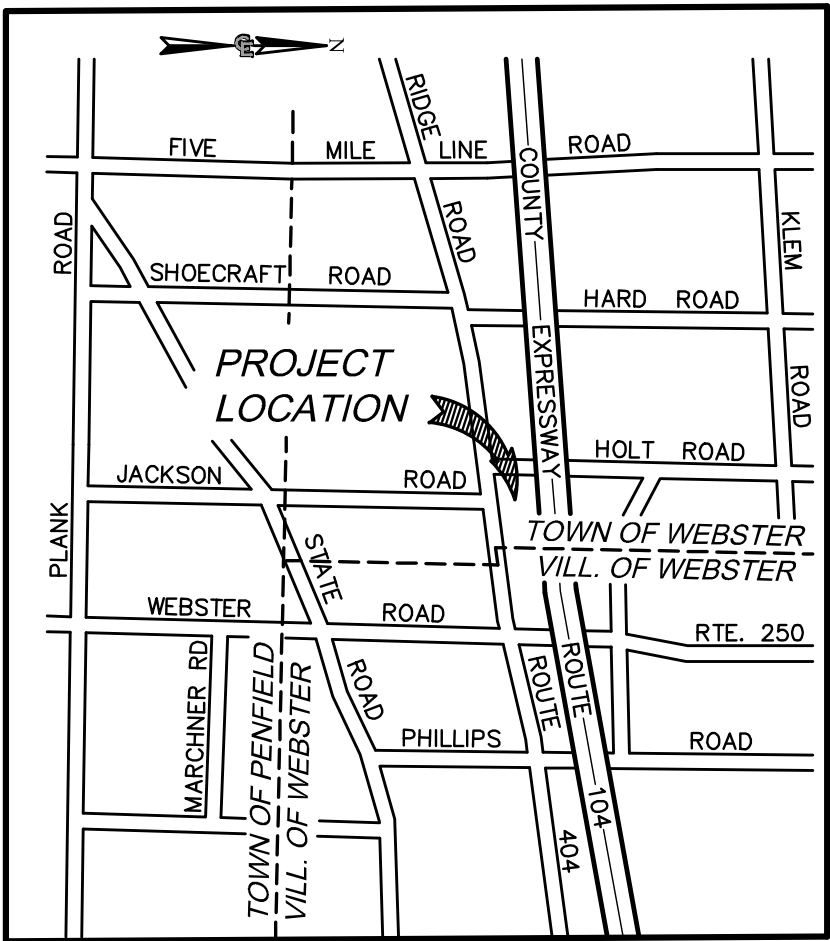


SIERRA TRADING POST

900 HOLT ROAD

SITE DEVELOPMENT PLANS

TOWN OF WEBSTER
COUNTY OF MONROE
STATE OF NEW YORK



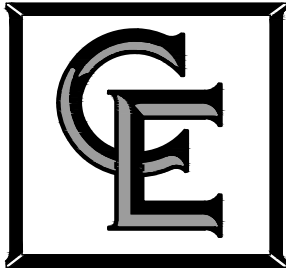
LOCATION SKETCH
NOT TO SCALE

INDEX OF DRAWINGS

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PREPARED FOR:
WEGMANS FOOD MARKET INC.
100 WEGMANS MARKET STREET
ROCHESTER, NEW YORK 14624

PREPARED BY:



COSTICH
ENGINEERING

• CIVIL
ENGINEERING
• LAND
SURVEYING
• LANDSCAPE
ARCHITECTURE
217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020



DATE: MAY 8, 2025

APPROVAL PLANS
PROJECT NO. 480.01 SHEET NO. GA001
SHEET 1 OF 8

PROJECT DESCRIPTION /
CONSTRUCTION SEQUENCE

THIS PROJECT WILL CONSIST OF THE PARTIAL DEMOLITION OF THE FORMER CHASE PITKIN OUTDOOR DISPLAY AREA FOR THE CONSTRUCTION OF NEW 19,013 SQ. FT. BUILDING WITH ASSOCIATED UTILITIES, DRIVES, AND LOADING AREA. THE ESTIMATED TIME FOR COMPLETION OF THE CONSTRUCTION PROJECT IS 180 DAYS. SOIL DISTURBING ACTIVITIES WILL INCLUDE:

- A. INSTALL, MAINTENANCE, AND PROTECTION OF TRAFFIC DEVICES TO SECURE WORK AREAS AND EROSION CONTROL MEASURES.
B. DEMOLITION OPERATIONS INCLUDING PARTIAL BUILDING DEMOLITION AND PAVEMENT REMOVAL.
C. CONSTRUCTION OF PROPOSED BUILDING, PROVIDE CONCRETE WASHOUT AREA.
D. INSTALLATION OF STORM SEWER AND OTHER UTILITIES.
E. CONSTRUCTION OF LOADING AND PARKING AREAS.
F. FINAL PAVING AND STABILIZATION OF DISTURBED AREAS.

EROSION AND SEDIMENT CONTROLS HAVE BEEN DEVELOPED AND FULLY ADDRESSED IN THIS WRITTEN PLAN AND THE EROSION AND SEDIMENT CONTROL PLAN AND DETAILS. AREA OF DISTURBANCE 0.23 ACRES.

WETLANDS AND/OR OTHER SURFACE WATERS

1. THERE ARE NO FEDERAL OR STATE WETLANDS IN THE PROJECT AREA.

NAME OF RECEIVING WATERS

THE SITE WILL DRAIN INTO A PRIVATE ONSITE STORMWATER MANAGEMENT FACILITY. WITCH WILL DISCHARGE TO EXISTING STORMWATER SEWERS AND ULTIMATELY REACH THE UPPER TRIBUTARIES OF MILL CREEK.

REFERENCES

1. A TOPOGRAPHICAL SURVEY COMPLETED ON 12/13/2024 BY COSTICH ENGINEERING, DPC.
2. A BOUNDARY SURVEY COMPLETED ON 9/13/2007 BY COSTICH ENGINEERING, DPC.

SURVEY NOTES

1. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 2019, REGARDING LIABILITY INCURRED THROUGH DISTURBANCE OR DESTRUCTION OF GEODETTIC SURVEY MONUMENTS.
2. THE DEVELOPER AND CONTRACTOR MUST LOCATE, MARK, BARRICADE, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION, FOR DESCRIPTIVE AND SURVEY DATA FOR GEODETTIC CONTROL MONUMENTS GO TO THE COUNTY OF MONROE SURVEYORS OFFICE WEBSITE AND ACCESS THE GIS BASED INTERNET WEB VIEWER, OR CONTACT THE MONROE COUNTY SURVEYORS OFFICE.
3. THIS PROJECT IS LESS THAN 2500 FEET FROM THE NEAREST GEODETTIC SURVEY MONUMENT AND THIS PROJECT IS TIED INTO THE MONROE COUNTY GEODETTIC MONUMENTATION NETWORK.
4. THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM OF 1988, WEST ZONE, TRANSVERSE MERCATOR PROJECTION, NAD 88 THROUGH CONTROL TIES TO THE FOLLOWING GEODETTIC MONUMENTS

STORM SEWER NOTES

1. STORM SEWER PIPE MATERIAL SHALL BE CORRUGATED, DOUBLE WALL POLYETHYLENE HIGH DENSITY (H.D.P.E.) SMOOTH INTERIOR.

GENERAL NOTES

1. PROVIDE MAINTENANCE AND PROTECTION OF TRAFFIC MEASURES AS DIRECTED BY OWNER'S REPRESENTATIVE.
2. COORDINATE ALL WORK WITH OWNER'S REPRESENTATIVE.
3. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO ALL APPLICABLE LAWS REGARDING LIABILITY INCURRED THROUGH DISTURBANCE AND DESTRUCTION OF GEODETTIC SURVEY MONUMENTS.
4. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND R.O.W. MONUMENTS IN THE AREA OF CONSTRUCTION. ANY AND ALL CONTROL POINTS, SURVEY AND R.O.W. MONUMENTS THAT ARE DISTURBED SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO COMPLETE THE WORK.
6. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PRESERVE THE INTEGRITY OF EXISTING UTILITIES TO REMAIN AND SHALL PROVIDE UNINTERRUPTED SERVICE TO ALL USERS OF THE EXISTING UTILITIES. EXISTING UTILITIES (TO REMAIN) ENCOUNTERED IN TRENCH OR PAVEMENT EXCAVATIONS SHALL BE SUPPORTED AS ORDERED BY THE OWNER'S REPRESENTATIVE OR AS DIRECTED BY THE UTILITY COMPANY.
7. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA STANDARDS AND OTHER STATE AND LOCAL SAFETY REQUIREMENTS DURING CONSTRUCTION.
8. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY LOCATION SERVICE OF THE AREA AND WITH THEIR ASSISTANCE, SHALL VERIFY THE EXACT LOCATION, SIZE AND DIMENSION OF ALL BURIED UTILITIES. THE OWNER OR COSTICH ENGINEERING, D.P.C. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF UNDERGROUND UTILITIES NOT VISIBLE AT THE TIME THE FIELD SURVEYS WERE CONDUCTED.
9. ROAD TO BE KEPT CLEAN OF MUD AND DEBRIS AT ALL TIMES.
10. NOTIFY DIG SAFE PRIOR TO DIGGING, DRILLING, OR BLASTING AT 811 OR 1-800-962-7692 FOR A UTILITY STAKEOUT.
11. THE CONTRACTOR IS CAUTIONED THAT THE LOCATIONS OF UTILITIES SHOWN ON THE CONTRACT PLANS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL SUCH LINES WITHIN THE CONTRACT LIMITS HAVE BEEN SHOWN ON THE PLANS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO SATISFY HIMSELF AS TO THE EXACT CONDITIONS, AND AT HIS OWN EXPENSE, TO PROTECT AND SUPPORT ALL UTILITIES ENCOUNTERED IN HIS EXCAVATING AND TRENCHING OPERATIONS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITY LINES CAUSED BY HIS OPERATION AND IF NATURE OF THE DAMAGE IS SUCH AS TO ENDANGER THE SATISFACTORY OPERATIONS OF UTILITIES AND NECESSARY REPAIRS ARE NOT IMMEDIATELY MADE BY THE CONTRACTOR, THE WORK MAY BE PERFORMED BY THE RESPECTIVE OWNING COMPANIES AND THE COST THEREOF CHARGED TO THE CONTRACTOR.

MCHD WATER MAIN EXTENSION NOTES

1. THE WATER MAIN PIPELINE SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651 (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN PIPELINE SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM.

ALL WATER MAIN PIPE FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB-DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.

THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.

FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.

THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL ENGINEER, ARCHITECT OR LAND SURVEYOR WITH A SPECIAL EXEMPTION UNDER SECTION 7208(N) OF THE EDUCATION LAW) CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTING AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL COLIFORM, ESCHERICHIA COLI (E. COLI) AND TURBIDITY.

THE WATER MAIN PIPE AND APPURTENANCES SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.

2. MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN PIPELINES AND SEWER PIPELINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAIN PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.
3. WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUND WATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF THE FINISHED GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED.
4. THE WATER MAIN PIPELINE AND APPURTENANCES SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C600, C602, C604, OR C605 (MOST RECENT VERSION AS APPLICABLE) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE SUPPLIER OF WATER.

SANITARY SEWER NOTES

1. FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY SEWER SHALL COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
2. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TESTS SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
3. SANITARY SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WEBSTER SEWER DEPARTMENT. THE SANITARY SEWER SHALL BE TELEVIEWED A MINIMUM OF 30 DAYS AFTER IT HAS BEEN INSTALLED.
4. EARTHWORK SHALL BE DONE PRIOR TO INSTALLATION OF ANY SANITARY SEWER MAINS AND APPURTENANCES.
5. MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. AIR TEST WILL BE USED, NO DROP IN PRESSURE IS ALLOWED. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND VACUUM TESTED AT (-110" Hg) IN ACCORDANCE TO VACUUM TESTING OF MANHOLES WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED). SANITARY MAIN TO BE DEDICATED WILL BE TELEVIEWED.
6. SANITARY LATERALS SHALL BE P.V.C., SDR-21.

GENERAL NOTES:

1. SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH THE FAIR HOUSING ACCESSIBILITY GUIDELINES AND THE BUILDING CODE OF NEW YORK STATE (BCNYS), THE FAIR HOUSING OR AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES, AND APPLICABLE LOCAL LAWS AND REGULATIONS, LATEST EDITIONS/LATEST EDITIONS.
2. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. COSTICH ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE POINT IN TIME WHEN THEY ARE BIDDING THE PROJECT. IN ADDITION, COSTICH ENGINEERING HAS MADE A POINT IN THESE NOTES AND DETAILS, AS WELL AS IN OUR DRAWINGS, TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY WITH STATE & FEDERAL ACCESSIBILITY REQUIREMENTS AND APPLICABLE LOCAL LAWS AND REGULATIONS, LATEST EDITIONS. IF THESE SLOPES / GRADES AND DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK.
3. THE CONTRACTOR SHALL NOTIFY COSTICH ENGINEERING IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS, WHETHER BY COSTICH ENGINEERING OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE ALLEGED CONFLICT HAS BEEN DISCOVERED UNTIL SUCH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY DAMAGES AS A RESULT OF RESOLUTION OF ANY SUCH CONFLICT(S).
4. THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.

ACCESSIBLE ROUTE NOTES:

1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES; PUBLIC STREETS OR SIDEWALKS; AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY THEY SERVE.
2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
3. WALKING SURFACES SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
4. ANY WALKING SURFACE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.
5. TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSHAND FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAXIMUM VERTICAL CHANGE IN LEVEL).
6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
7. THE MINIMUM CLEAR WIDTH SHALL BE THIRTY-TWO (32) INCHES FOR A ROUTE SEGMENT LENGTH LESS THAN TWENTY-FOUR (24) INCHES. CONSECUTIVE SEGMENTS OF THIRTY-TWO (32) INCHES IN WIDTH MUST BE SEPARATED BY A ROUTE SEGMENT FORTY- EIGHT (48) INCHES MINIMUM IN LENGTH AND THIRTY-SIX (36) INCHES MINIMUM IN WIDTH.
8. THE MINIMUM CLEAR WIDTH SHALL BE THIRTY-SIX (36) INCHES FOR A ROUTE SEGMENT LENGTH GREATER THAN TWENTY-FOUR (24) INCHES.
9. WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE THIRTY-SIX (36) INCHES MINIMUM WHEN THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINIMUM.
10. AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALL PROVIDE PASSING SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM. PASSING SPACES SHALL BE EITHER A SIXTY (60) INCH MINIMUM BY SIXTY (60) INCH MINIMUM SPACE; OR AN INTERSECTION OF TWO (2) WALKING SURFACES THAT PROVIDE A COMPLIANT T-SHAPED TURNING SPACE, PROVIDED THE BASE AND ARMS OF THE T-SHAPED SPACE EXTEND FORTY-EIGHT (48) INCHES MINIMUM BEYOND THE INTERSECTION.
11. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH STATE & FEDERAL ACCESSIBILITY REQUIREMENTS.
12. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES.
14. WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE IN THE EVENT THAT A DRAINAGE INLET MUST BE LOCATED ON AN ACCESSIBLE ROUTE, THE GRATE SHALL COMPLY WITH STATE & FEDERAL ACCESSIBILITY REQUIREMENTS.

RAMP NOTES:

1. ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.
2. THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
3. THE CLEAR WIDTH OF A RAMP RUN SHALL BE THIRTY-SIX (36) INCHES MINIMUM. WHERE HANDRAILS ARE PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE MEASURED BETWEEN THE HANDRAILS.
4. THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
5. LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2.0% IN ANY DIRECTION. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING. THE LANDING CLEAR LENGTH SHALL BE SIXTY (60) INCHES LONG MINIMUM. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDING OF SIXTY (60) INCHES BY SIXTY (60) INCHES MINIMUM.

6. RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES OR A HORIZONTAL PROJECTION GREATER THAN SEVENTY-TWO (72) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH STATE & FEDERAL ACCESSIBILITY REQUIREMENTS.
7. FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
8. EDGE PROTECTION COMPLYING WITH STATE & FEDERAL ACCESSIBILITY REQUIREMENTS SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS.
9. WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES COMPLYING WITH STATE & FEDERAL ACCESSIBILITY REQUIREMENTS SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA, WHERE DOORS THAT ARE SUBJECT TO LOCKING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED TO PROVIDE A COMPLIANT TURNING SPACE. CURB RAMP NOTES:

CURB RAMP NOTES:

1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.

CURB RAMP NOTES (CONT.):

3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE SIXTY (60) INCHES MINIMUM, EXCLUSIVE OF FLARED SIDES, IF PROVIDED.
4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION.
5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
6. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%. IF THE CLEAR LENGTH OF THE LANDING IS LESS THAN FORTY-EIGHT (48) INCHES THAN THE SLOPE OF THE FLARED SIDES SHALL NOT EXCEED 8.33%.
7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES. CURBS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
8. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
9. CURB RAMPS SHALL HAVE A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLYING WITH STATE & FEDERAL ACCESSIBILITY REQUIREMENTS, EXTENDING THE FULL WIDTH OF THE RAMP. REFER TO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES.
10. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, 1/2 INCH WIDE BY 1/4 INCH DEEP, ONE (1) INCH CENTERS TRANSVERSE TO THE RAMP.
11. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
12. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
13. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.
14. CURB RAMP TYPE AND LOCATION ARE PER PLAN.

PARKING SPACE NOTES:

1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
2. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH LINES, THE WIDTH MEASUREMENTS SHALL BE MADE FROM CENTERLINE OF THE MARKINGS. WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLES, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE.
3. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FOR ACCESSIBLE ROUTES. MARKED CROSSINGS SHALL BE PROVIDED WHERE THE ACCESSIBLE ROUTE MUST CROSS VEHICULAR TRAFFIC LANES. WHERE POSSIBLE, IT IS PREFERABLE THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES.
4. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.
5. ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.
6. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.
7. ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.
8. FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
9. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
10. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
11. PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES MINIMUM. SIGNS SHALL BE PROVIDED AT ENTRANCES TO PARKING FACILITIES INFORMING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.
12. EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. EACH ACCESS AISLE SHALL BE PROVIDED WITH SIGNAGE READING "NO PARKING ANYTIME". SIGNS SHALL BE INSTALLED AT A CLEAR HEIGHT OF BETWEEN SIXTY (60) INCHES AND EIGHTY-FOUR (84) INCHES ABOVE GRADE AND SHALL NOT INTERFERE WITH AN ACCESSIBLE ROUTE FROM AN ACCESS AISLE. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED WITH BOLLARD PROTECTION.
13. ACCESSIBLE PARKING SPACE, ACCESS AISLE STRIPING, AND INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED BLUE.

PASSENGER LOADING ZONE NOTES:

1. PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM.
2. PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY SERVE.
3. ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY.
4. VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NO EXCEEDING 2.0% IN ALL DIRECTIONS. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE VEHICLE PULL-UP SPACE THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
5. FLOOR SURFACES OF VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.
6. VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR EXIT SERVING THEM, SHALL PROVIDE A VERTICAL CLEARANCE OF ONE HUNDRED FOURTEEN (114) INCHES MINIMUM.

ACCESSIBLE ENTRANCE NOTES:

1. ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY STATE & FEDERAL ACCESSIBILITY REQUIREMENTS.
2. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH STATE & FEDERAL ACCESSIBILITY REQUIREMENTS AND SHALL BE ON AN ACCESSIBLE ROUTE.

LINE LEGEND

	PARCEL BOUNDARY		EXISTING SANITARY SEWER, & MANHOLE
	EXISTING RIGHT-OF-WAY LINE		EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
	EXISTING ADJACENT PROPERTY LINE		EXISTING OVERHEAD UTILITIES
	FORMER PROPERTY LINE		EXISTING TELEPHONE SERVICE
	FORMER PROPERTY LINE DIMENSION		EXISTING UNDERGROUND UTILITIES
	MIN. BUILDING SETBACK		EXISTING GAS SERVICE
	CENTER LINE		EXISTING ELECTRIC SERVICE
	EXISTING EASEMENT LINE		EXISTING GUARD RAIL
	EXISTING CONCRETE CURB		TREES, HEDGE, EDGE OF WOODS
	EXISTING EDGE OF PAVEMENT		EXISTING SWALE
	EXISTING EDGE OF GRAVEL		EXISTING CHAIN LINK & STOCKADE FENCE
	EXISTING CONCRETE PAD / CONCRETE SIDEWALK		EXISTING CONTOUR
	EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT		EXISTING SPOT ELEVATION @ x
	EXISTING WATER MAIN, VALVE, & HYDRANT		

SYMBOL LEGEND

	DRAINAGE MANHOLE		ELECTRIC MANHOLE		HYDRANT		SIGN - DOUBLE POST
	INLET DRAINAGE MANHOLE		ELECTRIC METER		WATER METER		SIGN - SINGLE POST
	CATCH BASIN		TELEPHONE MANHOLE		WELL		TURNING ARROW
	END SECTION		TELEPHONE PEDESTAL		MONITOR WELL		HANDICAP
	END OF PIPE		PHONE BOOTH		FIRE DEPARTMENT CONNECTION		STOP BAR
	MANHOLE		PEDESTRIAN POLE		BORE		TREE DECIDUOUS
	SANITARY MANHOLE		TRAFFIC CONTROL CABINET		SIGNAL TV PEDESTAL		TREE CONIFEROUS
	CLEAN OUT		BUILDING MOUNTED LIGHTING		SIGNAL POLE		BUSH
	GAS VALVE		LIGHT POLE		UTILITY POLE		AIR CONDITIONING UNIT
	GAS SERVICE		UTILITY POLE WITH LIGHT		GUY WIRE		SANITARY UTILITY LATH
	GAS METER		FLAG POLE		PULL BOX		GAS UTILITY LATH
	SPRINKLER VALVE		MAILBOX		ELECTRIC PULL BOX		WATER UTILITY LATH
	SPRINKLER HEAD		BOLLARD		TELEPHONE PULL BOX		TELEPHONE UTILITY LATH
	WATER VALVE		POST		TRAFFIC PULL BOX		ELECTRIC UTILITY LATH
	WATER SERVICE		SIGN - SMALL		TRANSFORMER		CABLE UTILITY LATH

SIERRA TRADING POST

900 HOLT ROAD

TITLE OF PROJECT

TITLE OF DRAWING

LOCATION OF PROJECT

CLIENT

GENERAL NOTES AND LEGEND SHEET

TAX PARCEL NO. 079-1241-06-311

SECTION 12, RANGE 41 OF THE HILLS AND GORHAM PURCHASE, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK

WIGAMANS FOOD MARKET

2-17 LANE AVENUE

ROCHESTER, NEW YORK 14624

DATE

05-08-2025

SCALE

1"=50'

CIVIL ENGINEERING

LAND SURVEYING

LANDSCAPE ARCHITECTURE

COSTICH ENGINEERING

2-17 LANE AVENUE

ROCHESTER, NEW YORK 14624

PROJECT NUMBER

14-000

DATE

05-08-2025

SCALE

1"=50'

STATE OF NEW YORK

ENGINEER

PROFESSIONAL

COSTICH ENGINEERING, D.P.C.

IT IS A VIOLATION OF LAW FOR ANY PERSON TO PRACTICE AS AN ENGINEER, ARCHITECT, OR LANDSCAPE ARCHITECT TO ALTER ANY DRAWING OR SPECIFICATION OF ANY OTHER PERSON WITHOUT THE WRITTEN CONSENT OF THAT PERSON. THE SIGNATURE AND SEAL OF THE ENGINEER, ARCHITECT, OR LANDSCAPE ARCHITECT ARE REQUIRED FOR THE DOCUMENT.

NO.

DATE

REVISION

BY

CHKD

GRAPHIC SCALE

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By: _____ Date: _____
MONROE COUNTY WATER AUTHORITY

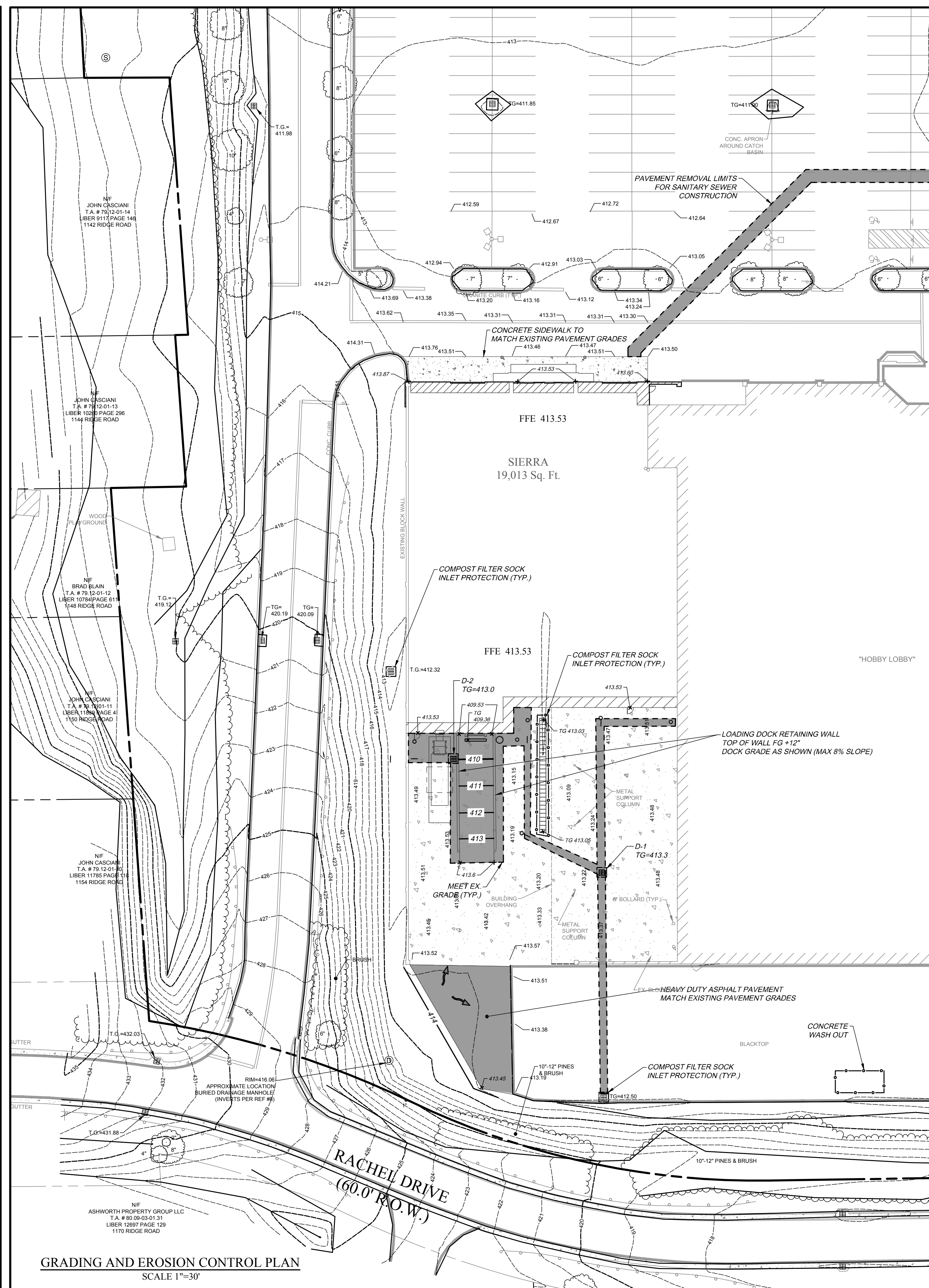
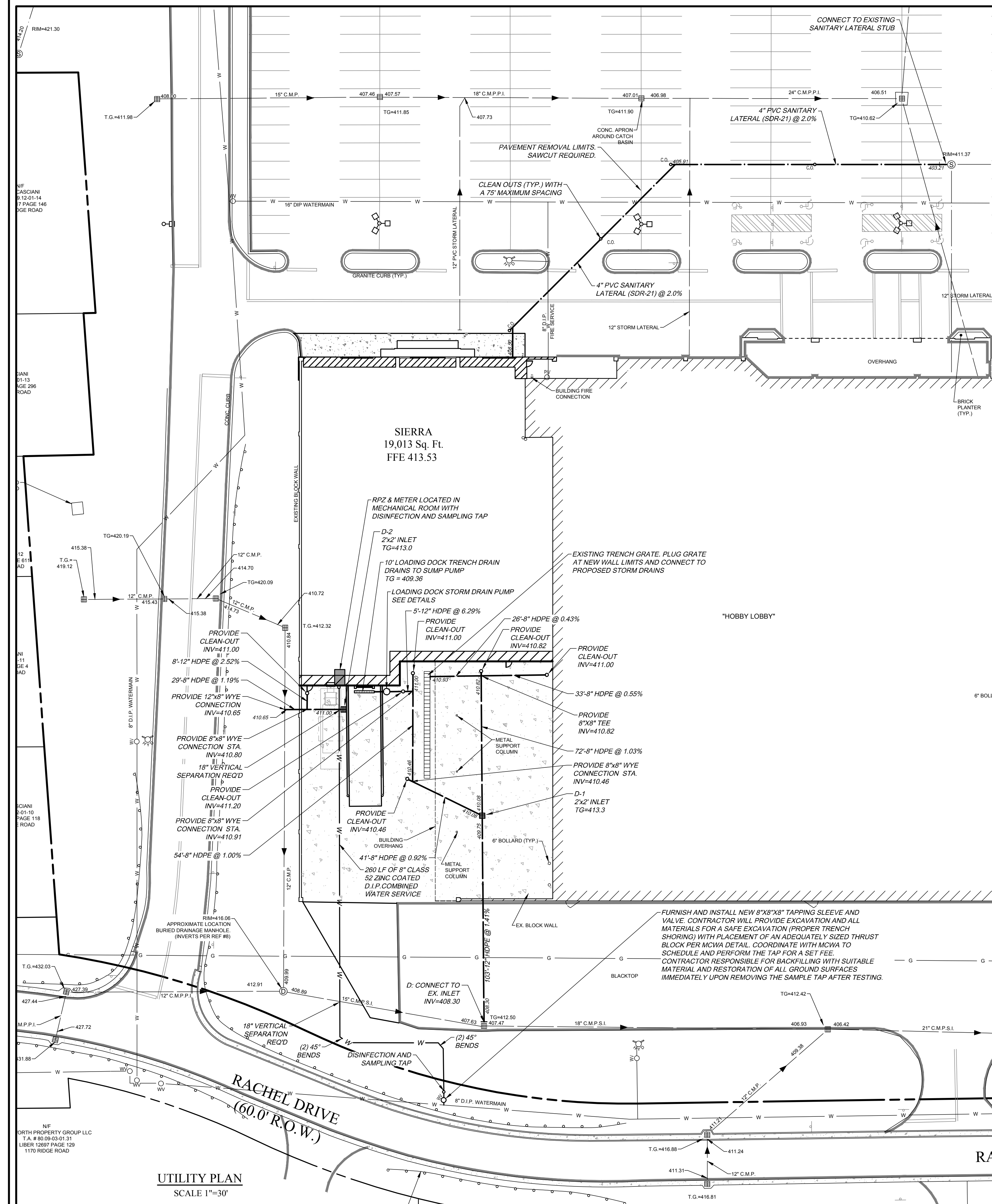
By: _____ Date: _____
WEBSTER SEWER DISTRICT

By: _____ Date: _____
FIRE MARSHAL

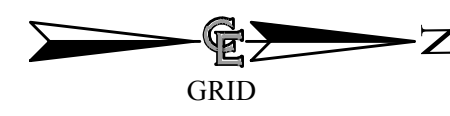
By: _____ Date: _____
TOWN ASSESSOR

By: _____ Date: _____
MONROE COUNTY HEALTH DEPARTMENT

[illegible]



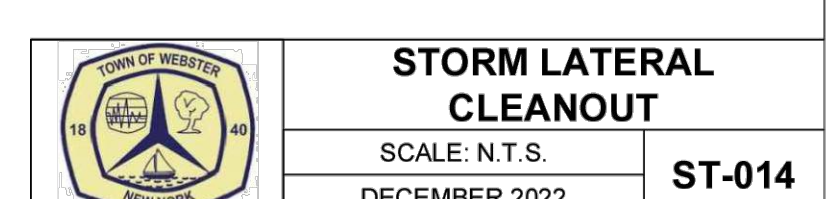
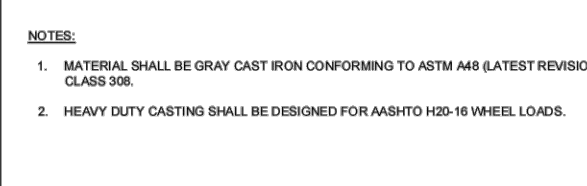
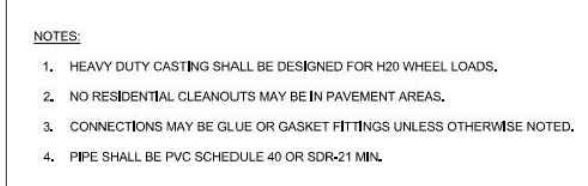
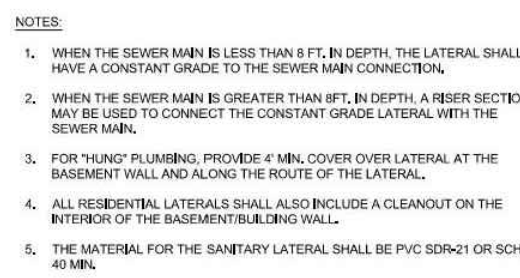
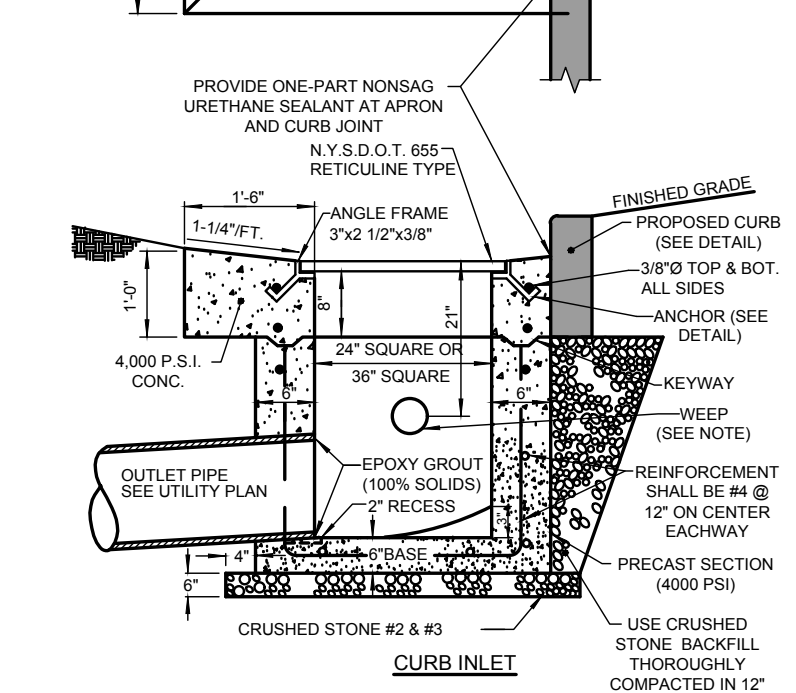
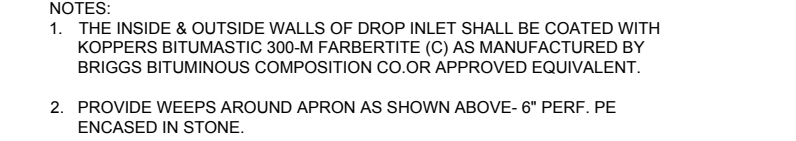
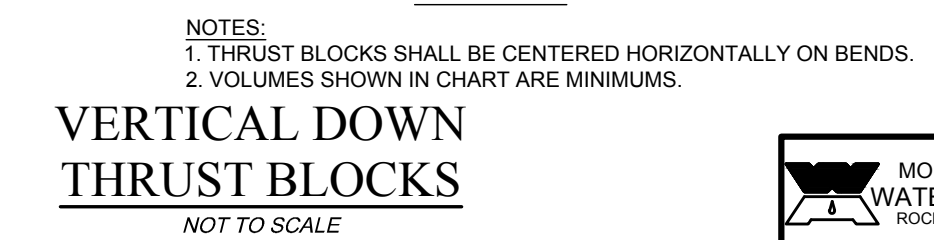
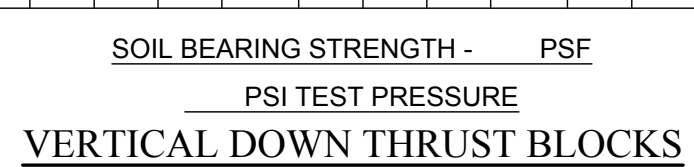
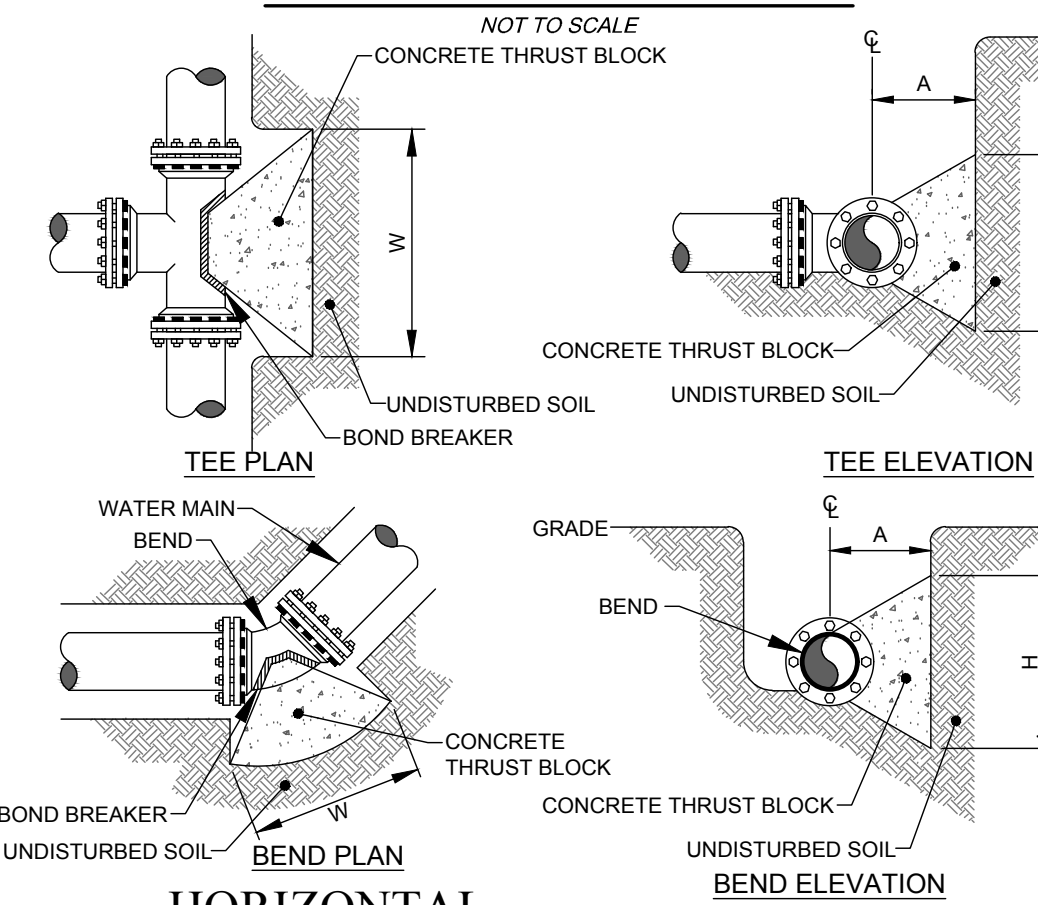
By: _____ Date: _____ DIRECTOR OF COMMUNITY DEVELOPMENT	By: _____ Date: _____ MONROE COUNTY WATER AUTHORITY
By: _____ Date: _____ TOWN ENGINEER	By: _____ Date: _____ WEBSTER SEWER DISTRICT
By: _____ Date: _____ PLANNING BOARD CHAIRMAN	By: _____ Date: _____ FIRE MARSHAL
By: _____ Date: _____ TOWN HIGHWAY SUPERINTENDENT	By: _____ Date: _____ TOWN ASSESSOR
	By: _____ Date: _____ MONROE COUNTY HEALTH DEPARTMENT

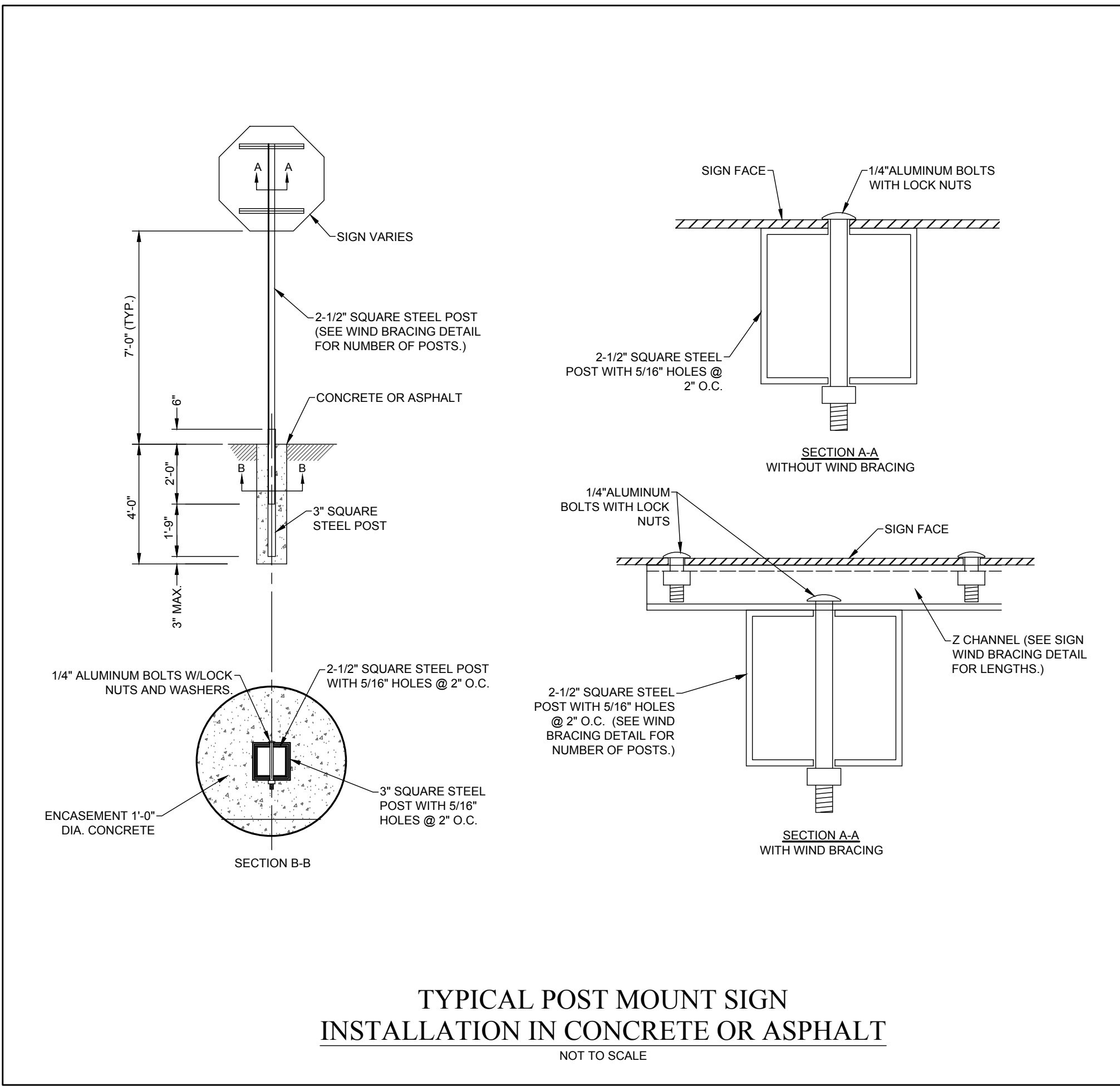
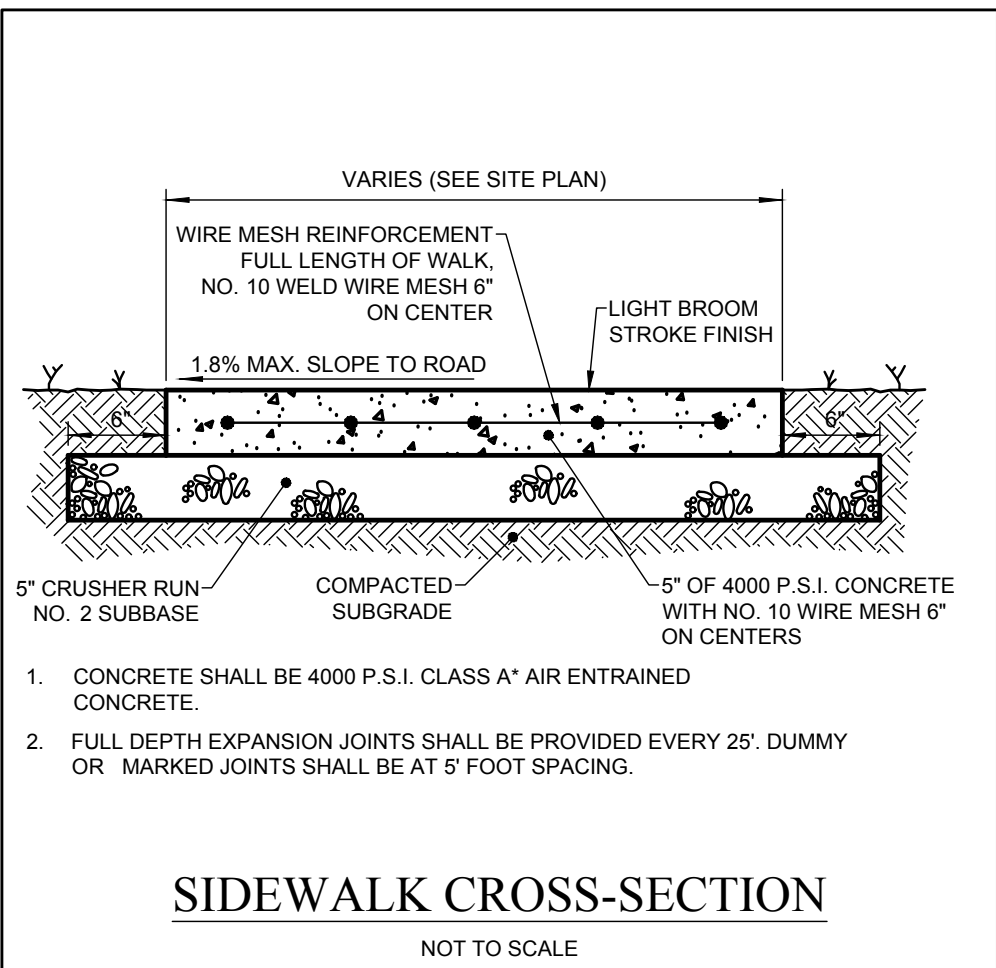
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* SIZE BLOCK BASED ON BRANCH DIAMETER. $\frac{\text{SOIL BEARING STRENGTH} - \text{PSF}}{\text{PSI TEST PRESSURE}}$

HORIZONTAL AND VERTICAL UP THRUST BLOCKS





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