

# HOWLEY RESIDENCE

## ADDITION AND RENOVATIONS

### DRAWING LIST:

T1 TITLE SHEET AND SYMBOLS  
 S1 SITE PLAN & BULK REQUIREMENTS  
 G1 GENERAL REQUIREMENTS, SPECIFICATIONS, DETAILS & VIEWS  
 A0 FOUNDATION PLAN  
 A1 FIRST FLOOR PLAN  
 A2 ROOF PLAN  
 A3 EXTERIOR ELEVATIONS, NORTH, SOUTH, EAST & WEST

### ADDRESS:

619 APPLEGROVE CIRCLE  
WEBSTER, NEW YORK 14580

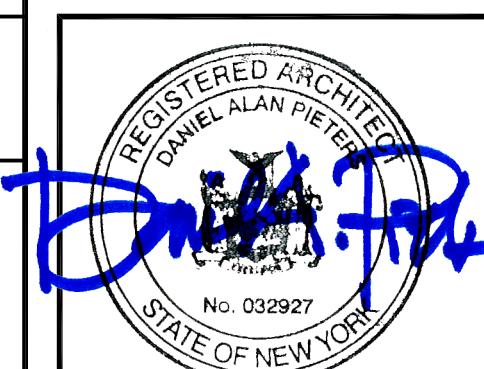
### ARCHITECT CERTIFICATION:

TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE STATE ENERGY CONSTRUCTION CODE.

### LIST OF ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	CM	CONSTRUCTION MANAGER	ENTR	ENTRANCE	HOPZ	HORIZONTAL	MEZZ	MEZZANINE	OTD	QUARRY TILE BASE	T&G	TOUGH & GROOVE
AP	ACCESS PANEL	CW	COLD WATER	EQ	EQUAL	HB	HOSE BIBB	MM	MILLIMETER	RAD	RADIUS	T&B	TOP & BOTTOM
ACOUS	ACOUSTICAL	CMF	COLD FORMED MET. FRAMING	EQUIP	EQUIPMENT	HW	HOT WATER	MIN	MINIMUM	RECP	RECEPTACLE	TOEA	TOP OF EDGE ANGLE
ADJUS	ADJACENT	CMU	CONCRETE MASONRY UNIT	EST	ESTIMATED(D)	HR	HOUR	MISC	MISCELLANEOUS	REF	REFERENCE	TOS	TOP OF SLAB/STEEL
ACT	ACOUSTICAL CEILING TILE	COL	COLUMN	EXIST	EXISTING	INCAND	INCANDESCENT	MR	MOISTURE RESISTANT	REFR	REFRIGERATOR	TOW	TOP OF WALL
AWP	ACOUSTICAL WALL PANEL	CONC	CONCRETE	EXIST	EXISTING	IN	INCH	MTD	MOUNDED	REFR	REFRIGERATOR	T.TR	TREAD
A/C	AIR CONDITIONING	COND	CONDUTOR	EXP	EXPANSION	INCL	INCLUDING	REINF	REINFORCED(ING)	REQ'D	REQUIRED	TD	TRENCH DRAIN
ALT	ALTERNATE	CONN	CONNECTION	EXP JT	EXPANSION JOINT	ID	INSIDE DIAMETER	NA	NOT APPLICABLE	REV'D	REVISED	TYP	TYPICAL
ALUM	ALUMINUM	CONST	CONSTRUCTION	ETR	EXISTING TO REMAIN	INSUL	INSULATION	NAT	NATURAL	RVT	RESILIENT VINYL TILE	UL	UNDERWRITERS LAB
AB	ANCHOR BOLT	CJT	CONSTRUCTION JOINT	F	FABRIC	INT	INTERIOR	NRC	NOISE REDUCTION COEF.	RGWB	REINFORCED GYPSUM WALL BOARD	UNFIN	UNFINISHED
<	ANGLE	CONT	CONTINUOUS	FAB	FABRICATE	INTERM	INTERMEDIATE	NOM	NOMINAL	RH	RIGHT HAND	UNO	UNLESS NOTED OTHERWISE
ANOD	ANODIZED	CONTR	CONTRACTOR	FT	FEET	INV	INVERT	N	NORTH	RISER	RISER	U	URINAL
APPROX	APPROXIMATE	CONTROL	JOINT	FIG	FIGURE	IP	IRON PIPE	NIC	NOT IN CONTRACT	RD	ROOF DRAIN	VEND	VENDER
ARCH	ARCHITECT, ARCHITECTURAL	CORR	CORRUGATED	FIN	FINISH	JAN	JANITOR	NTS	NOT TO SCALE	RO	ROUGH OPENING	VEN	VENeer
AD	AREA DRAIN	COURSE	COURSE	FIN	FINISHED FLOOR	JS	JANITOR SINK	NO, #	NUMBER	ROB	RUN-OF-BANK	VIF	VERIFY IN FIELD
@	AT	CFT	CUBIC FOOT	FF	FINISHED FLOOR	JT	JOINT	OC	ON CENTER	RW	RESCUE WINDOW	VERT	VERTICAL
AUTO	AUTOMATIC	CYD	CUBIC YARD	FEC	FIRE EXTINGUISHER AND CABINET	OPNG	OPENING	RD	ROOF DRAIN	VEST	VESTIBULE	VIN	VINYL
BSMT	BASEMENT	DP	DAMP PROOFING	FL	FLOOR	KW	KILOWATT	OD	OUTSIDE DIAMETER	SALV	SALVAGE	VB	VINYL BASE
BM	BEAM	DL	DEAD LOAD	FLR	FLOOR DRAIN	KWH	KILOWATT HOUR	OH	OVERHEAD	SAN	SANITARY	VCT	VINYL COMPOSITION TILE
BP	BEARING PLATE	DB	DECIBEL	FLUOR	FLUORESCENT	K	KIP	KIT	KITCHEN	SCHED	SCHEDULE	VF	VINYL FABRIC
BM	BENCH MARK	DEMO	DEMOLISH	FT	FOOT	KIT	KITCHEN	PTD	PAINTED	SEC	SECOND	VWC	VINYL WALL COVERING
BITUM	BITUMINOUS	DEPT	DEPARTMENT	FTG	FOOTING	LBL	LABEL	PR	PAPER TOWEL RECEPTOR	SECT	SECTION	VT	VINYL TILE
BLKG	BLOCKING	DET,TL	DETAIL	FND	FOUNDATION	LAB	LABORATORY	PKG	PARKING	SHT	SHEET	VOL	VOLUME
BLK	BLOCK	DIA	DIA	FNS	FULL SIZE	LAM	LAMINATE(ED)	PART BD	PARTIAL BOARD	SIM	SIMILAR	WT	WEIGHT
BD	BOARD	DIM	DIMENSION	FUT	FUTURE	LAV	LAVATORY	PART	PARTITION	SC	SOUND CORE	WH	WALL HUNG
BO	BY OWNER	DISP	DISPENSER	GALV	GALVANIZED	LAV	LAYER	PVMT	PAVEMENT	SC	SOUND TRANSMISSION COEFFICIENT	W	WATER
BOT	BOTTOM	DISP	DISPOSAL	GAS	GAS	LDR	LEADER	PLAM	PLASTIC LAMINATE	SCS	SOUTH	W.	WEST
BRK	BRICK	DO	DUIT, REPEAT, SAME	Gauge	Gauge	LH	LEFT HAND	PL	PLATE	SCS	SPECIAL COATING SYSTEM	WC	WATER CLOSET
BLDG	BUILDING	DR	DOOR	GEN	GENERAL	LIB	LIBRARY	PLBG	PLUMBING	SPEC	SPECIFICATION	WR	WATER RESILIENT/
BN	BULLNOSE	DBL	DOUBLE	GC	GENERAL CONTRACTOR	LT	LIGHT	PLYW	PLYWOOD	SQ	SQUARE	RESISTANT	RESISTANT
CAB	CABINET	DN	DOWNSPOUT	GL	GLASS, GLAZING	LW	LIGHT WEIGHT	PV	POLYVINYL CHLORIDE	SS	STAINLESS STEEL	WT	WEIGHT
CI	CAST IRON	DS	DS	GR	GRADE, GRADING	LL	LIVE LOAD	PCF	POUNDS PER CUBIC FOOT	STL	STANDARD	WFM	WELDED WIRE FABRIC
CPT	CARPET(ED)	DT	DRAIN TILT	GALV	GALVANIZED	MACH	MACHINE	PLF	POUNDS PER LINEAR FOOT	STOR	STORAGE	WFM	WELDED WIRE MESH
CSMT	CASEMENT	DWR	DRAWER	GSF	GROSS SQUARE FOOT	MH	MAN HOLE	PSF	POUNDS PER SQUARE FOOT	STRUCT	STRUCTURAL	(N)	WIDTH
CB	CATCH BASIN	DWG	DRAWING	GYP	GYPSUM	MHC	MAN HOLE COVER	PSI	POUNDS PER SQUARE INCH	SGFT	STRUCTURAL GLAZED FACING TILE	WIND	WINDOW
CLG	CEILING	DF	DRINKING FOUNTAIN	GYP	GYPSUM	MFR	MANUFACTURE	PRE CONC	PREFAB CONCRETE	ST,STL	STRUCTURAL STEEL	W/	WITH
CLG HT	CEILING HEIGHT	DWC	DRYWALL CHANNEL	GWB	GYPSUM BOARD	MFR	MANUFACTURER	PFB	PREFABRICATED	SUSP	SUSPENDED	W/O	WITHOUT
CEM	CEMENT	EA	EACH	HDRW	HARDWARE	MAS	MASON	PT, PTD	PAINT, PAINTED	SAT	SUSPENDED ACOUSTICAL TILE	WD	WOOD
CL	CENTER LINE	EF	EACH FACE	HDW	HARDWOOD	MO	MASONRY OPENING	PTL	PRESSURE TREATED	TEL	TELEPHONE	W	WRUGHT IRON
CM	CENTIMETER	EW	EACH WAY	HVAC	HEATING, VENTILATING & AIR CONDITIONING	MAT	MATERIALS	PL	PROPERTY LINE	TV	TELEVISION	YD	YARD
CER	CERAMIC	E	EAST	HT, HGT	HEIGHT	MAX	MAXIMUM	PL	PRESTRESSED CONCRETE	TEMP	TEMPERATURE		
CT	CERAMIC TILE	ELEC	ELECTRICAL	HT, HGT	HEIGHT	MECH	MECHANICAL	PTD	PRESTRESSED CONCRETE	THK	THICKNESS		
CB	CHALK BOARD	ELEV	ELEVATION	HEX	HEXAGONAL	MET	METAL	PTD	PAINT, PAINTED	TPD	TOILET PAPER DISPENSER		
CIRC	CIRCUMFERENCE	EL	ELEVATOR	Hwy	HIGHWAY	QTY	QUANTITY	PTD	PAINT, PAINTED	TR	TOILET ROOM		
CO	CLEAN OUT	EMER	EMERGENCY	HMT	HOLLOW METAL	M	METER	PTD	PAINT, PAINTED				
CLR	CLEAR	ENCL	ENCLOSURE	HM	HOLLOW METAL	QT	QUARRY TILE	PTD	PAINT, PAINTED				
CLOS	CLOSET							TR	PAINT, PAINTED				

REVISIONS NO.	DATE	CHECKED	DESCRIPTION
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### HOWLEY RESIDENCE ADDITION/RENOVATIONS

DATE 03/12/25 DRAWN DAP CHECKED DAP

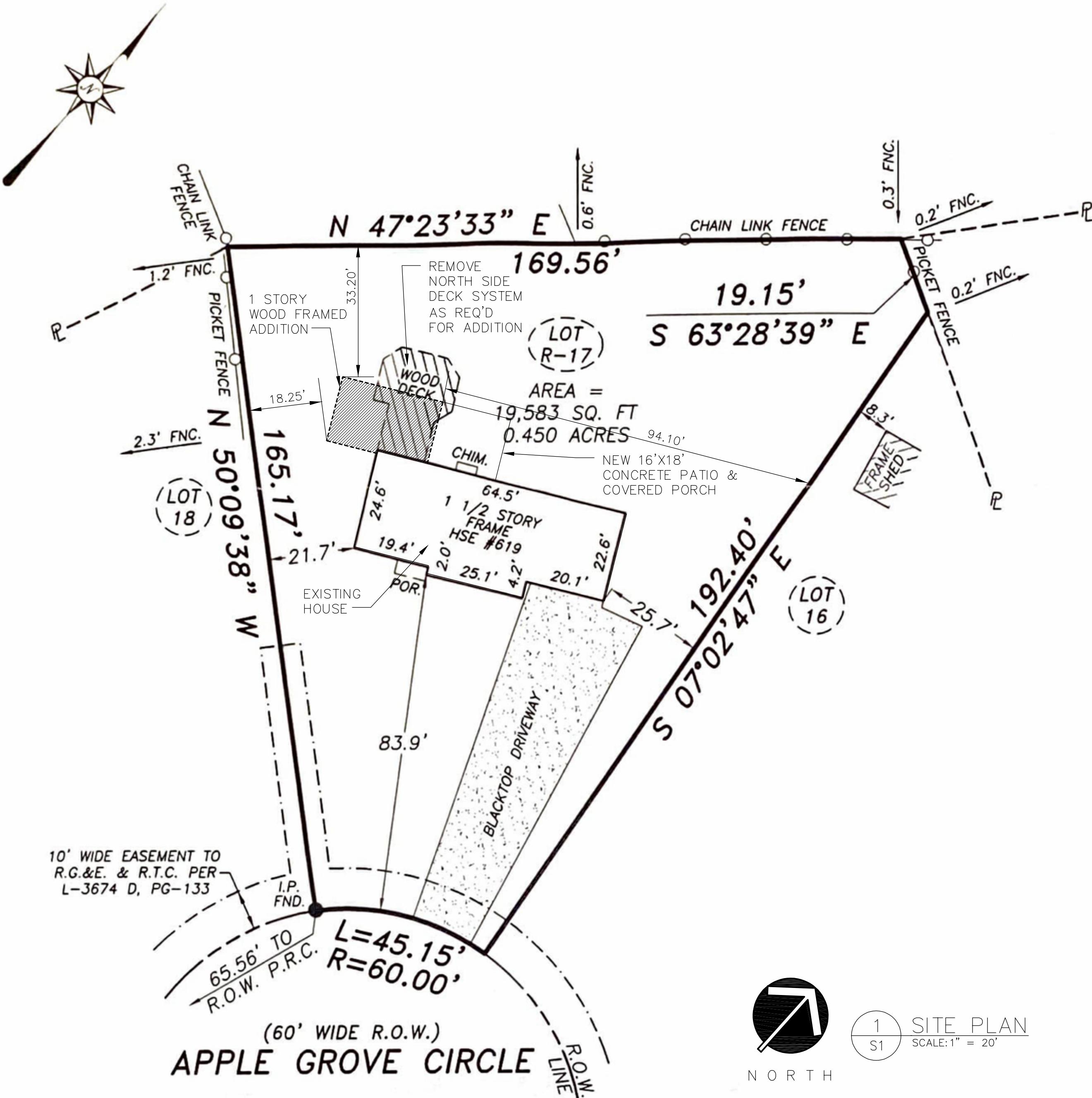
SCALE AS NOTED

SHEET TITLE

TITLE SHEET

MATERIAL SYMBOLS				GRAPHIC SYMBOLS			
	BRICK		GROUT/MORTAR		COLUMN CENTERLINE A		PARTITION TYPE 3(1 HR RATED)
	STEEL/MISC. METAL		NON-FERROUS (TYPE AS NOTED)		REVISION NO. 1		PROPERTY LINE
	STONE		ROUGH WOOD / BLOCKING		DETAIL #3 ON SHEET A201		SAN - SANITARY SEWER
	TERRAZZO		WOOD, FINISHED WOODWORK		BUILDING SECTION (NO. OR WALL SECTION (LETTER) ON SHEET A201		W - WATER LINE
	MARBLE		PLYWOOD (LARGE SCALE)		+100.75 EXISTING SPOT ELEVATION		G - GAS LINE
	CERAMIC TILE		GYPSUM BOARD		+100.75 FINISHED SPOT ELEVATION		109 - FURNITURE SYMBOL (NUMBER)
					100 EXISTING CONTOURS		A - WINDOW TYPE (LETTER)
					100 FINISHED CONTOURS		BENCHMARKS, FLOOR ELEV., OR OTHER VERTICAL ELEV.
							ACCESORIES SYMBOL (LETTER) EQUIPMENT SYMBOL (NUMBER)
							KEYNOTE SYMBOL - DEMOLITION AND NEW CONSTRUCTION

PROJECT NUMBER	T1
DRAWING NUMBER	



NOTES:  
 EXISTING TREES/BUSHES NOT  
 SHOWN FOR CLARITY.  
 ALL DOWNSPOUTS ARE TO BE CONNECTED  
 TO UNDERGROUND DRAINAGE ROUTED TO THE  
 NORTH OF THE PROPERTY TOWARDS THE STREAM.  
 CONTRACTOR TO LOCATE ALL UTILITIES PRIOR  
 TO THE START OF CONSTRUCTION. RE-RUTE  
 AS REQUIRED TO ACCOMMODATE FOR NEW ADDITIONS.  
 CONTRACTOR TO ADJUST DECK AS REQUIRED  
 TO ALLOW FOR PROPER CONNECTION AND FLOW  
 IN AND OUT OF EXISTING PERIMETER DECKING.



#### LEGEND :



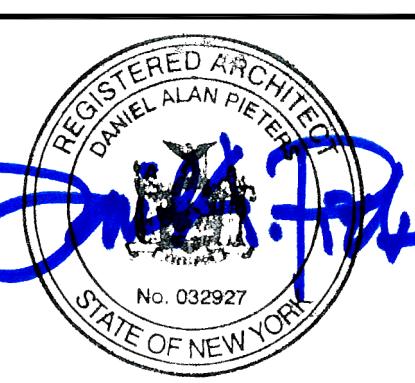
NEW  
ADDITIONS

BULK REQUIREMENTS:		TAX ACCOUNT NUMBER: 064.11-3-36
TOWN OF WEBSTER, NY ZONE: R-2 – SINGLE FAMILY RESIDENTIAL DISTRICT		
MINIMUM LOT SIZE		
AREA:	28,000 SQUARE FEET	
WIDTH:	100 FEET OR 55 FEET ON CULDESAC	
FRONTAGE:	–NA–	
REQUIRED SETBACKS		
PRINCIPAL BUILDING:	FRONT: 60 FEET/70 HIGHWAYS 50 FEET ON CORNER LOTS	
	REAR: 55 FEET – 33.2 FEET PROVIDED SIDE: 15 FEET/5 DRIVEWAYS 18.25 FEET AND 94.10 FEET PROVIDED	
MAXIMUM HEIGHT OF STRUCTURES:	30 FEET – 15'-7" PROVIDED	
MAXIMUM BUILDING COVERAGE ON LOT (non – applicable / NA)	20% ALLOWABLE OR 3,916 SF. 10.3% PROVIDED OR 2,032 SF. 19,583 SF. OF ENTIRE SITE	

#### HOWLEY RESIDENCE ADDITION/RENOVATIONS

619 APPLE GROVE CIRCLE  
WEBSTER, NY 14580

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION



DATE 03/12/25	DRAWN DAP	CHECKED DAP
SCALE AS NOTED		
SHEET TITLE SITE PLAN & BULK REQUIREMENTS		

PROJECT NUMBER S1
DRAWING NUMBER S1

SPECIFICATIONS/GENERAL NOTES:

- IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.
- ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.
- TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THESE DRAWINGS ARE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.
- COPYRIGHTS: THESE WORKING DRAWINGS ARE PROVIDED TO MAKE THE DETAILS OF THE BUILDING SHOWN AVAILABLE TO THE CLIENT AND TO THE CONTRACTOR CONSTRUCTING THIS PROJECT. ANY REPRODUCTION OF THIS DESIGN, IN WHOLE OR IN PART, IS PROHIBITED BY THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA.

*Daniel A. Pieters*

03/12/2025  
Daniel A. Pieters  
Date:

5. DESIGN LOADS:  
FLOOR: 50 P.S.F. LIVE LOAD  
20 P.S.F. DEAD LOAD  
ROOF: 50 P.S.F. LIVE LOAD  
20 P.S.F. DEAD LOAD

6. SOIL PRESSURE: ASSUMED TO BE 3000 P.S.F. (GEOGRAPHIC DATA NOT THE RESPONSIBILITY OF THE ARCHITECT). FINAL SELECTED SITE IS UNKNOWN BY THIS ARCHITECT.

7. CONCRETE (ONCE FINAL SITE IS SELECTED):  
a. UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE SHALL BE 3500 P.S.I.  
5" CONCRETE SLAB (28 DAY COMPRESSIVE STRENGTH) OVER A 6 MIL.  
POLYETHYLENE VAPOR BARRIER ON 8" POROUS GRAVEL.  
REINFORCING SHALL BE 6X6 - W1.4 X W1.4 WELDED WIRE MESH.  
b. PROVIDE #5 BAR @ 4'-0" OC. BETWEEN ALL CONCRETE SLABS AND  
ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN ALL LOCATIONS  
EXTERIOR OR UNHEATED INTERIOR SPACES. PROVIDE 2" OF RIGID  
INSULATION UNDER SLAB AND 2'-0" DOWN FOUNDATION WALL.

8. FOUNDATIONS (ONCE FINAL SITE IS SELECTED):  
a. FOUNDATION FOOTINGS SHALL REST UPON UNDISTURBED (ORIGINAL)  
SOIL. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE  
CONDITIONS. MINIMUM TOP OF FOOTING COVERAGE IS 4'-0".

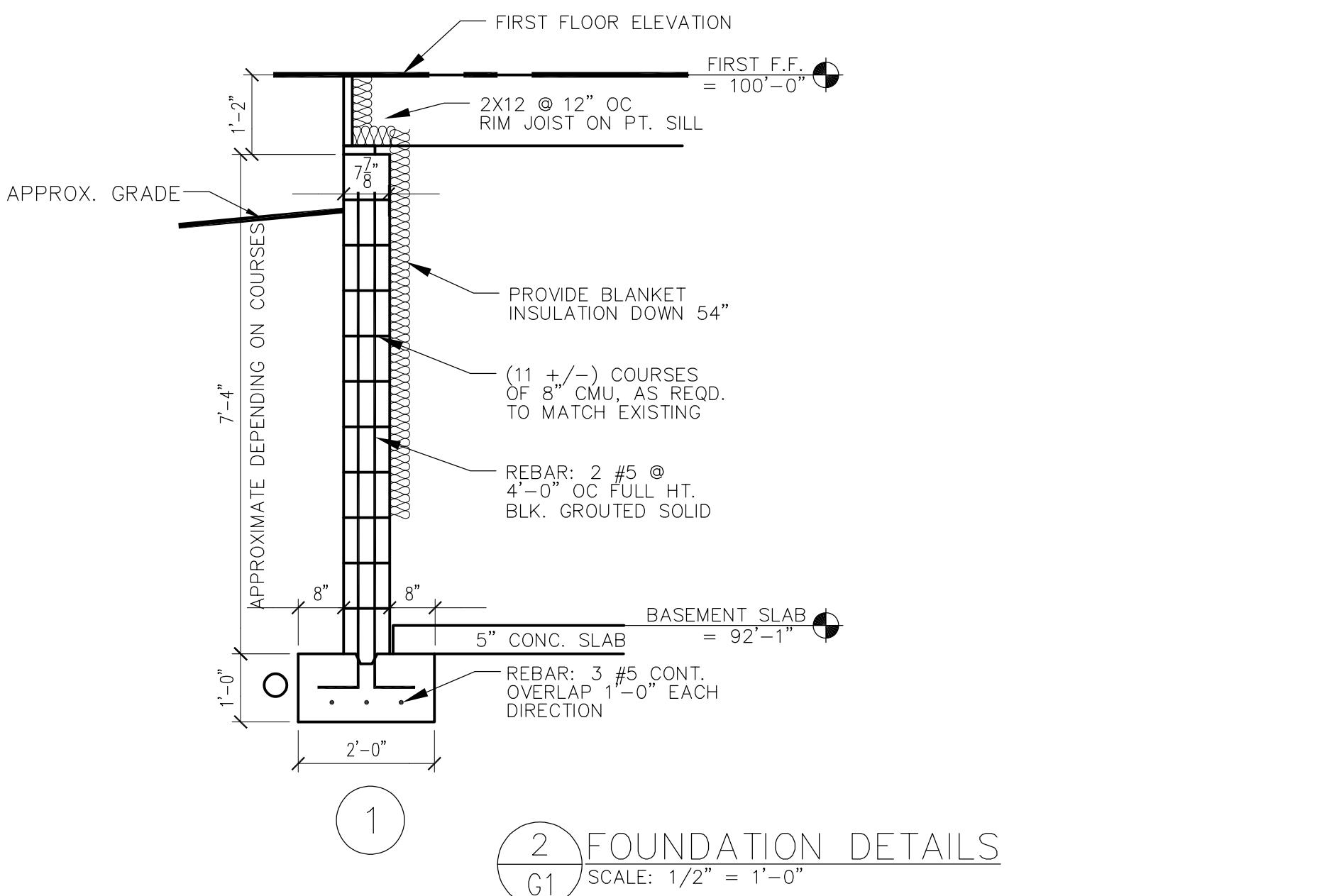
b. CONCRETE BLOCK WALLS (CMU) SHALL BE  
CONSTRUCTED WITH:  
i. GRADE 'N', TYPE I, HOLLOW LOAD BEARING CONCRETE  
MASONRY UNITS WITH A MINIMUM NET COMPRESSIVE STRENGTH  
OF 1900 P.S.I.  
ii. TYPE 'S' MORTAR.  
iii. HORIZONTAL RE-INFORCING: "DUR-O-WAL" TRUSS TYPE RE-  
INFORCING, CONTINUOUS THROUGHOUT EVERY OTHER BLOCK  
COURSE.  
iv. VERTICAL RE-INFORCING: RE-INFORCE WALLS OF EXCAVATED  
AREA WITH NO. 7 VERTICAL REBARS AT 4'-0" O.C. AND AT EACH  
CORNER AND AT BOTH SIDES OF ANY OPENINGS IN THE  
FOUNDATION WALL(S).  
v. PLACE 5/8" DIAMETER BY 16" LONG SILL PLATE ANCHOR BOLTS  
AT EACH VERTICAL REBAR (WHERE OCCURRING) OR AT 32" O.C.  
AND AT EACH CORNER AND AT BOTH SIDES OF OPENINGS IN THE  
FOUNDATION WALL(S).

c. WATERPROOF WALLS OF EXCAVATED AREAS WITH TROWLED ON CEMENT,  
TWO COATS OF TROWLED ON ASPHALTIC BASE WATERPROOFING AND  
"WRAP AND DRAIN" WATERPROOFING SYSTEM.

d. PROVIDE 4" DIAMETER PERFORATED DRAINAGE TILE AT THE  
PERIMETER OF ALL FOUNDATION WALLS IN EXCAVATED  
AREAS. COVER THE JOINTS OF THE DRAINS WITH  
GEOTEXTILE FABRIC. COVER THE JOINTS IN THE DRAIN TILE WITH A  
MINIMUM OF 18" POROUS GRAVEL FILL. WRAP THE ENTIRE  
TILE/FILL ASSEMBLY IN GEOTEXTILE FABRIC WITH LAP SEAMS  
A MINIMUM OF 8".

9. STRUCTURAL STEEL:  
a. ALL STRUCTURAL STEEL SHALL COMPLY WITH ASTM SPECIFICATION  
A-36.  
b. UNLESS OTHERWISE NOTED, PROVIDE A P.T. 2 BY PLATE BOLTED TO  
THE TOP FLANGE OF ALL BEAMS WITH 1/2" DIA. ANCHOR BOLTS  
STAGGERED AT 2'-0" O.C. RIGIDLY FASTEN ALL CONNECTING  
RAFTERS/JOISTS A MINIMUM OF 8".

10. CARPENTRY:  
a. UNLESS OTHERWISE NOTED, FRAMING LUMBER SHALL BE DOUG-FIR,  
CONSTRUCTION GRADE. BEAMS,-Headers AND FLOOR JOISTS  
SHALL HAVE AN ALLOWABLE BENDING STRESS OF 1200 P.S.I.  
b. UNLESS OTHERWISE NOTED PROVIDE:  
i. DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR  
OPENINGS.



- DOUBLE FLOOR JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL TO THE DIRECTION OF THE FLOOR FRAMING AND UNDER TUBS, SHOWERS AND TOILETS.
- TRIPLE 2 X 12 HEADERS WITH 1/2" HIGH 'R' BETWEEN ALL DOOR AND WINDOW OPENINGS. DOUBLE 14" LVL'S @ GARAGE DOORS.
- TWO ROWS OF SOLID 2X12 BLOCK BRIDGING PER JOIST SPAN.
- FLOOR CONSTRUCTION: 23/32" TONGUE AND GROOVE ADVANTECH SHEATHING. GLUE AND SCREW ADVANTECH TC FLOOR JOISTS.
- USE WATER RESISTANT GYPSUM BOARD FOR WALLS AND CEILINGS IN ALL BATH AND TOILET AREAS, AND USE MARINE GRADE PLYWOOD IN THESE AREAS.
- EXTERIOR WALL SHEATHING: 7/16" X 48" X 96" EXTERIOR GRADE OSB.
- ALL INTERIOR WALLS AND CEILINGS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD. PROVIDE METAL CORNER RE-INFORCING AT ALL EXTERIOR CORNERS. TAPE, FLOAT AND SAND A MINIMUM OF THREE COATS.
- WOOD TRUSSES SHALL BE DESIGNED BY AN ARCHITECT OR ENGINEER, OTHER THAN LICENSEE OF THESE DRAWINGS, LICENSED TO PRACTICE WITHIN THE STATE OF NEW YORK. STRUCTURAL AND INSTALLATION BRACING SHALL BE DESIGNED BY THE MANUFACTURER OF THE TRUSSES.
- INTERIOR TRIM AND FINISHES ARE SELECTED BY THE OWNER AND PROVIDED BY THE CONTRACTOR AS PART OF THESE DOCUMENTS.

11. MISCELLANEOUS: UNLESS OTHERWISE NOTED, PROVIDE:  
a. R-21 FIBERGLASS BATT INSULATION IN ALL EXTERIOR WALLS, R-30 FIBERGLASS BATT INSULATION IN ALL FLOORS AND R-38 BATT FIBERGLASS INSULATION IN ALL CEILINGS, ROOFS OR TRUSSES ADJACENT TO THE EXTERIOR OR UNHEATED INTERIOR SPACES. SPRAYED FOAM INSULATION MAY ALSO BE USED PER MANUF. RECOM.  
b. 1" OF RIGID INSULATION SHELTER-SHEATH AGAINST THE INTERIOR SIDE OF THE EXTERIOR CONCRETE BLOCK WALLS ALLOWING 1/2" OF AIR SPACE BETWEEN CMU AND RIGID INSUL.. TAPE ALL SEAMS FOR VAPOR BARRIER.  
c. PROVIDE KRAFT FACE INSULATION FOR ALL BATT INSULATION TO ASSIST AS A VAPOR BARRIER ON THE INTERIOR SIDE OF ALL THERMAL INSULATION, PRIOR TO APPLYING FINISH.  
d. INSULATING GLAZING AT ALL EXTERIOR GLASS AREAS AND TEMPERED GLAZING IN ALL GLAZED OPENINGS LESS THAN 30" ABOVE FINISH FLOOR.  
e. CAULKING AT ALL PERIMETERS OF WINDOWS, DOORS AND BOTTOM PLATES.

12. SITE INSPECTIONS SHALL BE MADE BY THIS ARCHITECT. ALTHOUGH THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL MATERIALS AND WORKMANSHIP, MATERIAL SUBSTITUTIONS SHALL BE MADE ONLY IF APPROVED BY THE ARCHITECT.

13. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL STATE, LOCAL AND FEDERAL CODES THAT GOVERN CONSTRUCTION AND VARIATIONS FROM THESE PLANS. CONTRACTOR RESPONSIBLE FOR PERMITTING.

14. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL CONDITIONS PRIOR TO THE START OF WORK.

15. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS IN CONNECTION WITH THIS PROJECT.

16. THE CONTRACTOR/OWNER SHALL PERFORM EXPLORATORY EXCAVATION AND DEMOLITION AS REQUIRED TO NOTIFY THE ARCHITECT OF ANY UNFORESEEN CONDITIONS THAT MAY AFFECT THE OUTCOME OF THE PROJECT, PRIOR TO THE START OF CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DEVELOP THE NECESSARY FOUNDATION SOIL REQUIRED TO SUSTAIN THE LOADS OF THE DESIGN OF THE 2.5 TONS PER SQUARE FOOT AND TO HIRE A SOILS ENGINEER TO IMPACT AND VERIFY SOIL CONDITIONS PRIOR TO THE POURING OF FOUNDATIONS.

17. THE CONTRACTOR SHALL REQUEST THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF ALL CONSTRUCTION INCLUDING SEPTIC SYSTEM.

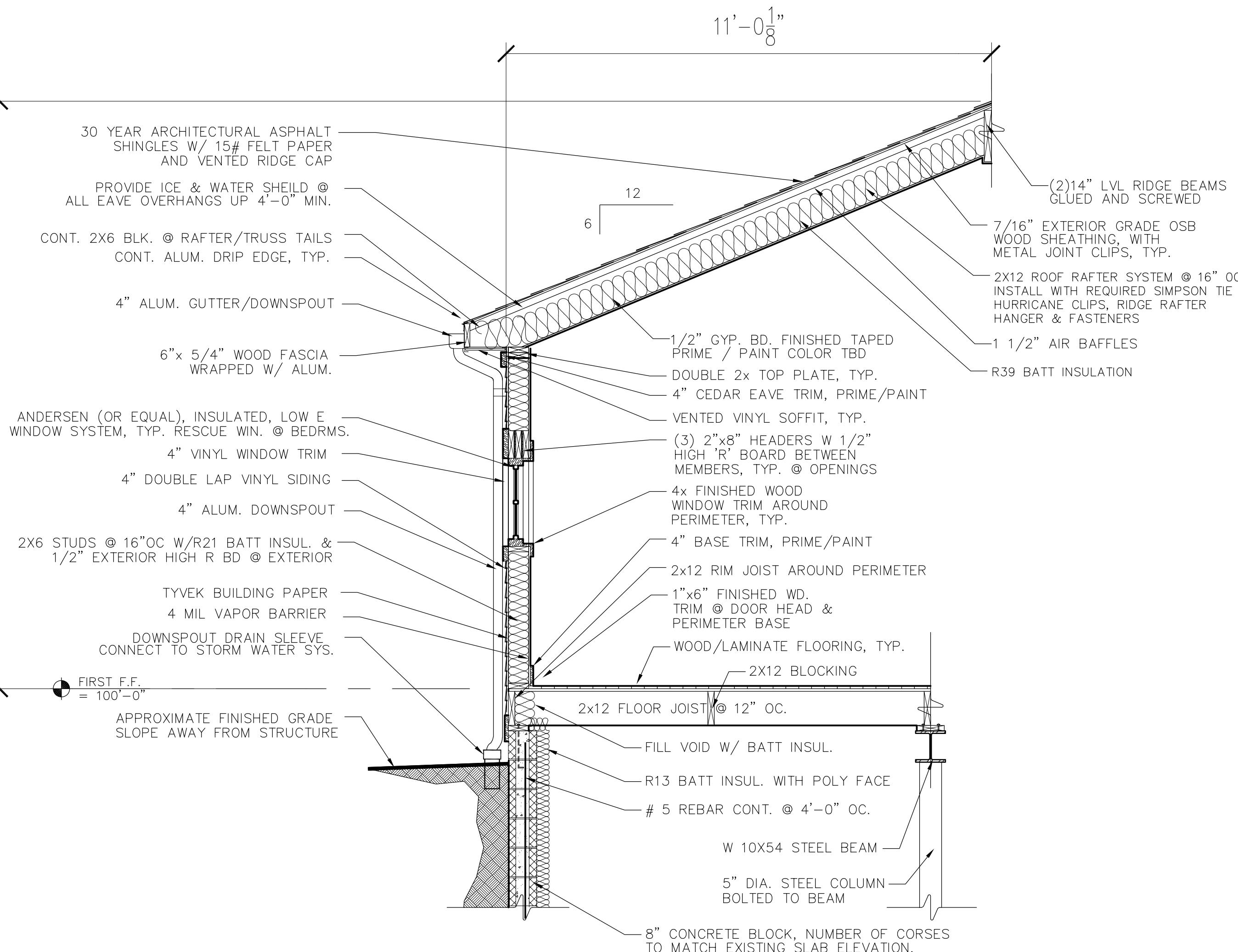
18. THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND THE OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY AND ALL CLAIMS ARISING FROM INJURY DURING CONSTRUCTION, INCLUDING FAILURE TO MAINTAIN SAFE CONDITIONS ON THE CONSTRUCTION SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH 'OSHA' STANDARDS.

19. THESE DRAWINGS HAVE BEEN PREPARED FOR DESIGN AND STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL, PLUMBING AND OTHER BUILDING SYSTEMS, ARE TO BE ANALYZED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND ARE THE RESPONSIBILITY OF THE CONTRACTOR FOR SIZING AND REPLACEMENT FOR HEATING, COOLING & VENTILATION.

20. DECK FRAMING, GUARD POSTS, RAILINGS & GUARDS SHALL BE PROVIDED PER THE 2018 AMERICAN WOOD COUNCIL DCA-9 PRESCRIPTIVE RESIDENTIAL WOOD DECK CONSTRUCTION GUIDE.

21. SMOKE AND CARBON MONOXIDE ALARMS ARE TO BE PROVIDED PER SECTION 705 & INSTALLED/MAINTAINED IN ACCORDANCE WITH SECTION 915 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

22. ALL WINDOWS ARE TO BE ANDERSEN SERIES 200 OR EQUAL. MATCH SIZES AS CLOSE AS POSSIBLE TO SIZE LABELED ON PLANS. STYLE AND COLORS TO BE APPROVED BY OWNER PRIOR TO ORDERING. SIZES LISTED IN INCHES.



REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION



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ADDITION/RENOVATIONS

619 APPLEGROVE CIRCLE  
WEBSTER, NY 14580

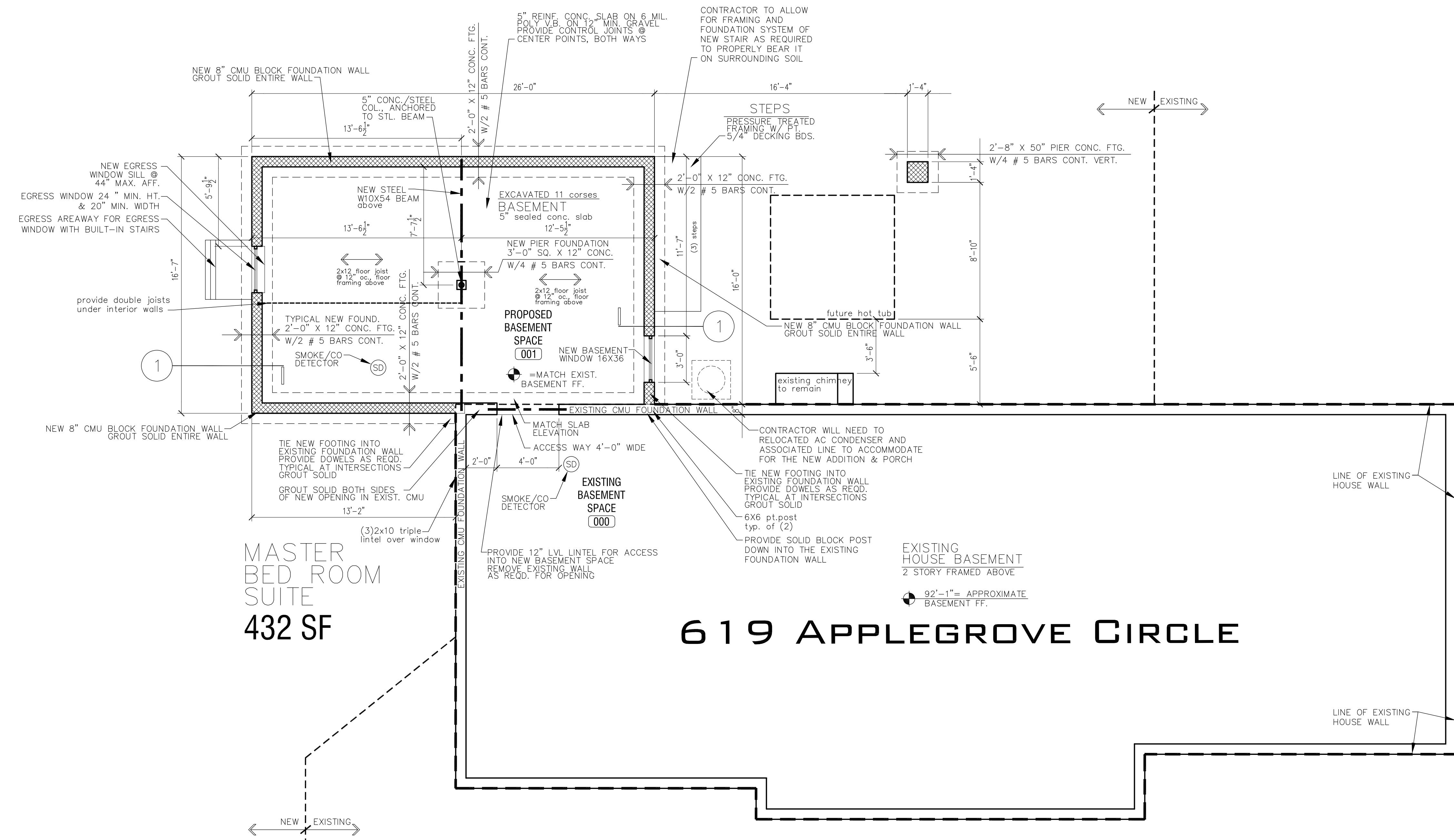
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03/12/25	DAP	DAP

SCALE AS NOTED

SHEET TITLE  
GENERAL REQ./  
SPECIFICATIONS,  
DETAILS & VIEWS

PROJECT NUMBER
G1

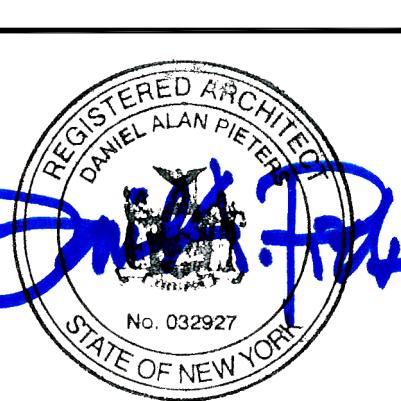
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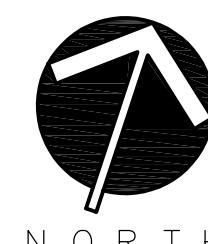
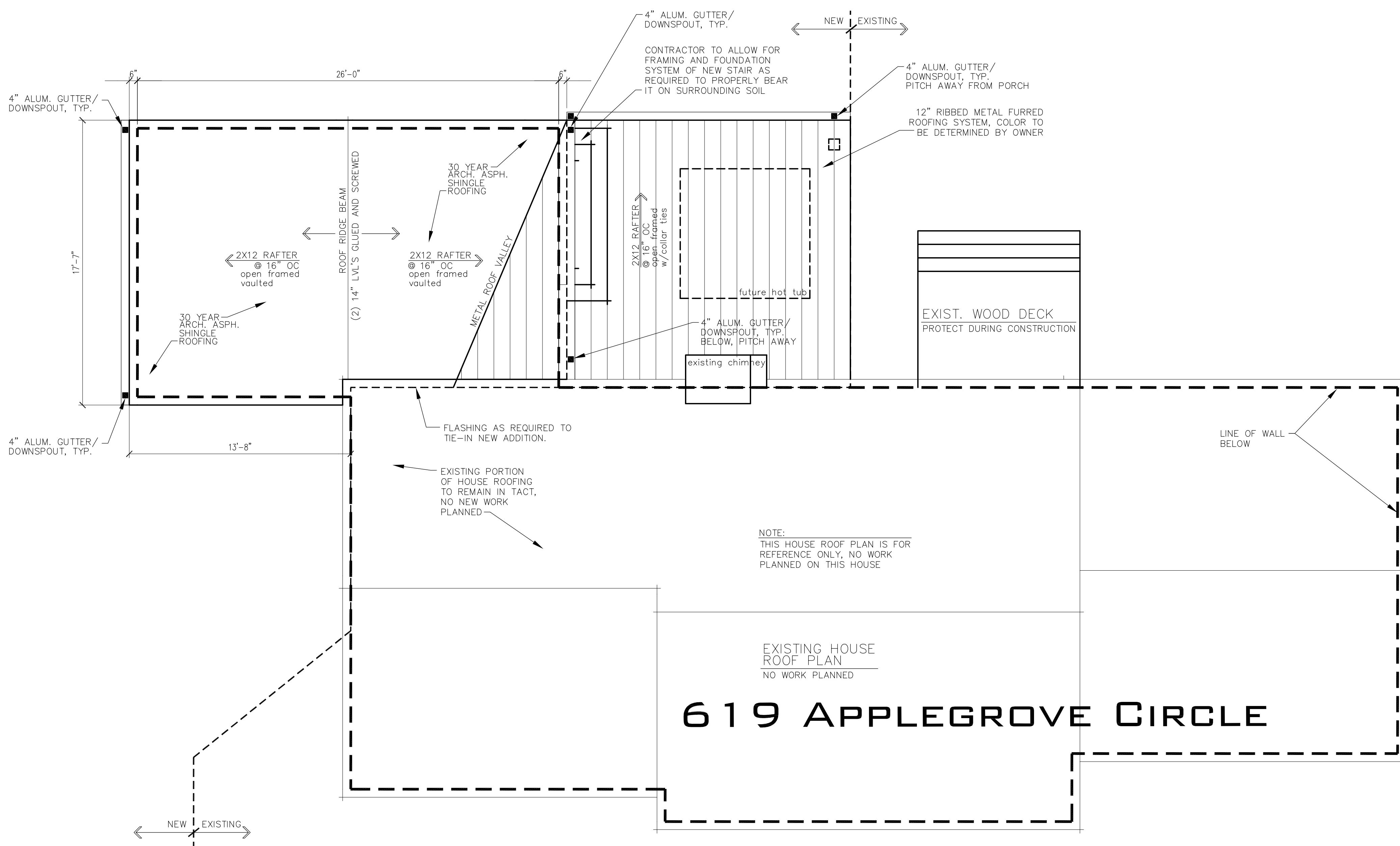
SCALE AS NOTED

SHEET TITLE

FOUNDATION PLAN

PROJECT NUMBER	A0
DRAWING NUMBER	A0





1  
A2  
ROOF PLAN  
SCALE: 1/4" = 1'-0"

ROOFING NOTES: UNLESS OTHERWISE NOTED

1. PROVIDE ICE AND WATER SHEILD ON ROOF TO COMPLY WITH SECTION 905.2.7.1 OF THE NYS BUILDING CODE; ICE AND WATER SHEILD SHOULD BE A MINIMUM OF 4'-0" UP THE ROOF PITCH FROM THE EAVE EDGE.
2. PROVIDE PROPER FLASHING AT WALL INSTALLATION OF ADDITION. CONSULT WITH FLASHING MANUFACTURER PRIOR TO INSTALLATION.
3. PROVIDE NEW 30+ YR. LIMITED LIFETIME ASPHALT ARCHITECTURAL ROOFING SYSTEM ON THE ENTIRE NEW BUILDING ADDITIONS ONLY. COLOR TBD.
4. ROUTE ALL 4" GUTTERS & DOWNSPOUTS TO THE UNDERGROUND PIPING SYSTEM IF POSSIBLE. IF STORM DOWNSPOUTS DO NOT EXIST, ROUTE PIPING TO DAYLIGHT IN 4" PERFORATED DRAIN TILE TOWARDS THE LOW SITE GRADE.

REVISIONS	NO.	DATE	BY	CHECKED	DESCRIPTION



HOWLEY RESIDENCE  
ADDITION/RENOVATIONS

619 APPLEGROVE CIRCLE  
WEBSTER, NY 14580

DATE 03/12/25	DRAWN DAP	CHECKED DAP
SCALE AS NOTED		
SHEET TITLE ROOF PLAN		

PROJECT NUMBER A2
DRAWING NUMBER

619 APPLEGROVE CIRCLE  
WEBSTER, NEW YORK 14580

WEBSTER, NEW YORK 14580



# HOWLEY RESIDENCE ADDITION/RENOVATIONS

619 APPLEGROVE CIRCLE  
WEBSTER, NY 14580

DATE 3/12/25	DRAWN DAP	CHECKED DAP
SCALE $1/4'' = 1'-0''$		
<b>SHEET TITLE</b>		
EXTERIOR ELEVATIONS ORTH, SOUTH AST & WEST		
<b>PROJECT NUMBER</b>		
A3		
<b>DRAWING NUMBER</b>		