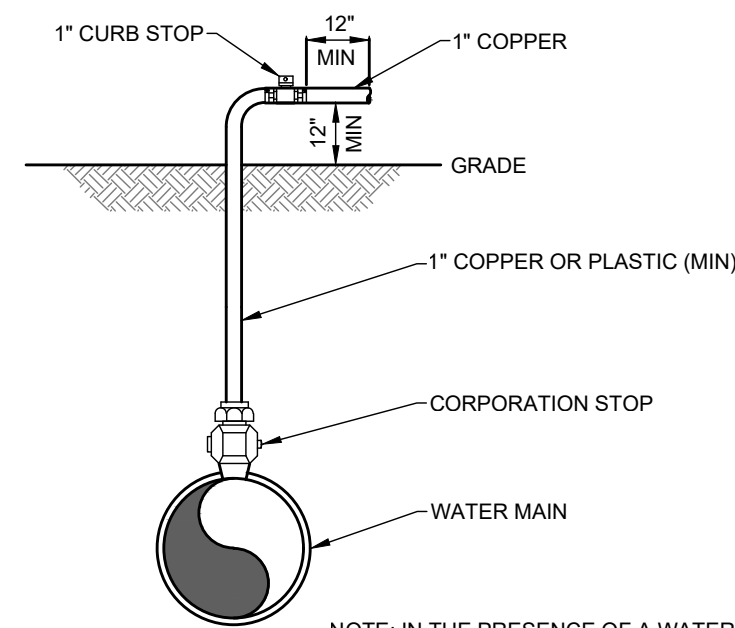
DESCRIPTION	SIZE (a)	MATERIAL (b)	TYPE (c)
M.C.W.A. PORTION = FROM THE WATER MAIN TO AND INCLUDING THE CONTROL VALVE ON THE R.O.W./PROPERTY/EASEMENT LINE	2	TYPE "K" COPPER	DS
PRIVATE PORTION = FROM THE CONTROL VALVE TO THE METER	2	TYPE "K" COPPER	DS

- (b) = MINIMUM SIZE IS 1-INCH;
(c) = ACCEPTABLE MATERIAL FOR PRIVATE PORTION IS EITHER TYPE "C" COPPER OR POLYETHYLENE PLASTIC (PE), #4170, SDR #5 ASTM 2737, SDR #50, P50 PSI (CTS 001);
(c) = SERVICE TYPES INCLUDE: DOMESTIC = DS, FIRE = FS, OR COMBINED = CMB
- THE WATER AUTHORITY'S PORTION OF THE SERVICE LINE SHALL BE INSTALLED AFTER THE PRIVATE PORTION OF SERVICE IS INSTALLED.
- WATER METER(S) TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALL(S) IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S), OR IN A METER TIE WHEN CONDITIONS WARRANT. A BY-PASS ASSEMBLY IS NOT REQUIRED AROUND THE INSTALLATION OF 5/8-INCH THROUGH 1-INCH METER. METER SHALL BE INSTALLED IN A METER BOX OR METER MANHOLE.



4" PVC CLEAN-OUT DETAIL
FOR LATERAL CONNECTION

NOT TO SCALE



DISINFECTION/
BLOW-OFF/ SAMPLING
TAP (TEMPORARY)

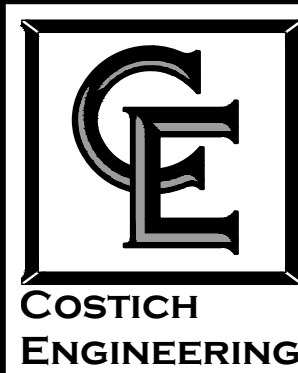


0	05/12/2025	ISSUED FOR MUNICIPAL SUBMISSION						D.J.L.	M.P.M.
NO.	DATE	REVISION						BY	CHKD. APVLS

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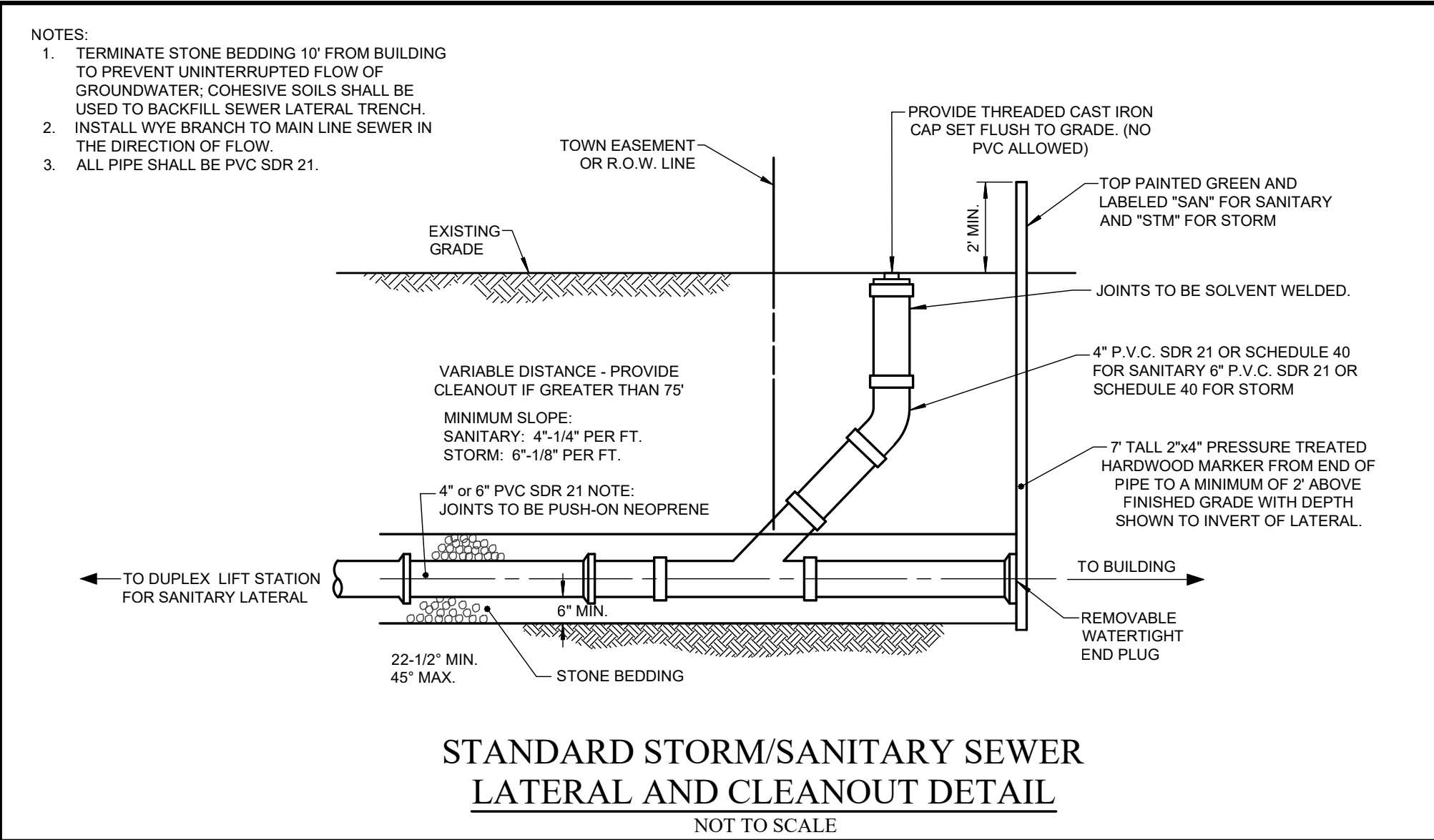
BOUNDARY	--
TOPQ/BASE	--
DATE	05/12/2025
SCALE	N T S



- 217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

CLIENT	PWCAMPBELL ATTN. JASON STRAYLEY 109 ZETA DRIVE PITTSBURGH PENNSVY VANIA 15238	DWG. # 9444 CA50 SHEET 09 OF
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DWG. # 9444
CA50
SHEET 09 OF



STANDARD STORM/SANITARY SEWER
LATERAL AND CLEANOUT DETAIL
NOT TO SCALE

SECTION 2722
ENGINEERED SURFACE DRAINAGE PRODUCTS

GENERAL
PVC SURFACE DRAINAGE INLETS SHALL BE OF THE INLINE DRAIN TYPE AS INDICATED ON THE CONTRACT DRAWING AND REFERENCED WITHIN THE CONTRACT SPECIFICATIONS. THE DUCTILE IRON GRATES FOR EACH OF THESE FITTINGS ARE TO BE CONSIDERED AN INTEGRAL PART OF THE SURFACE DRAINAGE INLET AND SHALL BE FURNISHED BY THE SAME MANUFACTURER. THE SURFACE DRAINAGE INLETS SHALL BE AS MANUFACTURED BY NYLOPLAST A DIVISION OF ADVANCED DRAINAGE SYSTEMS, INC., OR PRIOR APPROVED EQUAL.

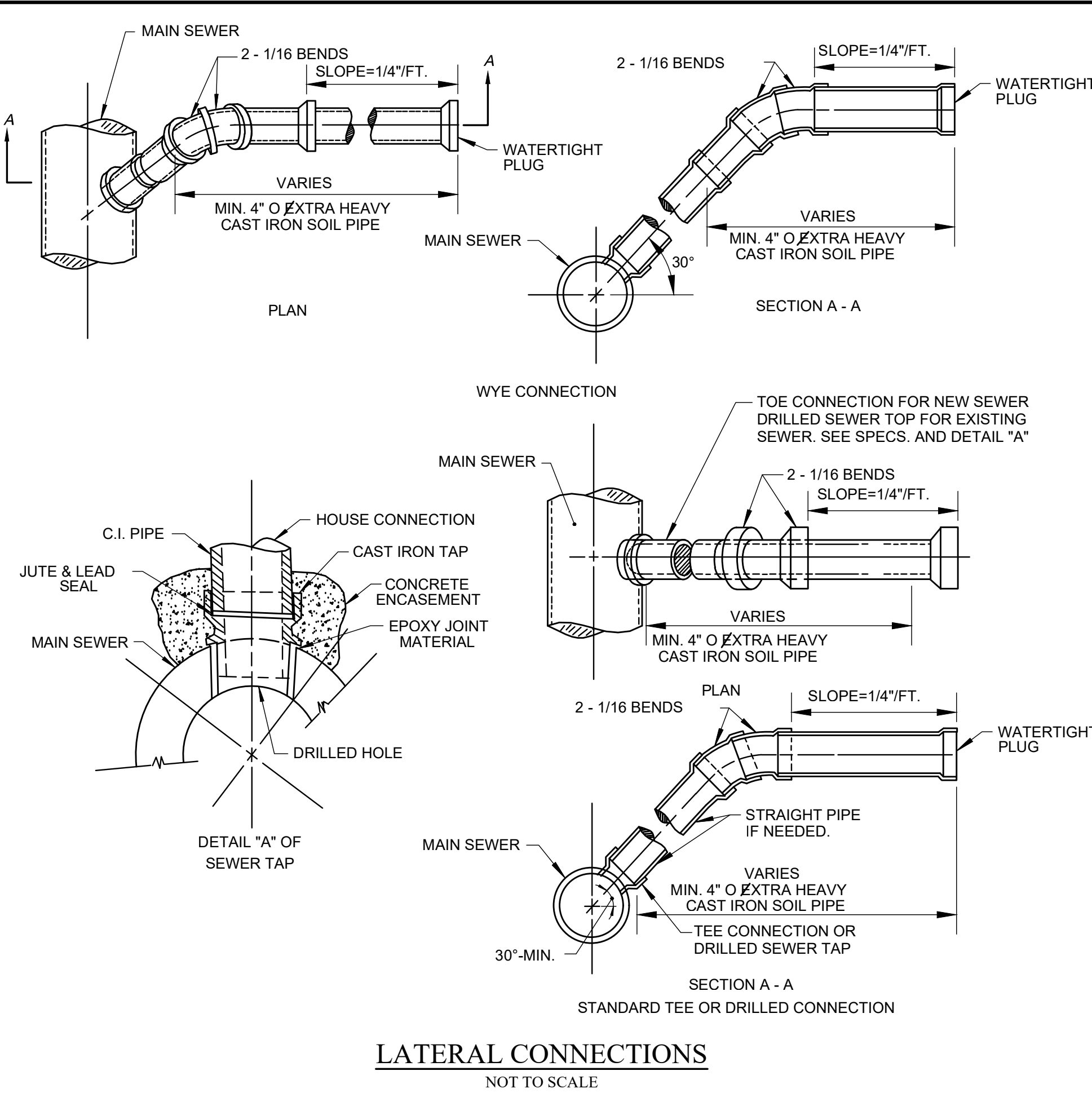
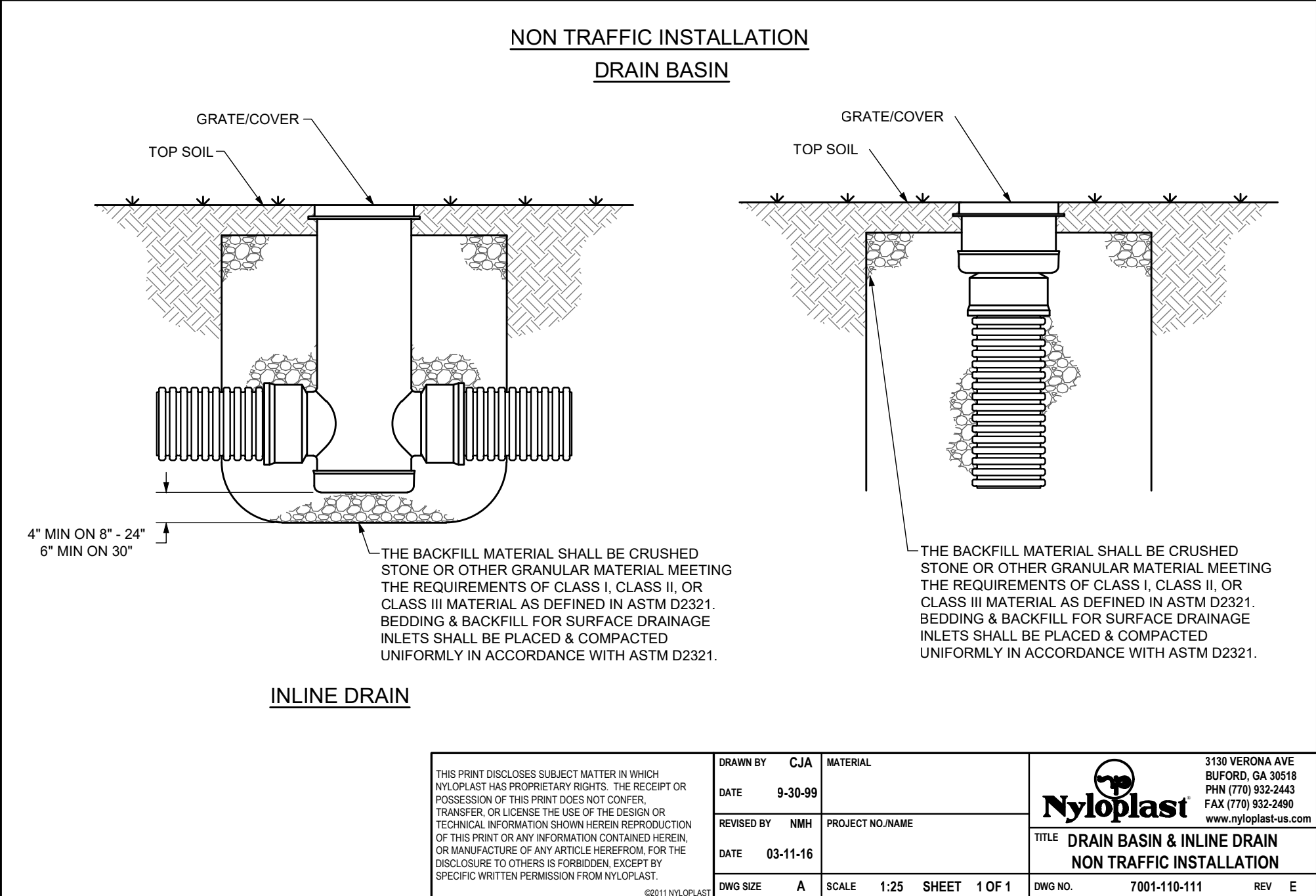
MATERIALS
THE INLINE DRAIN REQUIRED FOR THIS CONTRACT SHALL BE MANUFACTURED FROM PVC PIPE STOCK, UTILIZING A THERMO-MOLDING PROCESS TO REFORM THE PIPE STOCK TO THE FURNISHED CONFIGURATION. THE DRAINAGE PIPE CONNECTION STUBS SHALL BE MANUFACTURED FROM PVC PIPE STOCK AND FORMED TO PROVIDE A WATERTIGHT CONNECTION WITH THE SPECIFIED PIPE SYSTEM. THIS JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR JOINTS FOR DRAIN AND SEWER PLASTIC PIPE USING FLEXIBLE ELASTOMERIC SEALS. THE FLEXIBLE ELASTOMERIC SEALS SHALL CONFORM TO ASTM F427. THE PIPE BELL SPIGOT SHALL BE JOINED TO THE INLINE DRAIN BODY BY USE OF A SWAGE MECHANICAL JOINT. THE RAW MATERIAL USED TO MANUFACTURE THE PIPE STOCK THAT IS USED TO MANUFACTURE THE INLINE DRAIN BODY AND PIPE STUBS OF THE SURFACE DRAINAGE INLETS SHALL CONFORM TO ASTM D1784 CELL CLASS 12454.

THE GRATES FURNISHED FOR ALL SURFACE DRAINAGE INLETS SHALL BE DUCTILE IRON GRATES FOR SIZES 8", 10", 12", 15", 18", 24" AND 30" SHALL BE MADE SPECIFICALLY FOR EACH FITTING SO AS TO PROVIDE A ROUND BOTTOM FLANGE THAT CLOSELY MATCHES THE DIAMETER OF THE SURFACE DRAINAGE INLET. GRATES FOR INLINE DRAINS SHALL BE CAPABLE OF SUPPORTING H-20 WHEEL LOADING FOR TRAFFIC AREAS OR H-10 LOADING FOR PEDESTRIAN AREAS 12" AND 15" SQUARE GRATES WILL BE HINGED TO THE FRAME USING PINS. METAL USED IN THE MANUFACTURE OF THE CASTINGS SHALL CONFORM TO ASTM A536 GRADE 70-50-02 FOR DUCTILE IRON. GRATES SHALL BE PROVIDED PAINTED BLACK.

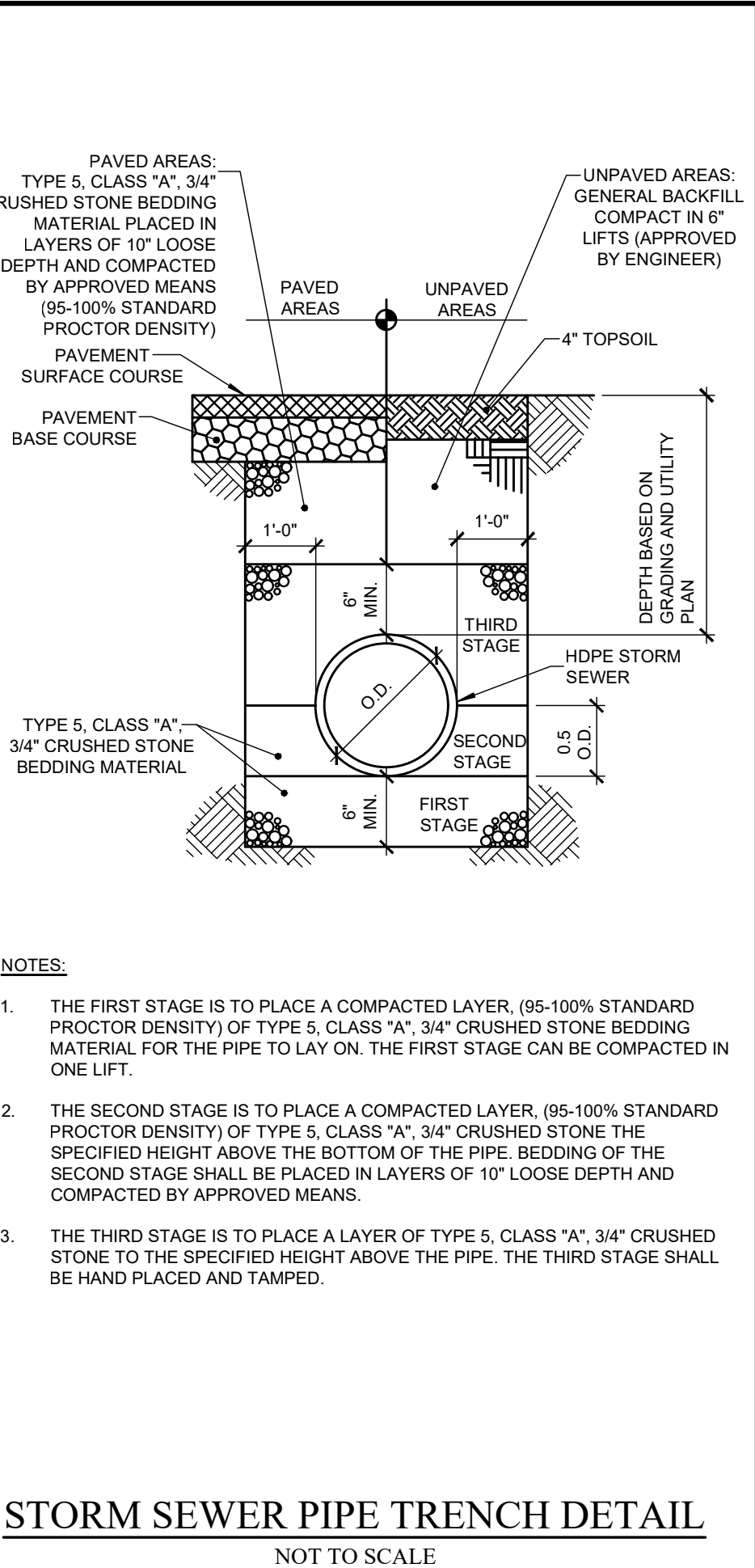
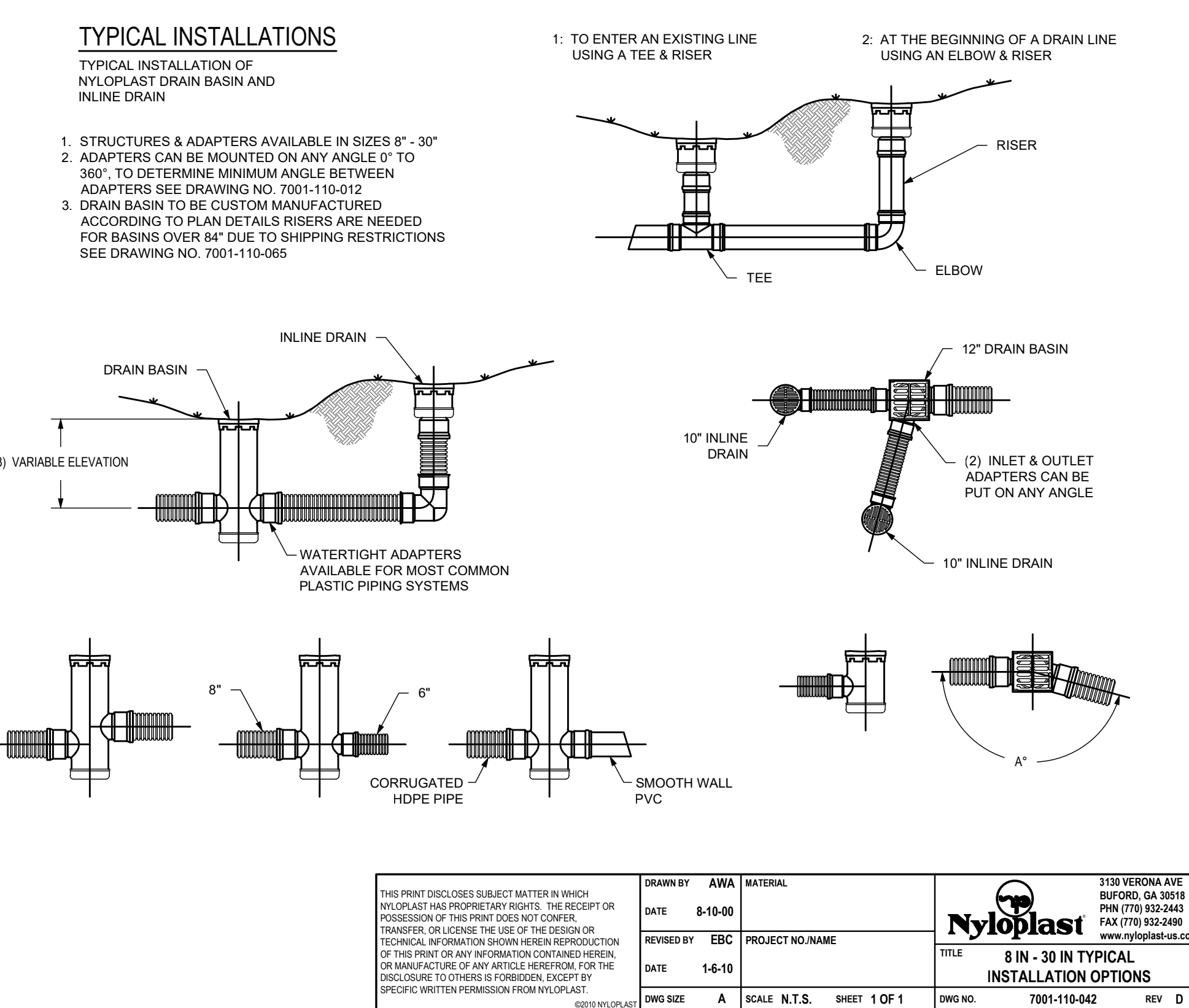
INSTALLATION
THE SPECIFIED PVC SURFACE DRAINAGE INLET SHALL BE INSTALLED USING CONVENTIONAL FLEXIBLE PIPE BACKFILL MATERIALS AND PROCEDURES. THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS 1, CLASS 2, OR CLASS 3 MATERIAL AS DEFINED IN ASTM D2321. BEDDING AND BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE WELL PLACED AND COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321. THE DRAIN BASIN BODY WILL BE CUT AT THE TIME OF THE FINAL GRADE. NO BRICK, STONE OR CONCRETE BLOCK WILL BE REQUIRED TO SET THE GRATE TO THE FINAL GRADE HEIGHT. FOR H-20 LOAD RATED INSTALLATIONS, A CONCRETE RING WILL BE POURED UNDER AND AROUND THE GRATE AND FRAME. THE CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, AND OTHER APPLICABLE DESIGN FACTORS. FOR OTHER INSTALLATION CONSIDERATIONS SUCH AS MIGRATION OF FINES, GROUND WATER, AND SOFT FOUNDATIONS REFER TO ASTM D2321 GUIDELINES

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.		DRAWN BY CJA	MATERIAL	3130 VERONA AVE BURLINGTON, GA 30518 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com
DATE 3-10-00	PROJECT NO. NAME	TITLE 8 IN. - 30 IN DRAIN BASIN SPECIFICATIONS		
REVISED BY NMH	DATE 03-15-16	DWG NO. 7001-110-009	REV H	
DWG SIZE A	SCALE N.T.S.	SHEET 1 OF 1		

020115 NYLOPLAST



LATERAL CONNECTIONS
NOT TO SCALE

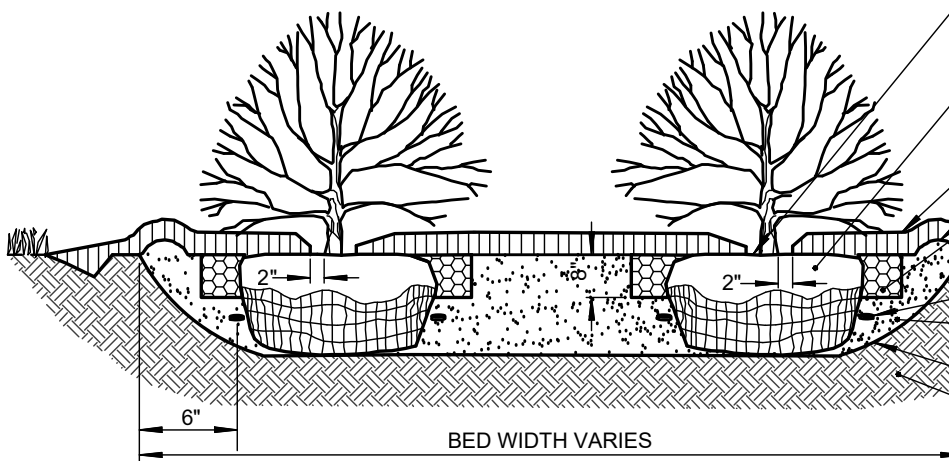


STORM SEWER PIPE TRENCH DETAIL
NOT TO SCALE

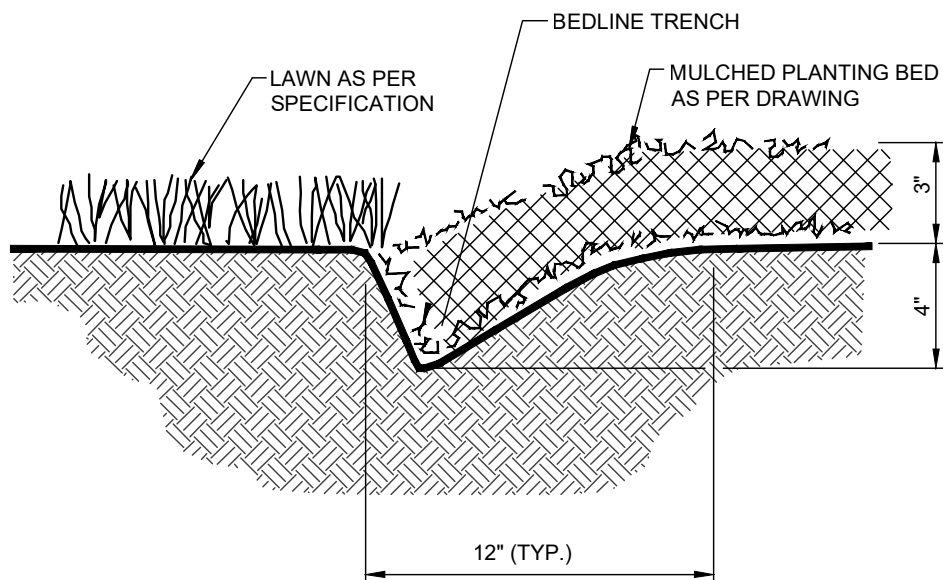
- NOTES:
1. THE FIRST STAGE IS TO PLACE A COMPACTED LAYER, (95-100% STANDARD PROCTOR DENSITY) OF TYPE 5, CLASS "A", 3/4" CRUSHED STONE BEDDING MATERIAL FOR THE PIPE TO LAY ON. THE FIRST STAGE CAN BE COMPACTED IN ONE LIFT.
 2. THE SECOND STAGE IS TO PLACE A COMPACTED LAYER, (95-100% STANDARD PROCTOR DENSITY) OF TYPE 5, CLASS "A", 3/4" CRUSHED STONE BEDDING MATERIAL TO THE SPECIFIED HEIGHT ABOVE THE PIPE. THE BEDDING OF THE SECOND STAGE SHALL BE PLACED IN LAYERS OF 10" LOOSE DEPTH AND COMPACTED BY APPROVED MEANS.
 3. THE THIRD STAGE IS TO PLACE A LAYER OF TYPE 5, CLASS "A", 3/4" CRUSHED STONE TO THE SPECIFIED HEIGHT ABOVE THE PIPE. THE THIRD STAGE SHALL BE HAND PLACED AND TAMPED.

COPYRIGHT © 2025 COSTICH ENGINEERING, D.P.C.						PROJECT MANAGER E.R.G. DRAWN BY D.J.L. BOUNDARY -- TOPOBASE -- DATE 05/12/2025 SCALE N.T.S.				• CIVIL ENGINEERING • LAND SURVEYING • LANDSCAPE ARCHITECTURE 217 LAKE AVENUE ROCHESTER, NY 14608 (585) 458-3020		TITLE OF PROJECT FINGERLAKES FCU 711 & 715 RIDGE ROAD TITLE OF DRAWING DETAIL SHEET LOCATION OF PROJECT TAX PARCEL NO. 079.17-1-79 & 78.111 TOWN LOT 60, TOWNSHIP 13, RANGE 4, PHILIPS & GORHAM PURCHASE, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK CLIENT PWCAMPBELL ATTN. JASON STRAYLEY 109 ZETA DRIVE PITTSBURGH, PENNSYLVANIA 15238		DWG # 9444 CA502 SHEET 10 OF 12	
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HISHER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HISHER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.															
0 05/12/2025 ISSUED FOR MUNICIPAL SUBMISSION D.J.L. M.P.M.															
NO. DATE REVISION BY CHRD. APVLS															

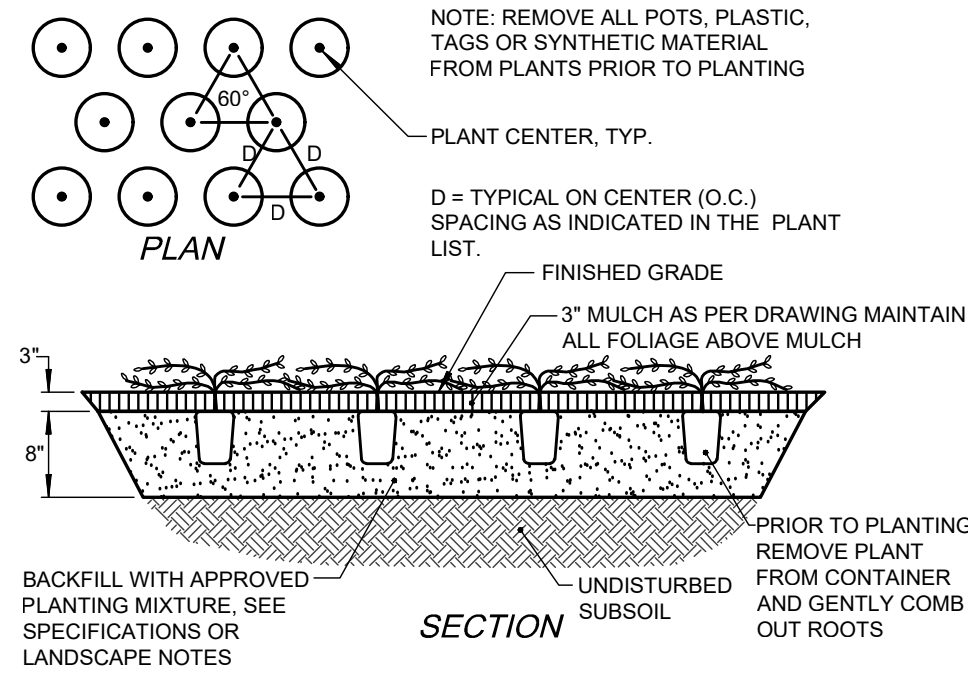
1. MAINTAIN A 2' MINIMUM RADIUS CLEAR OF MULCH AROUND THE TRUNK.
2. PLANTING BED DEPTH IN LAWN AREAS SHALL BE A MINIMUM OF 18" DEEP AND/OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
3. ALL PLANTING BEDS SHALL BE FREE OF CONSTRUCTION DEBRIS.



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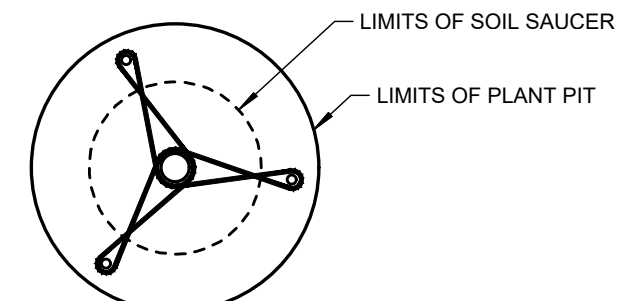


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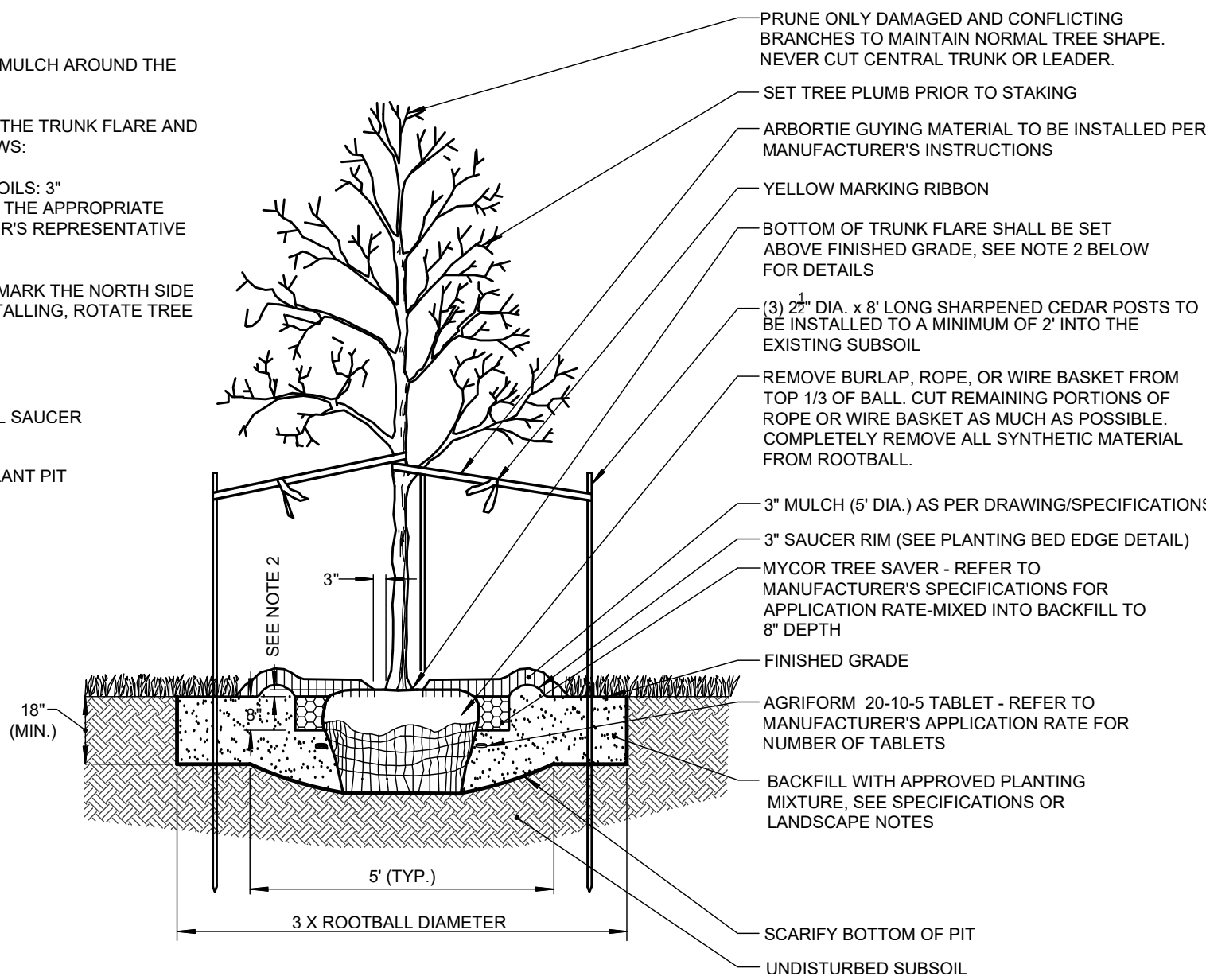


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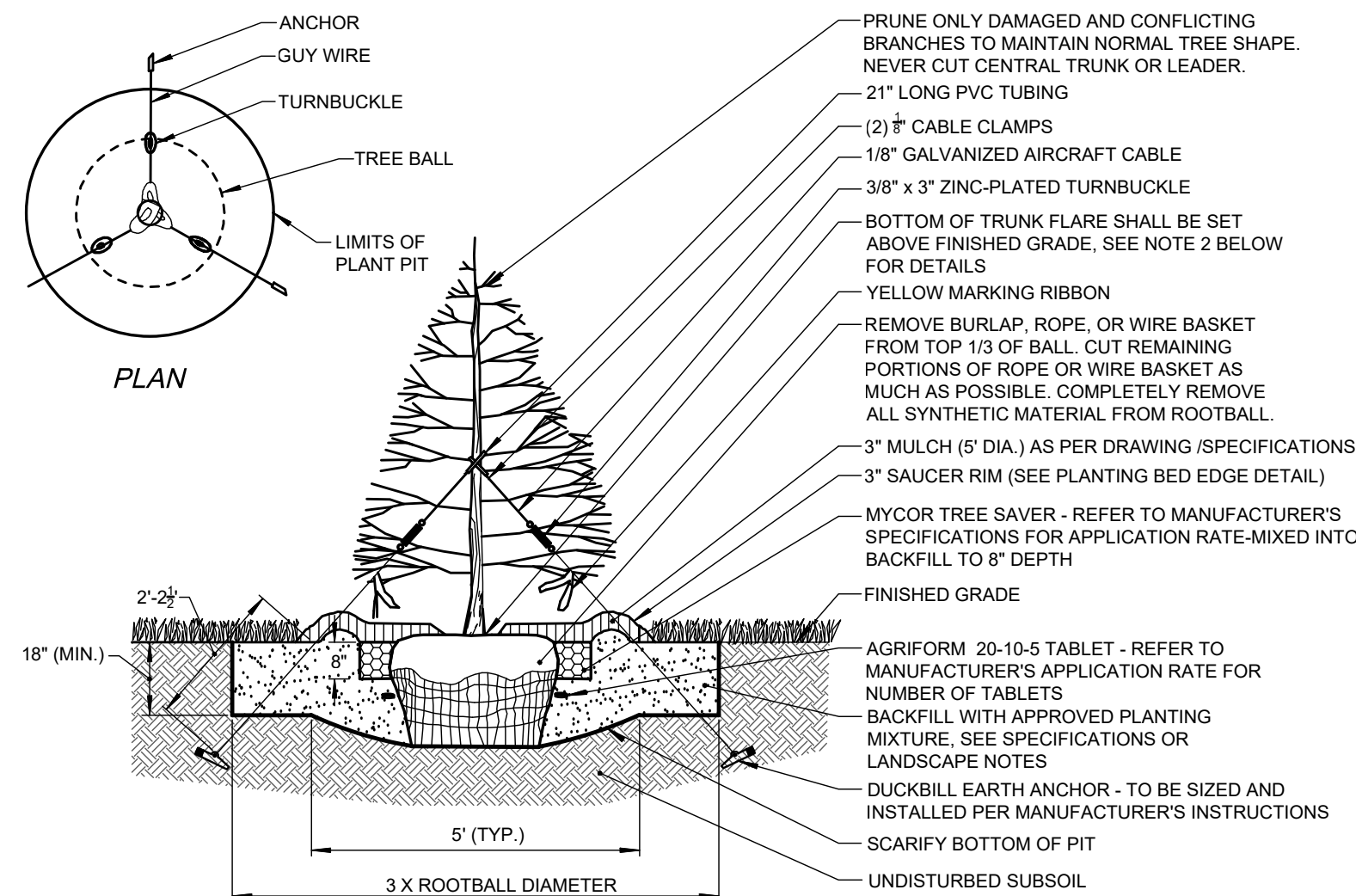
1. MAINTAIN A 3" MINIMUM RADIUS CLEAR OF MULCH AROUND THE TRUNK.
2. THE DISTANCE BETWEEN THE BOTTOM OF THE TRUNK FLARE AND THE FINISHED GRADE SHALL BE AS FOLLOWS:
FOR SANDY OR LOAMY SOILS: 1"
FOR CLAY OR POORLY DRAINED SOILS: 3"
THE CONTRACTOR SHALL REVIEW THE APPROPRIATE PLANTING DEPTH WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
3. WHEN TAGGING TREES AT THE NURSERY, MARK THE NORTH SIDE OF THE TREE IN THE FIELD AND WHEN INSTALLING, ROTATE TREE TO FACE NORTH WHENEVER POSSIBLE.



NOT TO SCALE



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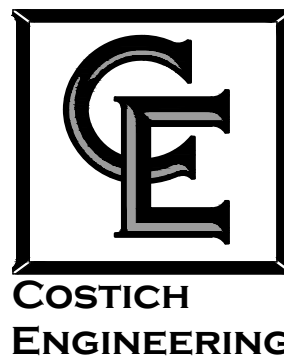
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NO.	DATE	REVISION	BY	CHKD.	APVLS

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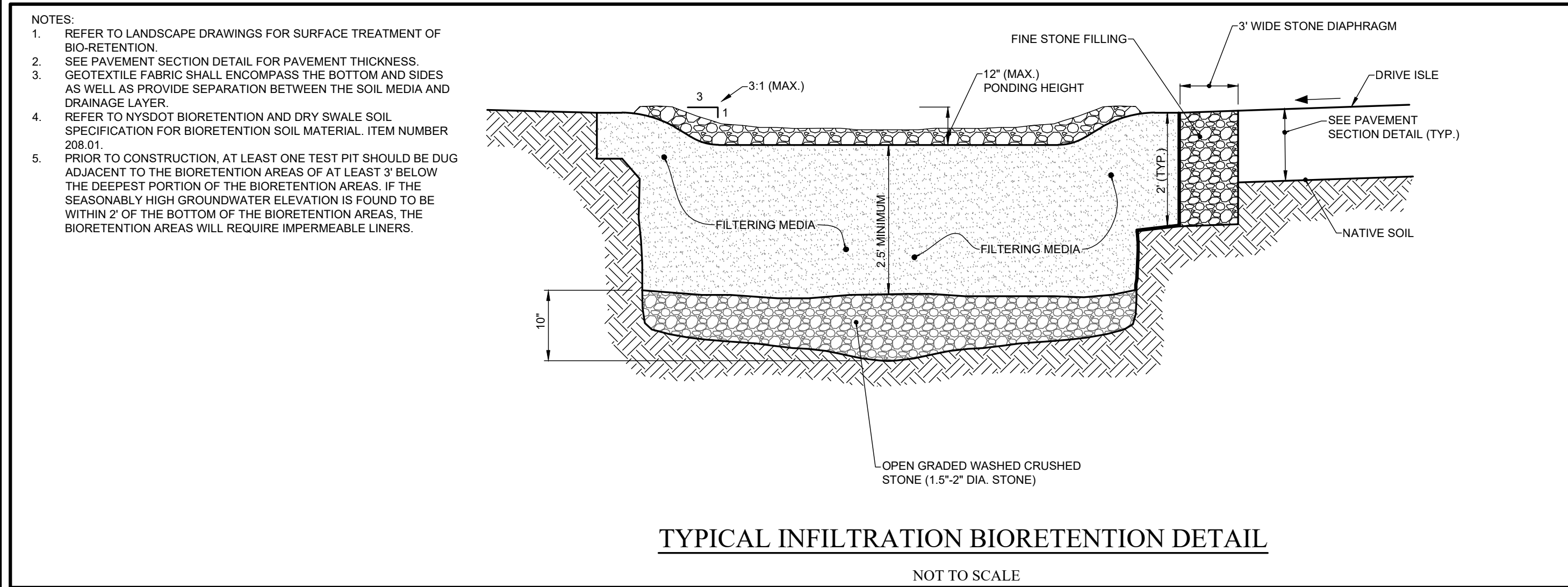
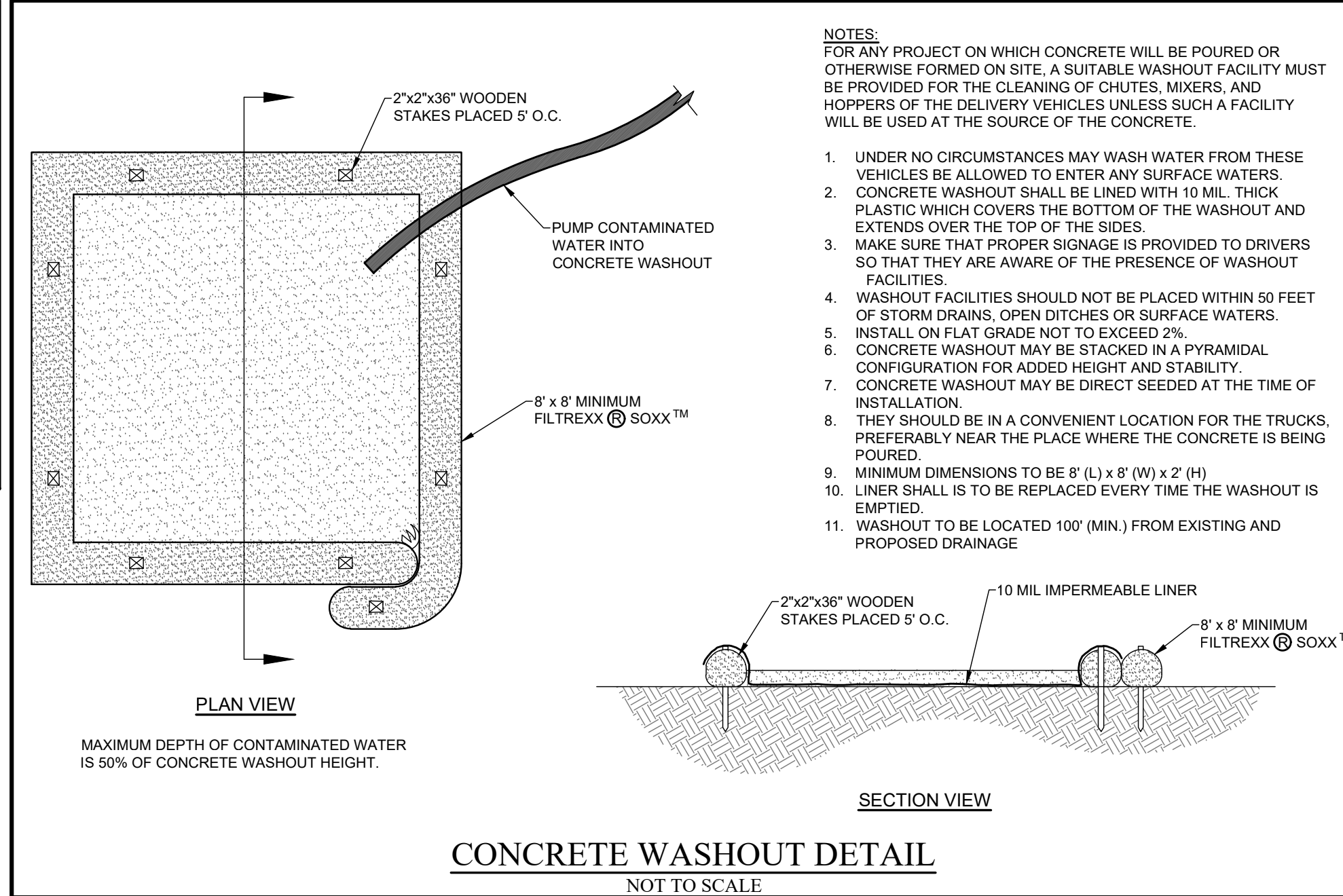
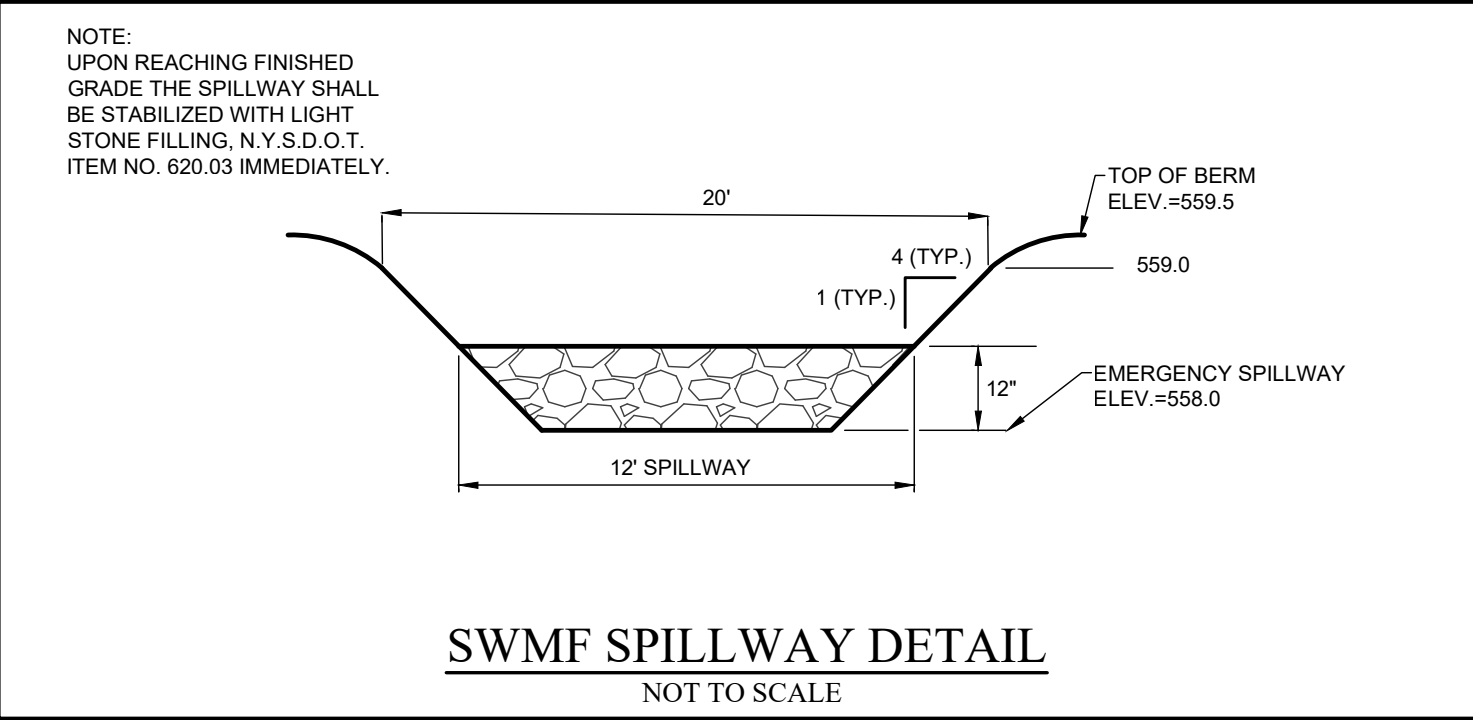
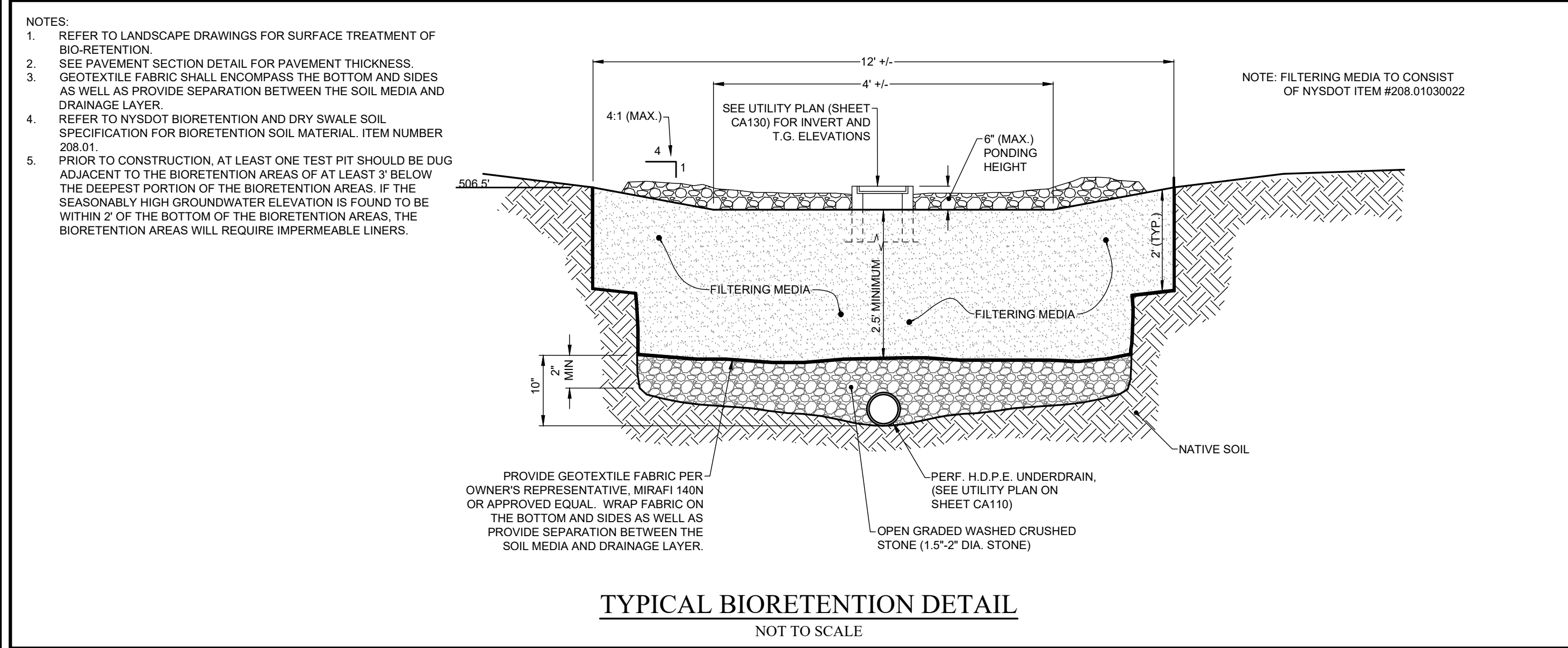
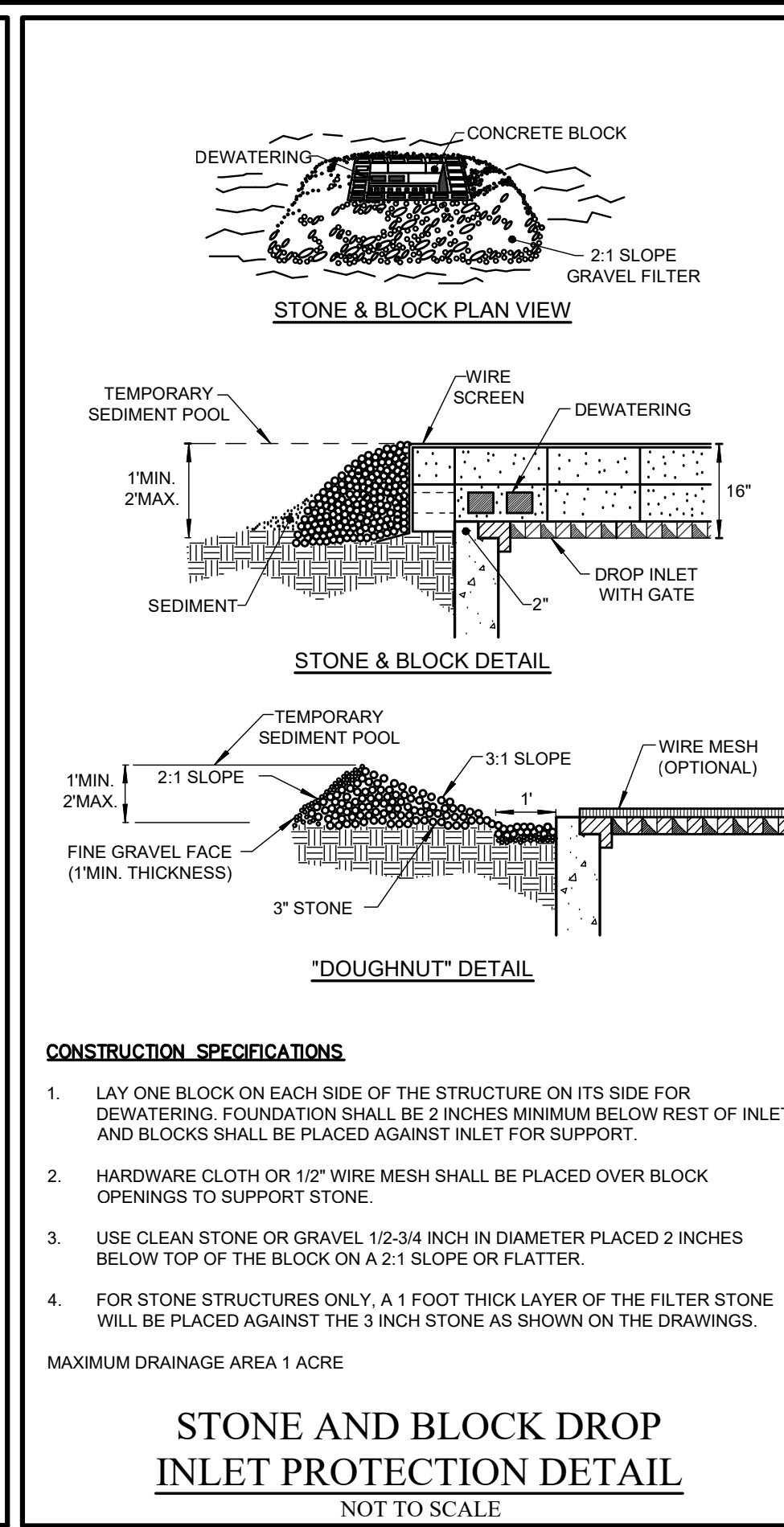
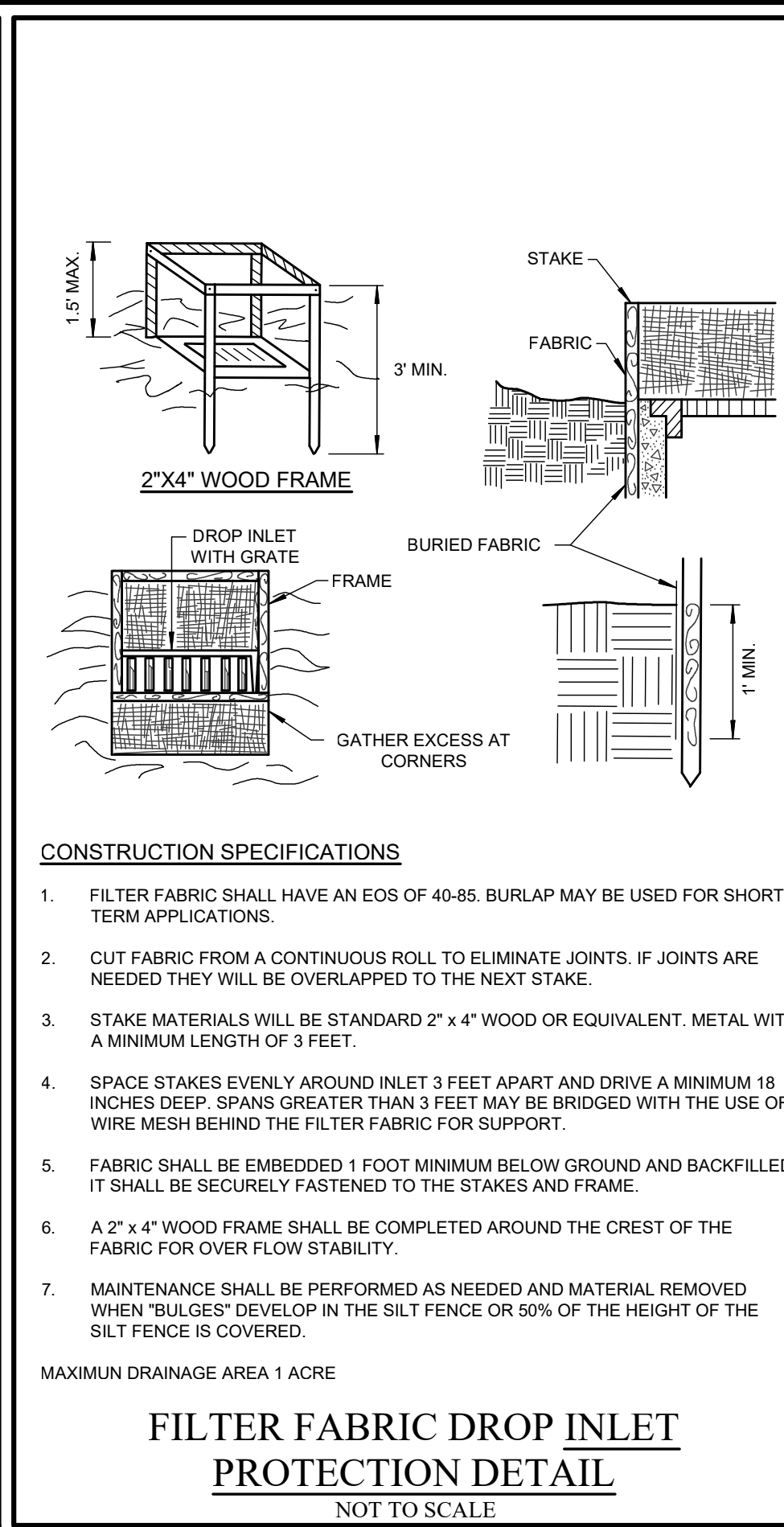
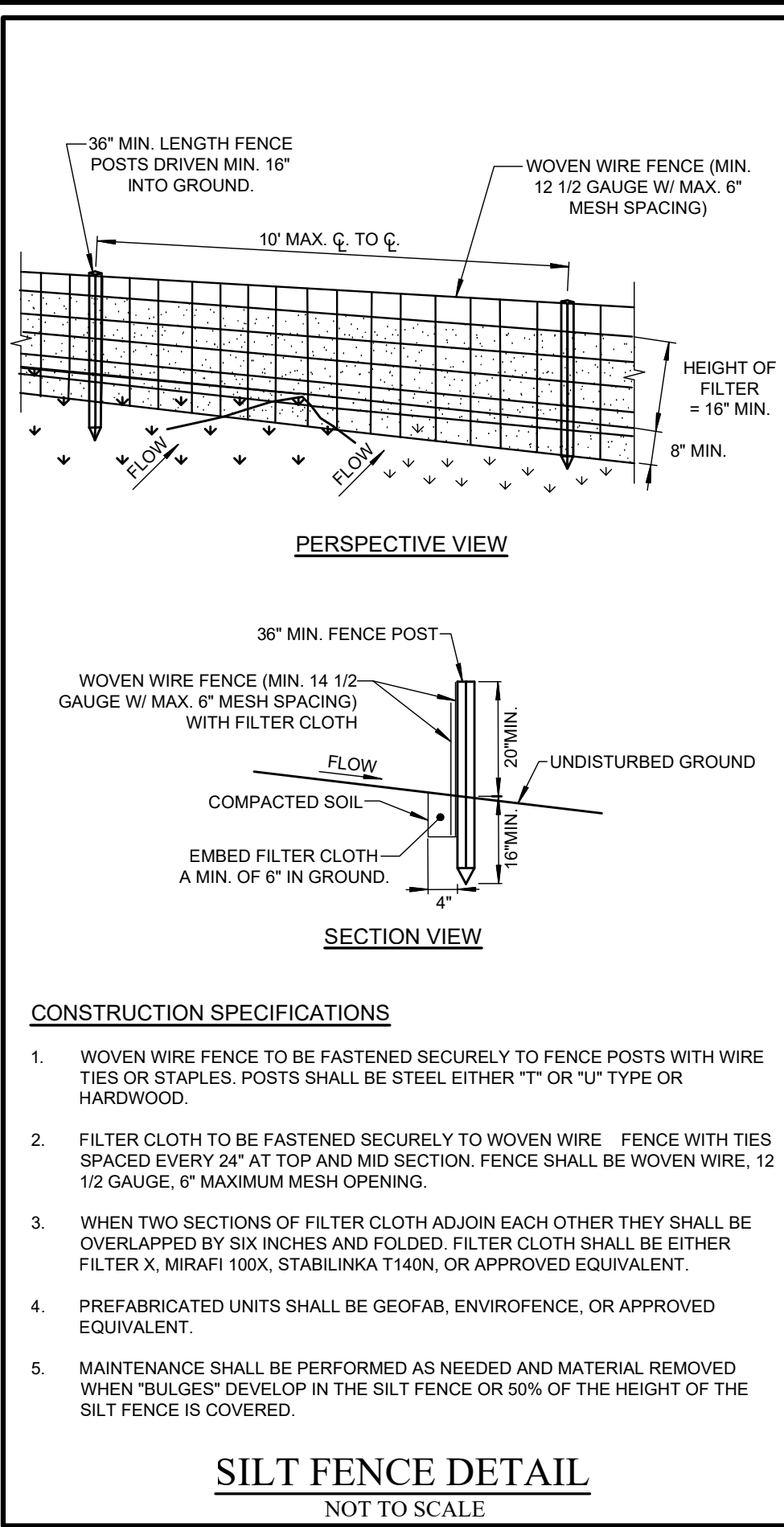
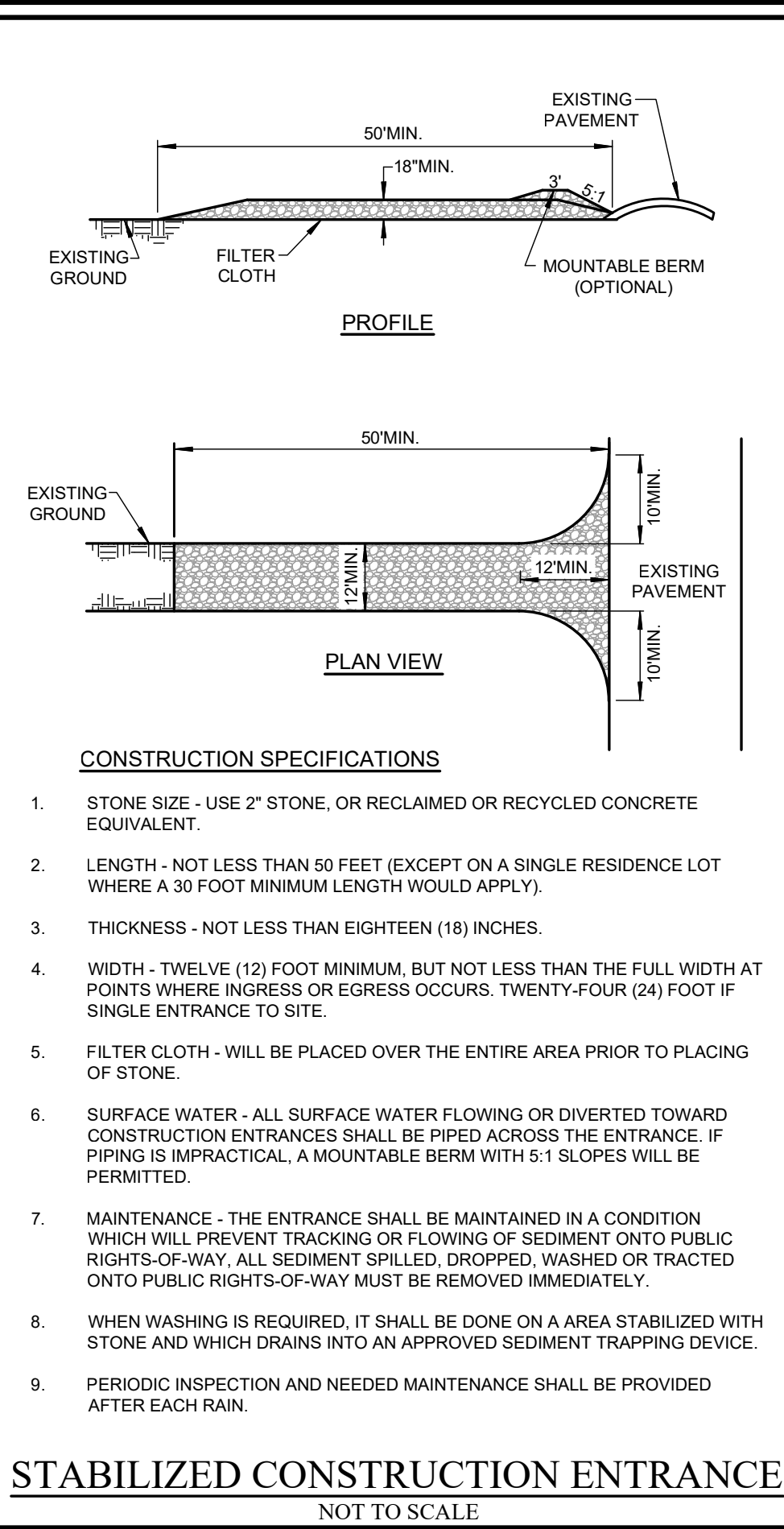
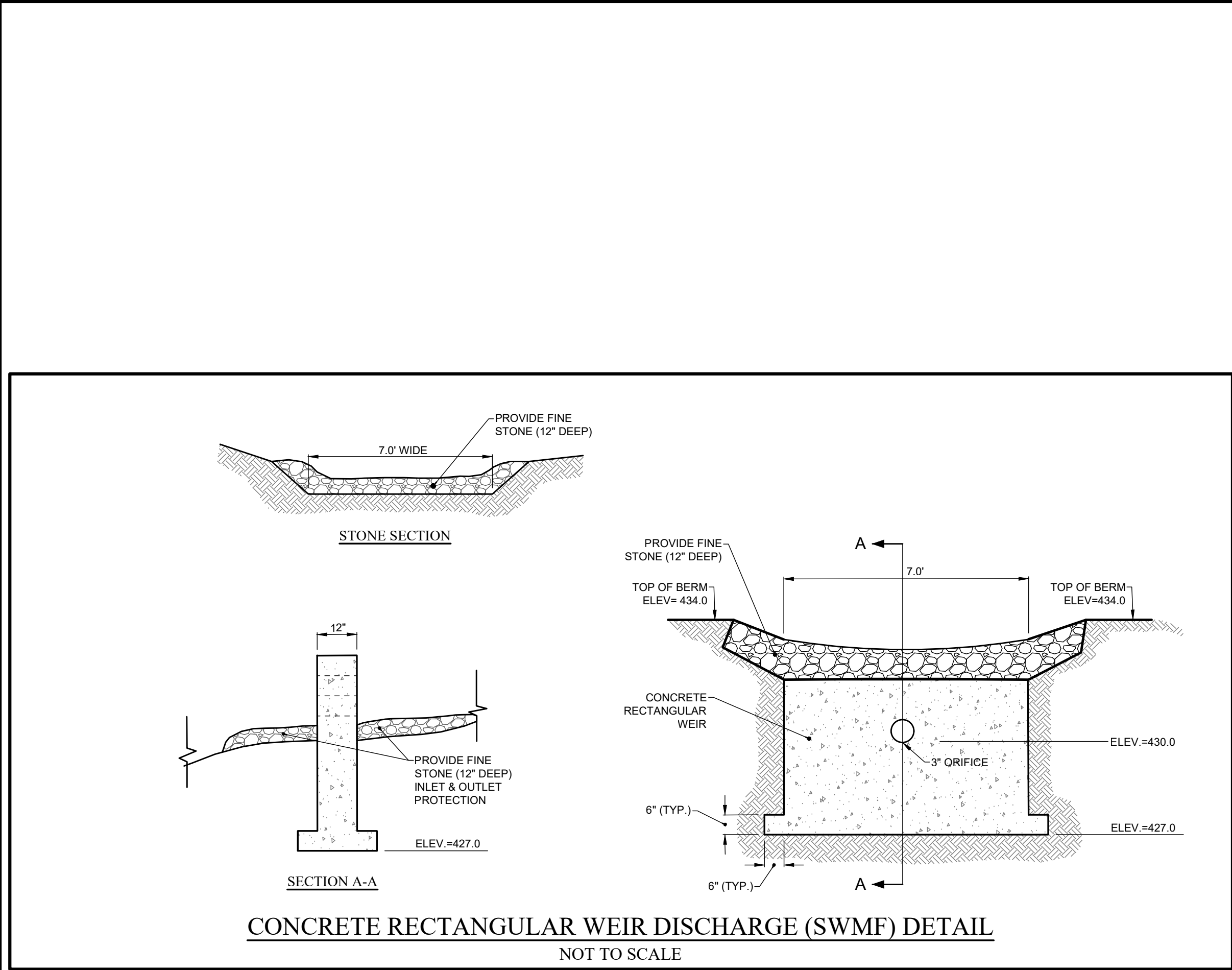




PROJECT MANAGER	E.R.G.
DRAWN BY	D.J.L.
BOUNDARY	--
TOPO/BASE	--
DATE	05/12/2025
SCALE	N.T.S.



- 217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

TITLE OF PROJECT		FINGERLAKES FCU 711 & 715 RIDGE ROAD	
TITLE OF DRAWING		DETAIL SHEET	
LOCATION OF PROJECT		TAX PARCEL NO. 079 17-1-79 & 78 111 TOWN LOT 60, TOWNSHIP 13, RANGE 4, PHILIPS & GORHAM PURCHASE, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK	
CLIENT	PWCAMPBELL ATTN: JASON STRAYLEY 109 ZETA DRIVE PITTSBURGH, PENNSYLVANIA 15238	DWG. #	9444 CA503 SHEET 11 OF 12



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