

# HOWLEY RESIDENCE

## ADDITION AND RENOVATIONS

### DRAWING LIST:

T1	TITLE SHEET AND SYMBOLS
S1	SITE PLAN & BULK REQUIREMENTS
G1	GENERAL REQUIREMENTS, SPECIFICATIONS, DETAILS & VIEWS
A0	FOUNDATION PLAN
A1	FIRST FLOOR PLAN
A2	ROOF PLAN
A3	EXTERIOR ELEVATIONS, NORTH, SOUTH, EAST & WEST

### ADDRESS:

619 APPLGROVE CIRCLE  
WEBSTER, NEW YORK 14580

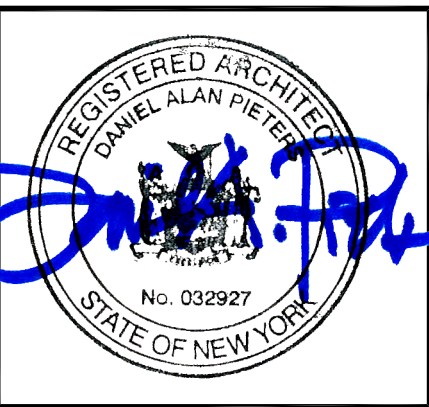
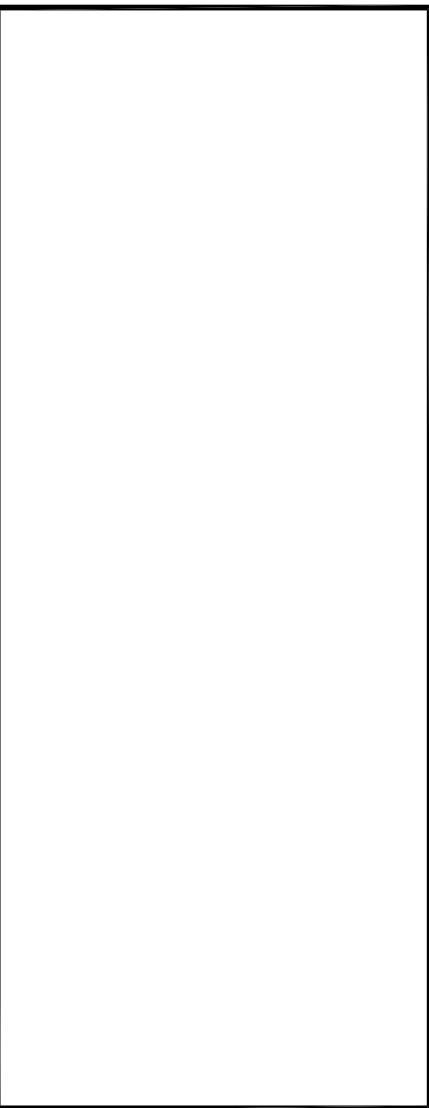
### ARCHITECT CERTIFICATION:

TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE ANDTHE STATE ENERGY CONSTRUCTION CODE.

## LIST OF ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	CM	CONSTRUCTION MANAGER	ENTR	ENTRANCE	HORZ	HORIZONTAL	MEZZ	MEZZANINE	QTB	QUARRY TILE BASE	T&G	TONGUE & GROOVE
AP	ACCESS PANEL	CM	COLD WATER	EQ	EQUAL EQUIPMENT	HB	HOSE BIBB	MM	MILLIMETER	RAD	RADIUS	T&B	TOP & BOTTOM
ACOUS	ACOUSTICAL	CFMF	COLD FORMED MET FRAMING	EQUIP	EQUIPMENT	HW	HOT WATER	MIN	MINIMUM	RECP	RECEPTACLE	T&B	TOP & BOTTOM
ADJ	ADJACENT	CMU	CONCRETE MASONRY UNIT	EST	ESTIMATE(D)	HR	HOUR	MISC	MISCELLANEOUS	REF	REFERENCE	TOEA	TOP OF EDGE ANGLE
ACT	ACOUSTICAL CEILING TILE	COL	COLUMN	EXHST	EXHAUST	INCAND	INCANDESCENT	MR	MOISTURE RESISTANT	REFR	REFRIGERATOR	TOS	TOP OF SLAB/STEEL
AMP	ACOUSTICAL WALL PANEL	CONC	CONCRETE	EXIST	EXISTING	IN	INCH	MTD	MOUNTED	RE	REFER TO	TOW	TOP OF WALL
A/C	AIR CONDITIONING	COND	CONDUCTOR	EXP	EXPANSION	INCL	INCLUDING	NA	NOT APPLICABLE	REINF	REINFORCED(ING)	T,TR	TREAD
ALT	ALTERNATE	CONN	CONNECTION	EXP JT	EXPANSION JOINT	ID	INSIDE DIAMETER	NAT	NATURAL	REQ'D	REQUIR(ED)	TD	TRENCH DRAIN
ALUM	ALUMINUM	CONST	CONSTRUCTION	ETR	EXISTING TO REMAIN	INSUL	INSULATION	NRC	NOISE REDUCTION COEF.	REV	REVISED	TYP	TYPICAL
AB	ANCHOR BOLT	CJT	CONSTRUCTION JOINT			INT	INTERIOR	NOM	NOMINAL	RCWB	REINFORCED GYPSUM WALL BOARD	UL	UNDERWRITERS LAB
<	ANGLE	CONT	CONTINUOUS	F	FABRIC	INTERM	INTERMEDIATE	N	NORTH	R	RIGHT HAND	UNFIN	UNFINISHED
ANOD	ANODIZED	CONTR	CONTRACTOR	FT	FEET	INV	INVERT	NIC	NOT IN CONTRACT	RH	RISER	UNO	UNLESS NOTED OTHERWISE
APPROX	APPROXIMATE			FIG	FIGURE	IP	IRON PIPE	NTS	NOT TO SCALE	RD	ROOF DRAIN	U	URINAL
ARCH	ARCHITECT, ARCHITECTURAL	CORR	CORRUGATED	FIN	FINISH	JAN	JANITOR	NO, #	NUMBER	RM	ROOM	VEND	VENDER
AD	AREA DRAIN			FF	FINISHED FLOOR	JS	JANITOR SINK			RO	ROUGH OPENING	VEN	VEENER
@	AUTOMATIC	CFT	CUBIC FOOT	FEC	FIRE EXTINGUISHER AND CABINET	JT	JOINT	OC	ON CENTER	ROB	RUN-OF-BANK	VF	VERIFY IN FIELD
		CYD	CUBIC YARD	FH	FIRE HOSE			OPNG	OPENING	RW	RESOLVE WINDOW	VERT	VERTICAL
				FL, FLR	FLOOR	KW	KILOWATT	OD	OUTSIDE DIAMETER			VEST	VESTIBULE
BSMT	BASEMENT	DL	DAMP PROOFING	FD	FLOOR DRAIN	KWH	KILOWATT HOUR	OH	OVERHEAD	SALV	SALVAGE	VN	VINYL
BM	BEAM	DB	DECEBEL	FLUOR	FLUORESCENT	K	KIP	PTD	PAINTED	SAN	SANITARY	VB	VINYL BASE
BP	BEARING PLATE	DEMO	DEMOLISH	FT	FOOT	KIT	KITCHEN	PR	PAPER TOWEL RECEPTOR	SCHED	SCHEDULE	VCT	VINYL COMPOSITION TILE
BM	BENCH MARK	DEPT	DEPARTMENT	FTG	FOOTING			PTR	PARKING	SEC	SECOND	VF	VINYL FABRIC
BTUM	BITUMINOUS	DET,DTL	DETAIL	FND	FOUNDATION	LBL	LABEL	PKG	PACKING	SECT	SECTION	VWC	VINYL WALL COVERING
BLKG	BLOCKING	DIA	DIAMETER	FS	FULL SIZE	LAM	LAMINATE(ED)	PART BD	PARTIAL BOARD	SHT	SHEET	VT	VINYL TILE
BLK	BLOCK	DIM	DIMENSION	FUT	FUTURE	LAV	LAVATORY	PART	PARTITION	SIM	SIMILAR	VOL	VOLUME
BD	BOARD	DISP	DISPENSER			LVR	LAYER	PVMT	PAVEMENT	SC	SOUND CORE		
BO	BY OWNER	DSP	DISPOSAL	GALV	GALVANIZED	LDR	LEADER	PLM	PLASTIC LAMINATE	STC	SOUND TRANSMISSION COEFFICIENT	WH	WALL HUNG
BOT	BOTTOM	DO	DITTO, REPEAT, SAME	G	GAS	DR	DOOR	PL	PLATE	S	SOUTH	W	WATER
BRK	BRICK	DBL	DOUBLE	GR	GENERAL CONTRACTOR	LB	LIBRARY	PLBG	PLUMBING	SCS	SPECIAL COATING SYSTEM	WC	WATER CLOSET
BLDG	BUILDING	DN	DOWN	GL	GLASS, GLAZING	LT	LIGHT	PLYWD	PLYWOOD	SO	SQUARE	WR	WATER RESILIENT/RESISTANT
BN	BULLNOSE	DS	DOWNSPOUT	GB	GRAB BAR	LW	LIGHT WEIGHT	PVC	POLYVINYL CHLORIDE	SS	STAINLESS STEEL	WT	WEIGHT
CAB	CABINET	DT	DRAIN TILE	GR	GRADE, GRADING	LL	LIVE LOAD	LB	POUND	STD	STANDARD	WWF	WELDED WIRE FABRIC
CI	CAST IRON	DWR	DRAWER	GSF	GROSS SQUARE FOOT	MACH	MACHINE	PCF	POUNDS PER CUBIC FOOT	STL	STEEL	WWM	WELDED WIRE MESH
CPT	CARPET(ED)	DWG	DRAWING	CYP	GYPSUM	MHC	MAN HOLE COVER	PLF	POUNDS PER LINEAR FOOT	STOR	STORAGE	WIND	WINDOW
CSMT	CASEMENT	DF	DRINKING FOUNTAIN	EA	EACH	MFR	MANUFACTURE	PSF	POUNDS PER SQUARE FOOT	STRUCT	STRUCTURAL	W/	WITH
CB	CATCH BASIN	DWC	DRYWALL CHANNEL	E	EACH FACE	MFR	MANUFACTURER	PRE CONC	PRECAST CONCRETE	SQFT	STRUCTURAL GLAZED FACING TILE	W/O	WITHOUT
CLG	CEILING	EW	EACH WAY	ELEC	ELECTRICAL	MAS	MASONRY	PRE FAB	PREFABRICATED	ST,STL	STRUCTURAL STEEL	WO	WOOD
CLG HT	CEILING HEIGHT	E	EAST	ELEV	ELEVATION	MO	MASONRY OPENING	PT, PTD	PAINT, PAINTED	SUSP	SUSPENDED	WI	WROUGHT IRON
CEM	CEMENT	EMER	EMERGENCY	EL	ELEVATOR	MAT	MATERIALS	PT	PRESSURE TREATED	SAT	SUSPENDED ACOUSTICAL TILE	YD	YARD
CL	CENTER LINE	ENCL	ENCLOSURE	HT, HGT	HEIGHT	MECH	MECHANICAL	PS CONC	PRESTRESSED CONCRETE	TEL	TELEPHONE		
CM	CENTIMETER			HWY	HIGHWAY	MET	METAL	QTY	QUANTITY	TV	TELEVISION		
CER	CERAMIC			HM	HOLLOW METAL	M	METER	QT	QUARRY TILE	TEMP	TEMPERATURE		
CT	CERAMIC TILE									THK	THICKNESS		
CB	CHALK BOARD									TPD	TOILET PAPER DISPENSER		
CIRC	CIRCUMFERENCE									TR	TOILET ROOM		
CO	CLEAN OUT												
CLR	CLEAR												
CLOS	CLOSET												

REVISIONS	NO.	DATE	BY	CHECKED	DESCRIPTION



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WEBSTER, NY 14580

DATE	DRAWN	CHECKED
03/12/25	DAP	DAP
SCALE AS NOTED		
SHEET TITLE		
TITLE SHEET		

PROJECT NUMBER
T1
DRAWING NUMBER

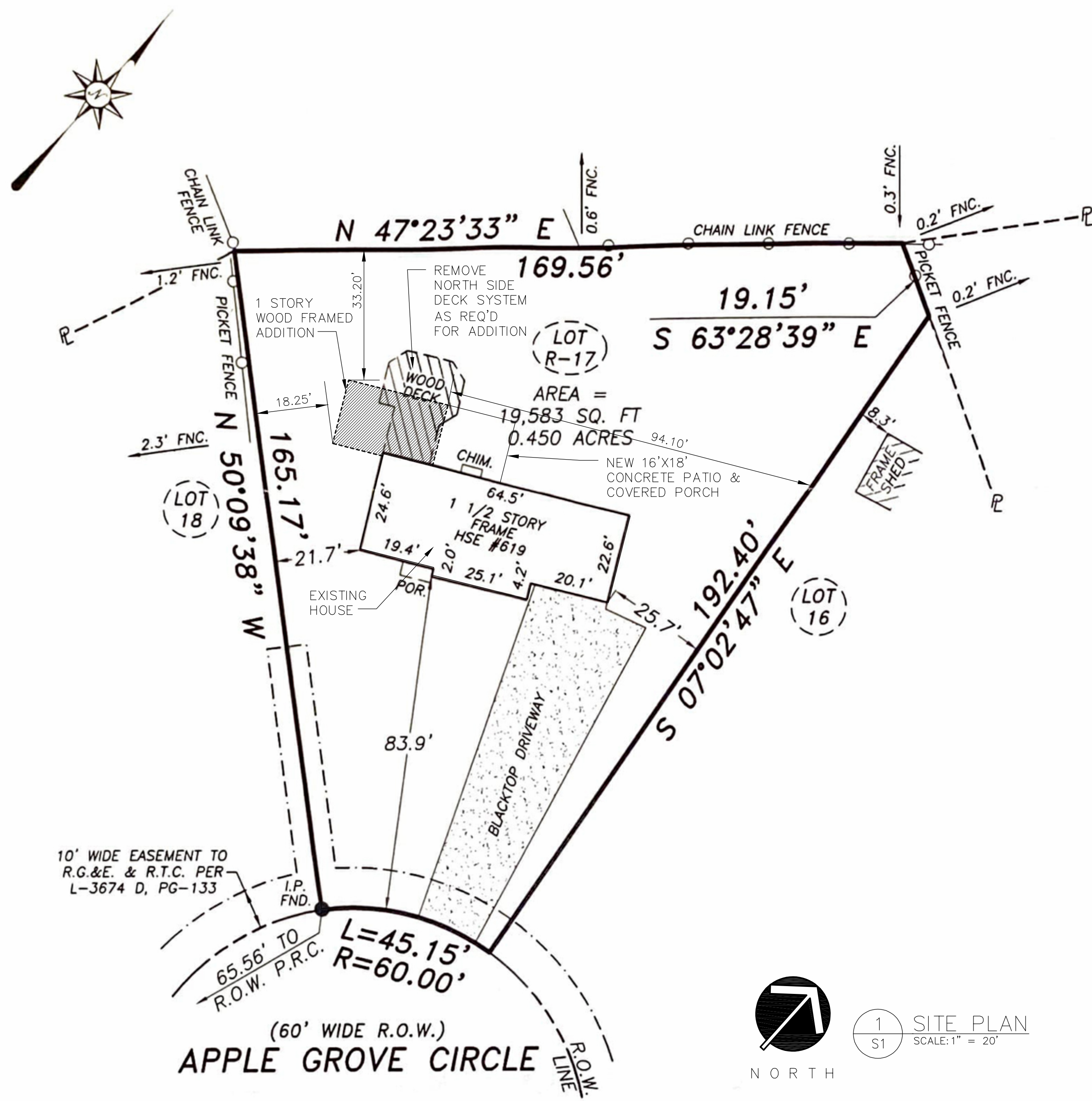
## MATERIAL SYMBOLS

	EARTH		BRICK		GROUT/MORTAR
	ROCK		STEEL/MISC. METAL		NON-FERROUS (TYPE AS NOTED)
	GRAVEL TYPE 1 (ENGINEERED FILL)		STONE		ROUGH WOOD / BLOCKING
	PRECAST CONCRETE		TERRAZZO		WOOD, FINISHED WOODWORK
	CRUSHED STONE		MARBLE		PLYWOOD (LARGE SCALE)
	CONCRETE MASONRY UNIT		CERAMIC TILE		GYPSUM BOARD

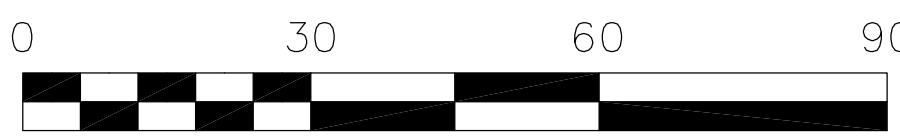
## GRAPHIC SYMBOLS

	COLUMN CENTERLINE A		PARTITION TYPE 3(1 HR RATED)		PROPERTY LINE
	DETAIL #3 ON SHEET A201		REVISION NO. 1		FENCE
	BUILDING SECTION (NO.)OR WALL SECTION (LETTER) ON SHEET A201		EXISTING SPOT ELEVATION		EXISTING TREE TO REMAIN
	ROOM NUMBER 109		FINISHED SPOT ELEVATION		EXISTING TREE TO BE REMOVED
	ELEVATION #2, 4 ON SHEET A201		EXISTING CONTOURS		BENCHMARKS, FLOOR ELEV., OR OTHER VERTICAL ELEV.
	DOOR NUMBER 109		FINISHED CONTOURS		KEYNOTE SYMBOL - DEMOLITION AND NEW CONSTRUCTION





NOTES:  
EXISTING TREES/BUSHES NOT SHOWN FOR CLARITY.  
ALL DOWNSPOUTS ARE TO BE CONNECTED TO UNDERGROUND DRAINAGE ROUTED TO THE NORTH OF THE PROPERTY TOWARDS THE STREAM.  
CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. RE-ROUTE AS REQUIRED TO ACCOMMODATE FOR NEW ADDITIONS.  
CONTRACTOR TO ADJUST DECK AS REQUIRED TO ALLOW FOR PROPER CONNECTION AND FLOW IN AND OUT OF EXISTING PERIMETER DECKING.



LEGEND:

NEW ADDITIONS

BULK REQUIREMENTS:		TAX ACCOUNT NUMBER: 064.11-3-36
TOWN OF WEBSTER, NY ZONE: R-2 - SINGLE FAMILY RESIDENTIAL DISTRICT		
MINIMUM LOT SIZE		
AREA:	28,000 SQUARE FEET	
WDTH:	100 FEET OR 55 FEET ON CULDESAC	
FRONTAGE:	-NA-	
REQUIRED SETBACKS	FRONT: 60 FEET/70 HIGHWAYS	
PRINCIPAL BUILDING:	50 FEET ON CORNER LOTS	
	REAR: 55 FEET - 33.2 FEET PROVIDED	
	SIDE: 15 FEET/5 DRIVEWAYS	
	18.25 FEET AND 94.10 FEET PROVIDED	
MAXIMUM HEIGHT OF STRUCTURES:		30 FEET - 15'-7" PROVIDED
MAXIMUM BUILDING COVERAGE ON LOT		20% ALLOWABLE OR 3,916 SF.
(non - applicable / NA)		10.3% PROVIDED OR 2,032 SF.
		19,583 SF. OF ENTIRE SITE

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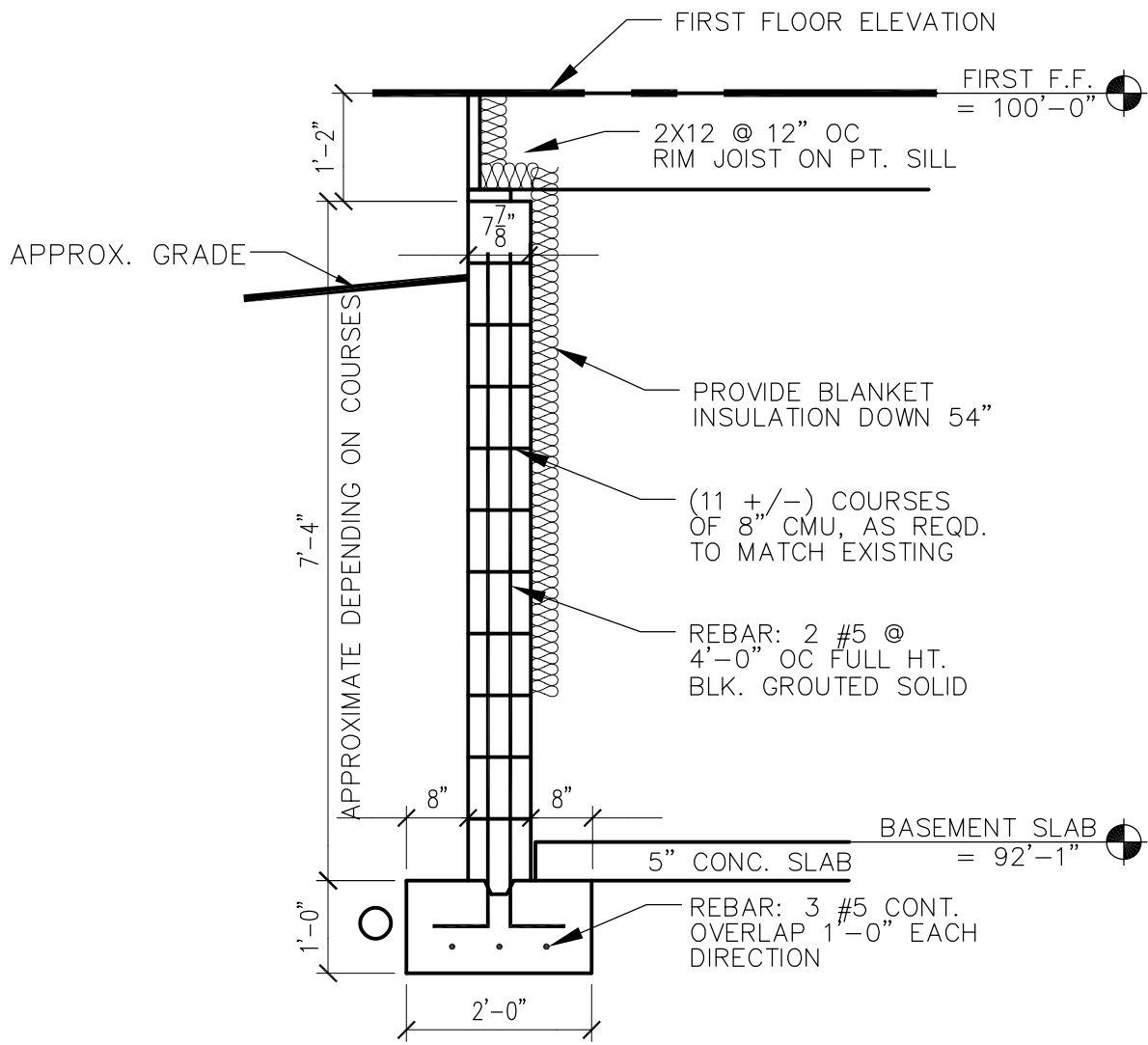
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03/12/25	DAP	DAP
SCALE AS NOTED		
SHEET TITLE		
SITE PLAN & BULK REQUIREMENTS		

PROJECT NUMBER  
DRAWING NUMBER  
S1



SPECIFICATIONS/GENERAL NOTES:

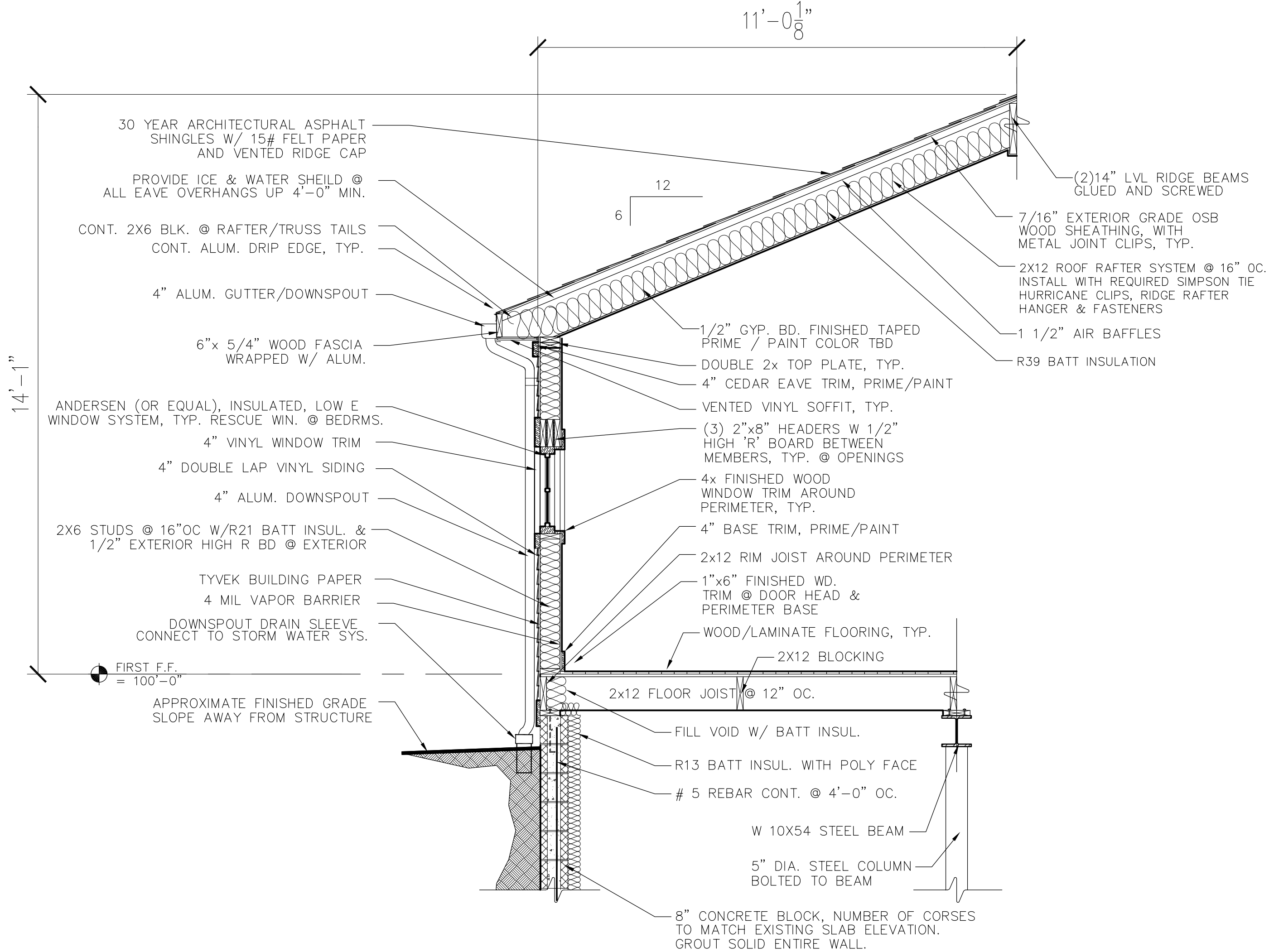
1. IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.
2. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.
3. TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THESE DRAWINGS ARE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.
- Daniel A. Pieters* 03/12/2025  
Daniel A. Pieters Date:
4. COPYRIGHTS: THESE WORKING DRAWINGS ARE PROVIDED TO MAKE THE DETAILS OF THE BUILDING SHOWN AVAILABLE TO THE CLIENT AND TO THE CONTRACTOR CONSTRUCTING THIS PROJECT. ANY REPRODUCTION OF THIS DESIGN, IN WHOLE OR IN PART, IS PROHIBITED BY THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA.
5. DESIGN LOADS:  
FLOOR: 50 P.S.F. LIVE LOAD 20 P.S.F. DEAD LOAD ROOF: 50 P.S.F. LIVE LOAD 20 P.S.F. DEAD LOAD
6. SOIL PRESSURE: ASSUMED TO BE 3000 P.S.F. (GEOTECH. DATA NOT THE RESPONSIBILITY OF THE ARCHITECT). FINAL SELECTED SITE IS UNKNOWN BY THIS ARCHITECT.
7. CONCRETE (ONCE FINAL SITE IS SELECTED):  
a. UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE SHALL BE 3500 P.S.I. 5" CONCRETE SLAB (28 DAY COMPRESSIVE STRENGTH) OVER A 6 MIL. POLYETHYLENE VAPOR BARRIER ON 8" POROUS GRAVEL. REINFORCING SHALL BE 6X6 - W1.4 X W1.4 WELDED WIRE MESH.  
b. PROVIDE #5 BAR @ 4'-0" OC. BETWEEN ALL CONCRETE SLABS AND ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN ALL LOCATIONS EXTERIOR OR UNHEATED INTERIOR SPACES. PROVIDE 2" OF RIGID INSULATION UNDER SLAB AND 2'-0" DOWN FOUNDATION WALL.
8. FOUNDATIONS (ONCE FINAL SITE IS SELECTED):  
a. FOUNDATION FOOTINGS SHALL REST UPON UNDISTURBED (ORIGINAL) SOIL. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. MINIMUM TOP OF FOOTING COVERAGE IS 4'-0"  
b. CONCRETE BLOCK WALLS (CMU) SHALL BE CONSTRUCTED WITH:  
i. GRADE 'N', TYPE I, HOLLOW LOAD BEARING CONCRETE MASONRY UNITS WITH A MINIMUM NET COMPRESSIVE STRENGTH OF 1900 P.S.I.  
ii. TYPE 'S' MORTAR.  
iii. HORIZONTAL RE-INFORCING: "DUP-O-WAL" TRUSS TYPE RE-INFORCING, CONTINUOUS THROUGHOUT EVERY OTHER BLOCK COURSE.  
iv. VERTICAL RE-INFORCING: RE-INFORCE WALLS OF EXCAVATED AREA WITH NO. 7 VERTICAL REBARS AT 4'-0" O.C. AND AT EACH CORNER AND AT BOTH SIDES OF ANY OPENINGS IN THE FOUNDATION WALL(S).  
v. PLACE 5/8" DIAMETER BY 16" LONG SILL PLATE ANCHOR BOLTS AT EACH VERTICAL REBAR (WHERE OCCURRING) OR AT 32" O.C. AND AT EACH CORNER AND AT BOTH SIDES OF OPENINGS IN THE FOUNDATION WALL(S).  
c. WATERPROOF WALLS OF EXCAVATED AREAS WITH TROWLED ON CEMENT, TWO COATS OF TROWLED ON ASPHALTIC BASE WATERPROOFING AND "WRAP AND DRAIN" WATERPROOFING SYSTEM.  
d. PROVIDE 4" DIAMETER PERFORATED DRAINAGE TILE AT THE PERIMETER OF ALL FOUNDATION FOOTINGS IN EXCAVATED AREAS. COVER THE JOINTS IN THE DRAIN TILE WITH GEOTEXTILE FABRIC. COVER THE JOINTS IN THE DRAIN TILE WITH A MINIMUM OF 18" POROUS GRAVEL FILL. WRAP THE ENTIRE TILE/FILL ASSEMBLY IN GEOTEXTILE FABRIC WITH LAP SEAMS A MINIMUM OF 8".
9. STRUCTURAL STEEL:  
a. ALL STRUCTURAL STEEL SHALL COMPLY WITH ASTM SPECIFICATION A-36.  
b. UNLESS OTHERWISE NOTED, PROVIDE A P.T. 2 BY PLATE BOLTED TO THE TOP FLANGE OF ALL BEAMS WITH 1/2" DIA. ANCHOR BOLTS STAGGERED AT 2'-0" O.C. RIGIDLY FASTEN ALL CONNECTING RAFTERS/JOISTS A MINIMUM OF 8".
10. CARPENTRY:  
a. UNLESS OTHERWISE NOTED, FRAMING LUMBER SHALL BE DOUG-FIR, CONSTRUCTION GRADE. BEAMS, HEADERS AND FLOOR JOISTS SHALL HAVE AN ALLOWABLE BENDING STRESS OF 1200 P.S.I.  
b. UNLESS OTHERWISE NOTED PROVIDE:  
i. DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS.



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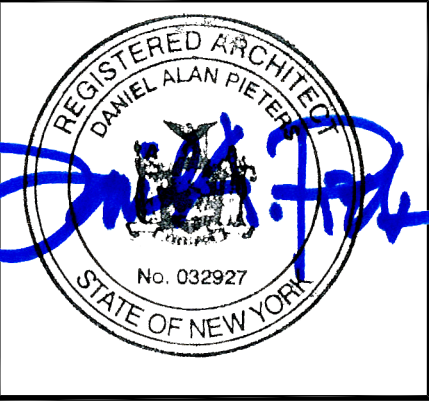
2 FOUNDATION DETAILS  
G1 SCALE: 1/2" = 1'-0"

- ii. DOUBLE FLOOR JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL TO THE DIRECTION OF THE FLOOR FRAMING AND UNDER TUBS, SHOWERS AND TOILETS.
- iii. TRIPLE 2 X 12 HEADERS WITH 1/2" HIGH 'R' BETWEEN ALL DOOR AND WINDOW OPENINGS. DOUBLE 14" LVL'S @ GARAGE DOORS.
- iv. TWO ROWS OF SOLID 2X12 BLOCK BRIDGING PER JOIST SPAN.
- v. FLOOR CONSTRUCTION: 23/32" TONGUE AND GROOVE ADVANTECH SHEATHING. GLUE AND SCREW ADVANTECH TO FLOOR JOISTS.
- vi. USE WATER RESISTANT GYPSUM BOARD FOR WALLS AND CEILINGS IN ALL BATH AND TOILET AREAS, AND USE MARINE GRADE PLYWOOD IN THESE AREAS.
- vii. EXTERIOR WALL SHEATHING: 7/16" X 48" X 96" EXTERIOR GRADE OSB.
- viii. ALL INTERIOR WALLS AND CEILINGS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD. PROVIDE METAL CORNER RE-INFORCING AT ALL EXTERIOR CORNERS. TAPE, FLOAT AND SAND A MINIMUM OF THREE COATS.
- c. WOOD TRUSSES SHALL BE DESIGNED BY AN ARCHITECT OR ENGINEER, OTHER THAN LICENSEE OF THESE DRAWINGS, LICENSED TO PRACTICE WITHIN THE STATE OF NEW YORK. STRUCTURAL AND INSTALLATION BRACING SHALL BE DESIGNED BY THE MANUFACTURER OF THE TRUSSES.
- d. INTERIOR TRIM AND FINISHES ARE SELECTED BY THE OWNER AND PROVIDED BY THE CONTRACTOR AS PART OF THESE DOCUMENTS.
11. MISCELLANEOUS: UNLESS OTHERWISE NOTED, PROVIDE:  
a. R-21 FIBERGLASS BATT INSULATION IN ALL EXTERIOR WALLS, R-30 FIBERGLASS BATT INSULATION IN ALL FLOORS AND R-38 BATT FIBERGLASS INSULATION IN ALL CEILINGS, ROOFS OR TRUSSES ADJACENT TO THE EXTERIOR OR UNHEATED INTERIOR SPACES. SPRAYED FOAM INSULATION MAY ALSO BE USED PER MANUF. RECOM.  
b. 1" OF RIGID INSULATION SHELTER-SHEATH AGAINST THE INTERIOR SIDE OF THE EXTERIOR CONCRETE BLOCK WALLS ALLOWING 1/2" OF AIR SPACE BETWEEN CMU AND RIGID INSUL., TAPE ALL SEAMS FOR VAPOR BARRIER.  
c. PROVIDE KRAFT FACE INSULATION FOR ALL BATT INSULATION TO ASSIST AS A VAPOR BARRIER ON THE INTERIOR SIDE OF ALL THERMAL INSULATION, PRIOR TO APPLYING FINISH.  
d. INSULATING GLAZING AT ALL EXTERIOR GLASS AREAS AND TEMPERED GLAZING IN ALL GLAZED OPENINGS LESS THAN 30" ABOVE FINISH FLOOR.  
e. CAULKING AT ALL PERIMETERS OF WINDOWS, DOORS AND BOTTOM PLATES.
12. SITE INSPECTIONS SHALL BE MADE BY THIS ARCHITECT. ALTHOUGH THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL MATERIALS AND WORKMANSHIP, MATERIAL SUBSTITUTIONS SHALL BE MADE ONLY IF APPROVED BY THE ARCHITECT.
13. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL STATE, LOCAL AND FEDERAL CODES THAT GOVERN CONSTRUCTION AND VARIATIONS FROM THESE PLANS. CONTRACTOR RESPONSIBLE FOR PERMITTING.
14. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL CONDITIONS PRIOR TO THE START OF WORK.
15. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS IN CONNECTION WITH THIS PROJECT.
16. THE CONTRACTOR/OWNER SHALL PERFORM EXPLORATORY EXCAVATION AND DEMOLITION AS REQUIRED TO NOTIFY THE ARCHITECT OF ANY UNFORESEEN CONDITIONS THAT MAY AFFECT THE OUTCOME OF THE PROJECT, PRIOR TO THE START OF CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DEVELOP THE NECESSARY FOUNDATION SOIL REQUIRED TO SUSTAIN THE LOADS OF THE DESIGN OF THE 2.5 TONS PER SQUARE FOOT AND TO HIRE A SOILS ENGINEER TO IMPACT AND VERIFY SOIL CONDITIONS PRIOR TO THE POURING OF FOUNDATIONS.
17. THE CONTRACTOR SHALL REQUEST THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF ALL CONSTRUCTION INCLUDING SEPTIC SYSTEM.
18. THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND THE OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY AND ALL CLAIMS ARISING FROM INJURY DURING CONSTRUCTION, INCLUDING FAILURE TO MAINTAIN SAFE CONDITIONS ON THE CONSTRUCTION SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH "OSHA" STANDARDS.
19. THESE DRAWINGS HAVE BEEN PREPARED FOR DESIGN AND STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL, PLUMBING AND OTHER BUILDING SYSTEMS, ARE TO BE ANALYZED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND ARE THE RESPONSIBILITY OF THE CONTRACTOR FOR SIZING AND REPLACEMENT FOR HEATING, COOLING & VENTILATION.
20. DECK FRAMING, GUARD POSTS, RAILINGS & GUARDS SHALL BE PROVIDED PER THE 2018 AMERICAN WOOD COUNCIL DCA-9 PRESCRIPTIVE RESIDENTIAL WOOD DECK CONSTRUCTION GUIDE.
21. SMOKE AND CARBON MONOXIDE ALARMS ARE TO BE PROVIDED PER SECTION 705 & INSTALLED/MAINTAINED IN ACCORDANCE WITH SECTION 915 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
22. ALL WINDOWS ARE TO BE ANDERSEN SERIES 200 OR EQUAL. MATCH SIZES AS CLOSE AS POSSIBLE TO SIZE LABELED ON PLANS. STYLE AND COLORS TO BE APPROVED BY OWNER PRIOR TO ORDERING. SIZES LISTED IN INCHES.



1 TYPICAL WALL SECTION  
G1 SCALE: 1/2" = 1'-0"

REVISIONS	NO.	DATE	BY	CHKD	DESCRIPTION

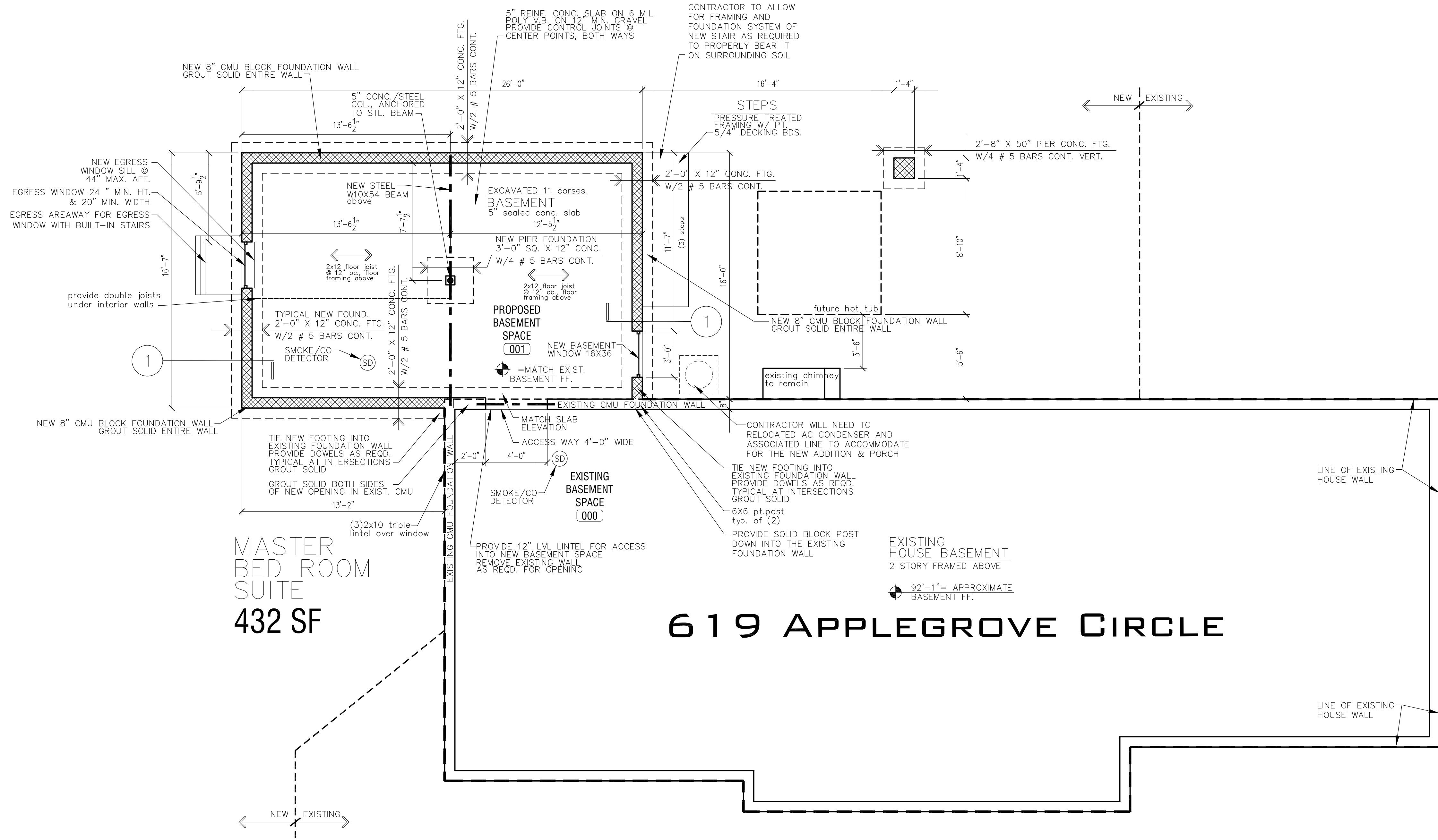


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03/12/25	DAP	DAP
SCALE AS NOTED		
SHEET TITLE		
GENERAL REQ./ SPECIFICATIONS, DETAILS & VIEWS		

PROJECT NUMBER
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G1





NORTH

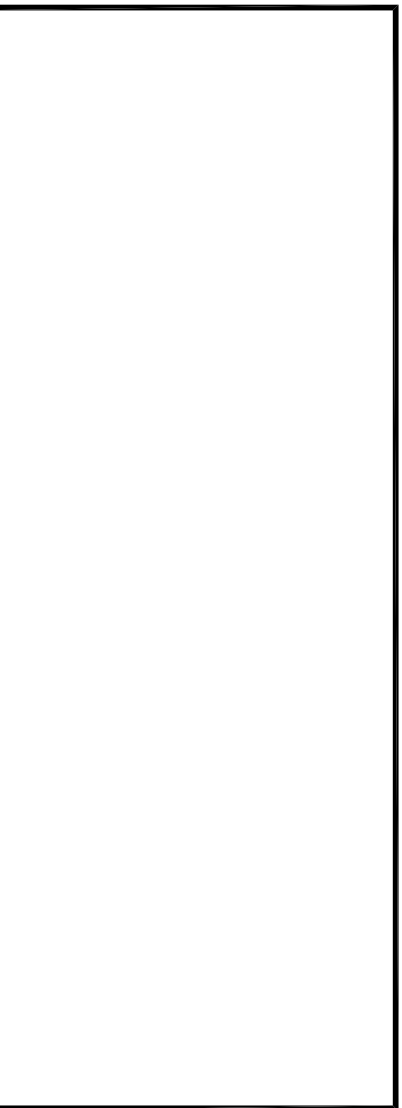
1  
A0  
SCALE: 1/4" = 1'-0"

NOTE: (unless otherwise noted)  
TYPICAL NEW EXTERIOR WALL IS 7" THICK - 2x6  
TYPICAL NEW INTERIOR WALL IS 5" THICK - 2x4

NOTE:  
ALL EXTERIOR WALLS ARE CONSTRUCTED OF 2X6 WOOD STUDS @ 16" OC W/ R21 INSULATION.  
ALL INTERIOR WALLS ARE CONSTRUCTED OF 2X4 WOOD STUDS @ 16" OC AND 1/2" GYP. BD. ON  
NON RATED WALLS AND 5/8" TYPE 'X' GYP. BD. WITH MULTIPLE LAYERS ON RATED WALLS.  
PRIME AND FINISH COAT PAINT. RATED WALLS ARE REQUIRED AT GARAGE SEPARATION WALLS.

- : NEW INSULATED R21 WOOD STUD WALLS
- : NEW MASONRY WALLS

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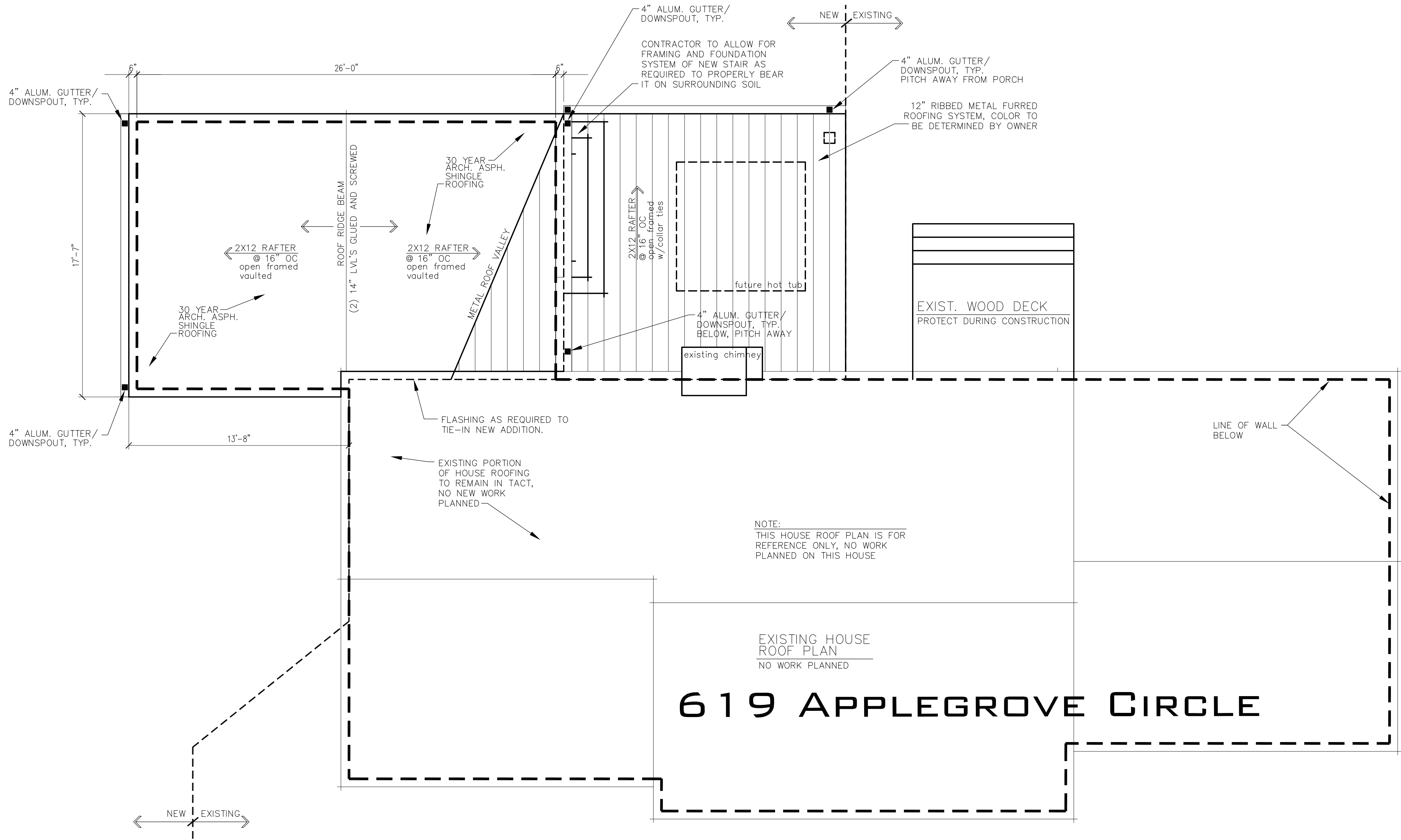
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SCALE AS NOTED

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DRAWING NUMBER

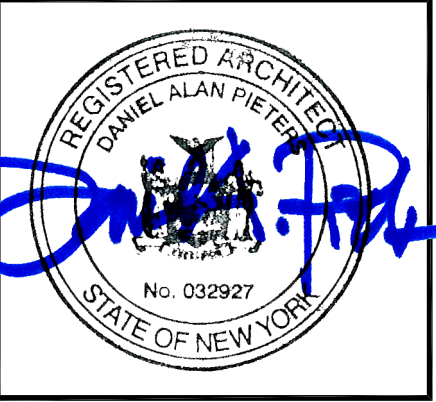
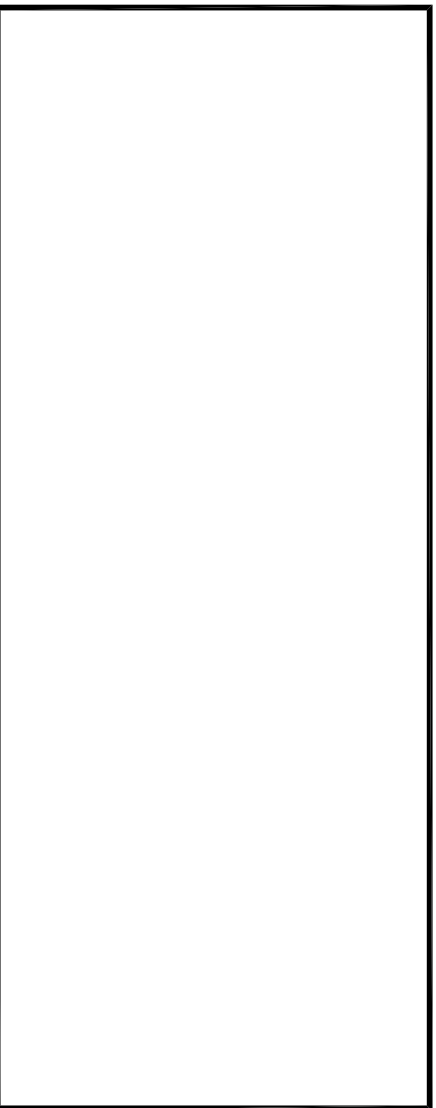


1 ROOF PLAN  
A2 SCALE: 1/4" = 1'-0"

ROOFING NOTES: UNLESS OTHERWISE NOTED

1. PROVIDE ICE AND WATER SHIELD ON ROOF TO COMPLY WITH SECTION 905.2.7.1 OF THE NYS BUILDING CODE. ICE AND WATER SHIELD SHOULD BE A MINIMUM OF 4'-0" UP THE ROOF PITCH FROM THE EAVE EDGE.
2. PROVIDE PROPER FLASHING AT WALL INSTALLATION OF ADDITION. CONSULT WITH FLASHING MANUFACTURER PRIOR TO INSTALLATION.
3. PROVIDE NEW 30+ YR. LIMITED LIFETIME ASPHALT ARCHITECTURAL ROOFING SYSTEM ON THE ENTIRE NEW BUILDING ADDITIONS ONLY. COLOR TBD.
4. ROUTE ALL 4" GUTTERS & DOWNSPOUTS TO THE UNDERGROUND PIPING SYSTEM IF POSSIBLE. IF STORM DOES NOT EXIST, ROUTE PIPING TO DAYLIGHT IN 4" PERFORATED DRAIN TILE TOWARDS THE LOW SITE GRADE.

REVISIONS	NO.	DATE	BY	CHECKED	DESCRIPTION



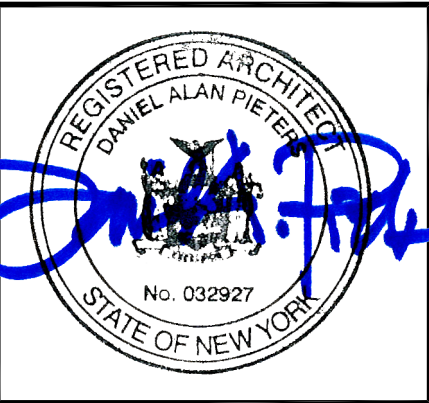
HOWLEY RESIDENCE  
ADDITION/RENOVATIONS  
619 APPLGROVE CIRCLE  
WEBSTER, NY 14580

DATE	DRAWN	CHECKED
03/12/25	DAP	DAP
SCALE AS NOTED		
SHEET TITLE		
ROOF PLAN		

PROJECT NUMBER
DRAWING NUMBER
A2



REVISIONS	NO.	DATE	BY	CHECKED	DESCRIPTION



HOWLEY RESIDENCE  
 ADDITION/RENOVATIONS

619 APPLEGROVE CIRCLE  
 WEBSTER, NY 14580

DATE	DRAWN	CHECKED
03/12/25	DAP	DAP
SCALE 1/4"=1'-0"		
SHEET TITLE		
EXTERIOR ELEVATIONS NORTH, SOUTH EAST & WEST		

PROJECT NUMBER

A3

DRAWING NUMBER

619 APPLEGROVE CIRCLE

WEBSTER, NEW YORK 14580

