

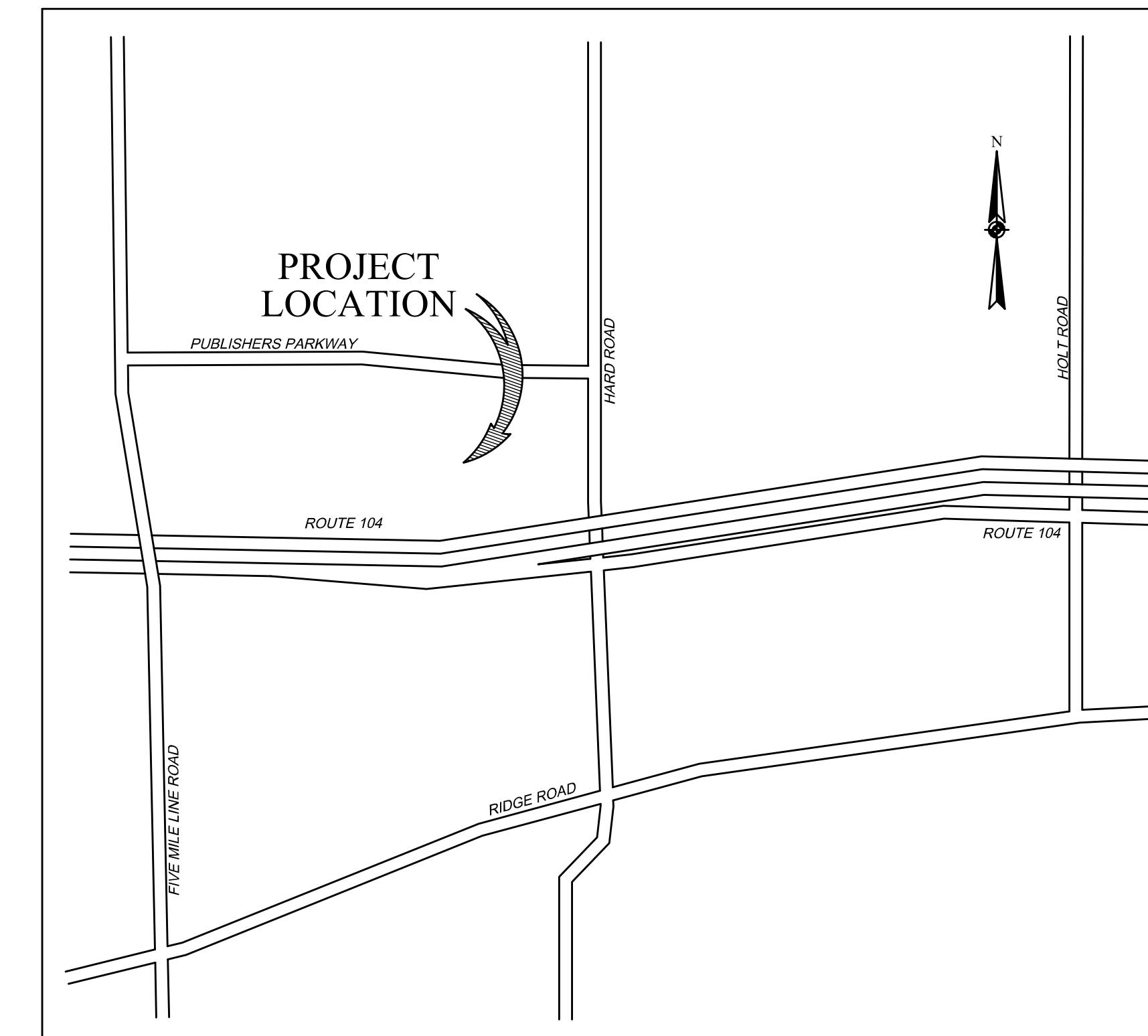
MCALPIN INDUSTRIES, INC.

PUBLISHER'S PARKWAY

300,000 sq. ft. WAREHOUSE

SITE DEVELOPMENT PLANS

**TOWN OF WEBSTER
COUNTY OF MONROE
STATE OF NEW YORK**



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LOCATION SKETCH

By: DIRECTOR OF COMMUNITY DEVELOPMENT Date: _____

By: TOWN ENGINEER Date: _____

By: PLANNING BOARD CHAIRMAN Date: _____

By: TOWN HIGHWAY SUPERINTENDENT Date: _____

By: WEBSTER SEWER DISTRICT Date: _____

By: FIRE MARSHAL Date: _____

By: TOWN ASSESSOR Date: _____

By: MONROE COUNTY WATER AUTHORITY Date: _____

By: MONROE COUNTY HEALTH DEPARTMENT Date: _____

PREPARED FOR:
MCALPIN INDUSTRIES, INC.
255 HOLLENBECK STREET
ROCHESTER, NEW YORK 14621
585-266-3060

PREPARED BY:



PROJECT NAME AND LOCATION

MALPIN INDUSTRIES, INC.
PUBLISHER'S PARKWAY
WEBSTER, NEW YORK 14650

THE SITE IS APPROXIMATELY 25.61 ACRES PER TAX MAP OF WHICH 11.35 ACRES WILL BE DISTURBED BY CONSTRUCTION ACTIVITIES

OPERATOR'S NAME AND ADDRESS

MALPIN INDUSTRIES, INC.
255 HOLLOWBICK STREET
ROCHESTER, NEW YORK 14621

PROJECT DESCRIPTION / CONSTRUCTION SEQUENCE

THIS PROJECT WILL CONSIST OF THE CONSTRUCTION OF A NEW 300,000 SQ. FT. BUILDING (120,000 SQ. FT. IN THE FIRST PHASE) WITH ASSOCIATED UTILITIES, DRIVES, AND PARKING AREAS. THE ESTIMATED TIME FOR COMPLETION OF THE CONSTRUCTION PROJECT IS 365 DAYS. SOIL DISTURBING ACTIVITIES WILL INCLUDE:

- A. INSTALL PERIMETER SILT FENCE AND TEMPORARY STABILIZED CONSTRUCTION ENTRANCE.
- B. TEMPORARY STABILIZED CONSTRUCTION ENTRANCE.
- C. STRIP TOPSOIL AND PERFORM EARTHWORK OPERATIONS INCLUDING THE STORMWATER MANAGEMENT FACILITIES. THE PROPOSED STORMWATER POND WILL BE UTILIZED AS THE TEMPORARY SEDIMENT BARRIER.
- D. MASS GRADING OF THE SITE
- E. CONSTRUCTION OF THE PROPOSED BUILDING, PERFORM CONCRETE WASHOUT AREA.
- F. INSTALLATION OF STORM SEWER AND OTHER UTILITIES
- G. CONSTRUCTION OF CURB, DRIVES, AND PARKING AREAS.
- H. FINISHING OF THE CONSTRUCTION PROJECT.

EROSION AND SEDIMENT CONTROLS HAVE BEEN DEVELOPED AND FULLY ADDRESSED IN THIS WRITTEN PLAN AND THE EROSION AND SEDIMENT CONTROL PLAN AND DETAILS.

WETLANDS AND/OR OTHER SURFACE WATERS

1. THERE ARE NO FEDERAL OR STATE WETLANDS IN THE PROJECT AREA

2. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP (FIRM). THE SITE IS LOCATED IN A FLOOD HAZARD ZONE. THE FIRM SURVEY WAS USED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS INFORMATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

NAME OF RECEIVING WATERS

THE SITE WILL DRAIN INTO A PRIVATE ON SITE STORMWATER MANAGEMENT FACILITY. WHICH WILL DISCHARGE TO EXISTING STORMWATER SEWERS AND ULTIMATELY REACH THE UPPER TRIBUTARIES OF MILL CREEK.

REFERENCES

1. A TOPOGRAPHICAL SURVEY COMPLETED ON 12/13/2004 BY COSTICH ENGINEERING, D.P.C.

2. A BOUNDARY SURVEY COMPLETED ON 9/13/2007 BY COSTICH ENGINEERING, D.P.C.

SURVEY NOTES

1. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 2019 REGARDING LIABILITY INCURRED THROUGH DISTURBANCE OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.

2. THE DEVELOPER AND CONTRACTOR MUST LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION FOR DESCRIPTIVE AND SURVEY DATA FOR GEODETIC CONTROL MONUMENTS GO TO THE COUNTY OF MONROE SURVEYORS OFFICE TO ACCESS THE GIS BASED INTERNET WEB VIEWER, OR CONTACT THE MONROE COUNTY SURVEYORS OFFICE.

3. THIS PROJECT IS LESS THAN 2500 FEET FROM THE NEAREST GEODETIC SURVEY MONUMENT AND THIS PROJECT IS TIED INTO THE MONROE COUNTY GEODETIC MONUMENTATION NETWORK.

4. THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM OF 1988, WEST ZONE, TRANSVERSE MERCATOR PROJECTION, NAD 88 THROUGH CONTROL TIES TO THE FOLLOWING GEODETIC MONUMENTS

STORM SEWER NOTES

1. STORM SEWER PIPE MATERIAL SHALL BE CORRUGATED, DOUBLE WALL POLYETHYLENE HIGH DENSITY (H.D.P.E.) SMOOTH INTERIOR.

2. THE WATER MAIN PIPELINE AND APPURTENANCES SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C900, C902, C904, OR C905 (ASAP) OR AS PER THE SUPPLIER'S SPECIFICATIONS, OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE SUPPLIER OF WATER.

GENERAL NOTES

1. PROVIDE MAINTENANCE AND PROTECTION OF TRAFFIC MEASURES AS DIRECTED BY OWNERS REPRESENTATIVE.
2. COORDINATE ALL WORK WITH OWNERS REPRESENTATIVE.
3. THE DEVELOPER AND CONTRACTOR'S ATTENTION IS DIRECTED TO ALL APPLICABLE LAWS REGARDING LIABILITY INCURRED THROUGH DISTURBANCE AND DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
4. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND R.O.W. MONUMENTS THAT ARE DISTURBED SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO COMPLETE THE WORK.
6. THE CONTRACTOR SHALL HAVE ALL PERMITTING NECESSARY TO PRESERVE THE INTEGRITY OF EXISTING UTILITIES TO ENSURE ALL PROVIDED SERVICES AND THE EXISTING UTILITIES OF THE EXISTING UTILITIES EXISTING UTILITIES (TO REMAIN) ENCOUNTERED IN TRENCH OR PAVEMENT EXCAVATIONS SHALL BE SUPPORTED AS ORDERED BY THE OWNER'S REPRESENTATIVE OR AS DIRECTED BY THE CONTRACTOR'S ENGINEER.
7. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA STANDARDS AND OTHER STATE AND LOCAL SAFETY REQUIREMENTS DURING CONSTRUCTION.
8. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY LOCATION SERVICE OF THE AREA AND WITH THEIR ASSISTANCE, SHALL VERIFY THE EXACT LOCATION, SIZE AND DIMENSION OF ALL BURIED UTILITIES. THE OWNER OR COSTICH ENGINEERING, D.P.C. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF UNDERGROUND UTILITIES NOT VISIBLE AT THE TIME THE FIELD SURVEYS ARE CONDUCTED.
9. ROAD TO BE KEPT CLEAN OF MUD AND DEBRIS AT ALL TIMES.
10. NOTIFY DIG SAFE PRIOR TO DIGGING, DRILLING, OR BLASTING AT 811 OR 1-800-962-7692 FOR A UTILITY STAKEOUT.

11. THE CONTRACTOR IS CAUTIONED THAT THE LOCATIONS OF UTILITIES SHOWN ON THE CONTRACT PLANS ARE NOT GUARANTEED. NOR IS THERE ANY GUARANTEE THAT ALL SUCH LINES WITHIN THE CONTRACT LIMITS ARE EXACTLY WHERE THEY ARE LOCATED. THE CONTRACTOR IS ADVISED TO DEDICATE HIMSELF AS TO THE EXACT CONDITIONS, AND AT HIS OWN EXPENSE, TO PROTECT AND SUPPORT ALL UTILITIES ENCOUNTERED IN HIS EXCAVATING AND TRENCHING OPERATIONS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITY LINES CAUSED BY HIS EXCAVATING AND TRENCHING OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRS OF UTILITIES AND NECESSARY REPAIRS ARE NOT IMMEDIATELY MADE BY THE CONTRACTOR. THE WORK MAY BE PERFORMED BY THE RESPECTIVE OWNING COMPANIES AND THE COST THEREOF CHARGED TO THE CONTRACTOR.

NOTIFY DIG SAFE PRIOR TO DIGGING, DRILLING, OR BLASTING AT 811 OR 1-800-962-7692 FOR A UTILITY STAKEOUT.

SANITARY SEWER NOTES

1. FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/OUTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY SEWER SHALL COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
2. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TESTS SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 24 HOURS. THE PIPE SHALL EXCEED A MAXIMUM DEFLECTION OF 10% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE HAD A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
3. SANITARY SEWER AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NY STATE DEPARTMENT OF TRANSPORTATION. THE SANITARY SEWER SHALL BE TELEvised A MINIMUM OF 30 DAYS AFTER IT HAS BEEN INSTALLED.
4. EARTHWORK SHALL BE DONE PRIOR TO INSTALLATION OF ANY SANITARY SEWER MAINS AND APPURTENANCES.
5. MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH PER MILE OF PIPE. PERMIT FOR THE DEFLECTION TESTS SHALL NOT EXCEED 10% OF THE INSIDE DIAMETER. SANITARY MAINS SHALL BE VISUALLY INSPECTED AND VACUUM TESTED AT 100% IN ACCORDANCE TO VACUUM TESTING OF MANHOLES WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION'S PAVEMENT INSPECTION AND MAINTENANCE TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED). SANITARY MAINS TO BE DEDICATED WILL BE TELEvised.
6. SANITARY LATERALS SHALL BE P.V.C. SDR-21.

ADA HANDICAP ACCESSIBILITY NOTES

GENERAL NOTES:

1. SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH THE FAIR HOUSING ACCESSIBILITY GUIDELINES AND THE BUILDING CODE OF NEW YORK STATE (BCNY), THE FAIR HOUSING ACT, THE AMERICANS WITH DISABILITIES ACT (ADA), AND APPLICABLE LOCAL LAWS AND REGULATIONS. LATEST EDITIONS, LATEST EDITIONS.
2. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. COSTICH ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE POINT IN TIME WHEN THEY ARE CONDUCTING THE CONSTRUCTION. CONTRACTORS SHALL HAVE A POINT IN THESE NOTES AND DETAILS, AS WELL AS IN OUR DRAWINGS, TO PROVIDE SLOPES/GRADE, DIMENSIONS, AND OTHER REQUIREMENTS AS DIRECTED. CONTRACTORS ARE RESPONSIBLE FOR THE ACCURACY OF THESE NOTES AND DETAILS. CONTRACTORS ARE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS AND THE APPLICABLE LOCAL LAWS AND REGULATIONS. LATEST EDITIONS. IF THESE SLOPES/ GRADES DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUESTED TO CONTACT THE OWNER IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK.
3. THE CONTRACTOR SHALL NOTIFY COSTICH ENGINEERING IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS, WHETHER BY DRAWING NUMBER OR OTHERWISE. THE CONTRACTOR SHALL NOT MOVE FORWARD WITH THE WORK FOR WHICH THE ALLEGED CONFLICT HAS BEEN DISCOVERED UNTIL SUCH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY OR COST INCURRED DUE TO THE CONFLICT.
4. THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEDICT SLOPE AND DIMENSION REQUIREMENTS ONLY. REFER TO ELEVATION, CURVING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.

5. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEM FROM OBSTRUCTION BY PARKED VEHICLES.
6. CURB RAMPS SHALL HAVE A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLYING WITH STATE & FEDERAL ACCESSIBILITY REQUIREMENTS, EXTENDING THE FULL WIDTH OF THE RAMPS. REFER TO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES.

7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT EXCEED 10% OF THE SLOPE OF THE FLARED SIDES.

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9. CURB RAMPS SHALL BE DEEP GROOVED, 1/4 INCH WIDE BY 1/4 INCH DEEP, ONE (1) INCH CENTERS TRANSVERSE TO THE RAMPS.

10. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMPS.

11. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.

12. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.

13. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.

14. CURB RAMPS TYPE AND LOCATION ARE PER PLAN.

PARKING SPACE NOTES:

1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
2. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY-EIGHT (28) INCHES DEEP MINIMUM. ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS SPACE AND ARE LOCATED IN A POSITION WHICH ALLOWS FOR A VEHICLE TO TURN AROUND TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE.

3. PARKING SPACES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FOR ACCESSIBLE ROUTES. MARKED OPENING SHALL BE PROVIDED WHERE THE ACCESSIBLE ROUTE NOT CROSS VEHICULAR TRAFFIC LANES. WHERE POSSIBLE, IT IS PREFERABLE THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES.

4. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.

5. ACCESS AISLES SHALL EXTEND TO THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.

6. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.

7. ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR EXCLUDED PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.

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
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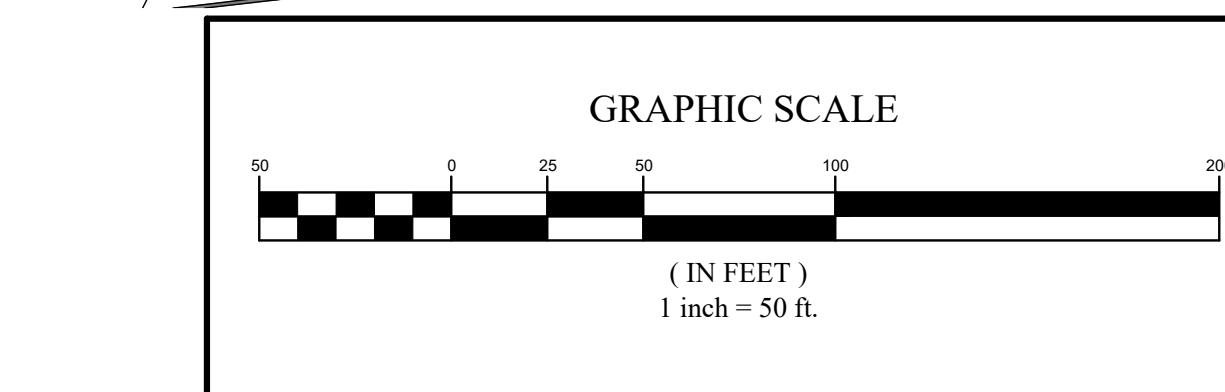
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EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE EXACT LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE CONTRACTOR'S SUPERVISOR AND THE CONTRACTOR TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY THE CONTRACTOR'S SUPERVISOR IN ADVANCE OF COMMENCING ANY WORK.



COSTICH ENGINEERING, D.P.C.


PROJECT MANAGER
S.J.C.
DRAWN BY: MICHAEL R. RITCHIE
BROUGHTON, D.T.H.
TOPBARA, M.G.
DATE: 01/31/2025
REVISION: 1
SIGNATURE AND SPECIFIC DESCRIPTION OF DRAWING
BY: CHDO, APVS.

STATE OF NEW YORK
TAX EXCELSIOR PROJECT
TOWN OF IRONDEQUOIT, SECTION 4
SECTION 14 OF PHILIPS & GORHAM PURCHASE,
TOWN OF IRONDEQUOIT, NEW YORK
CLIENT: MCALPIN INDUSTRIES, INC.
217 LANE AVENUE
ROCHESTER, NY 14608
(585) 458-3020
DATE: 01/31/2025
SCALE: 1"-50'
SHEET 4 OF 10

TITLE OF PROJECT
MCALPIN INDUSTRIES, INC.
PUBLISHER'S PARKWAY

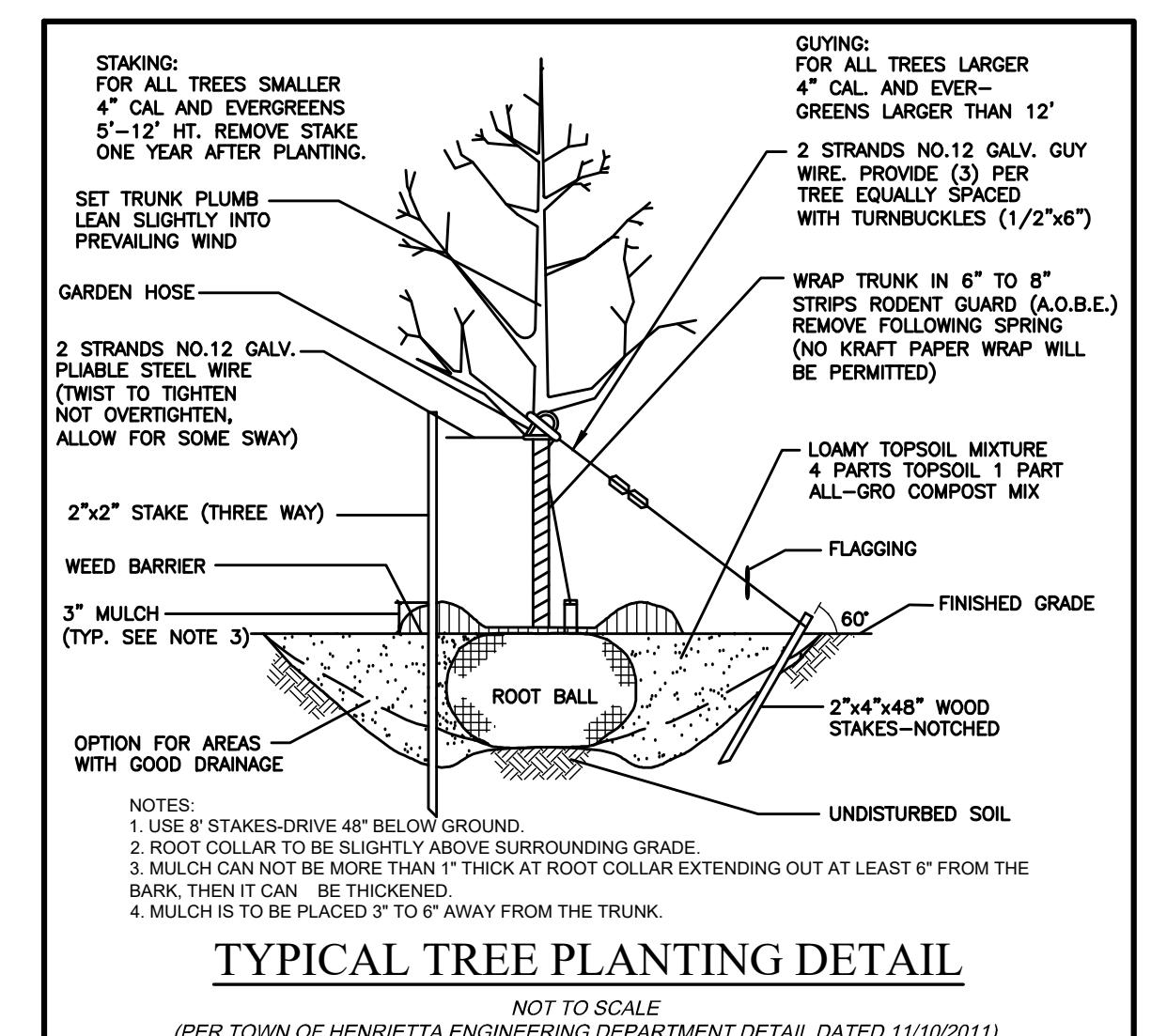
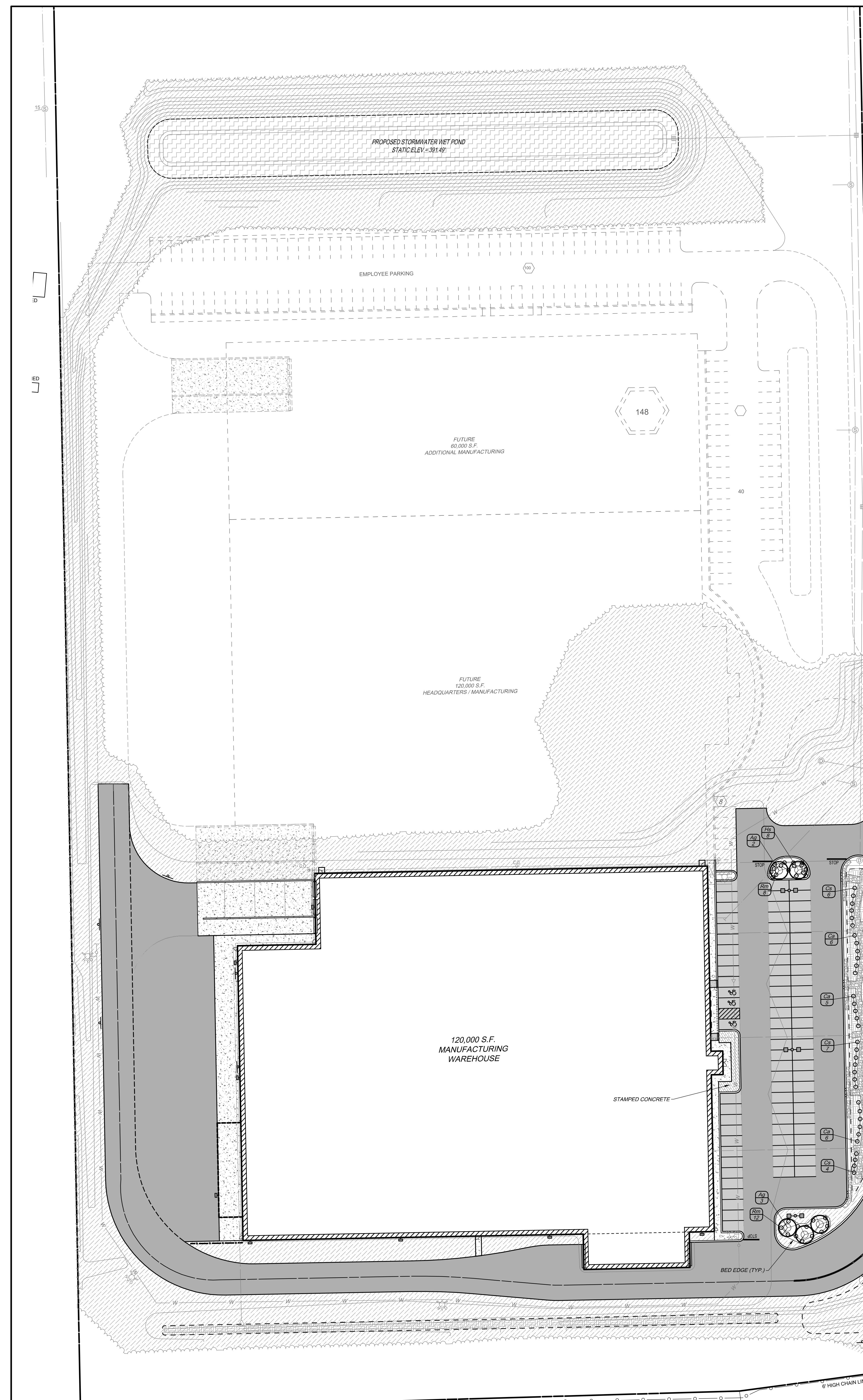
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SITE PLAN

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SHEET 4 OF 10



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UDIG-NY 2025



PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE
ER X GRANDIFLORA 'AUTUMN'	AUTUMN BRILLIANCE SERVICEBERRY	1.75-2" CAL	BB	HT. 15-25', SP. 15-25'
RA	HERITAGE RIVER BIRCH	3-3.5" CAL	BB	HT. 20-30', SP. 20-30'
RICEA	BLOODTWIG DOGWOOD	MIN. 30"	CONT.	HT. 5-6', SP. 5-6'
LPIO	RED DRIFT ROSE	MIN. 24"	CONT.	HT. 1-1.5', SP. 2-2.5'
ER				
LIS 'SWIRLING WATER'	SWIRLING WATER DAYLILY	NO. 3	CONT.	HT. 1.5-2', SP. 1-1.5'
STIS X ACUTIFLORA	KARL FOERSTER FEATHER REED GRASS	NO.3	CONT.	HT. 2-3', SP. 2-3'

SEED MIX:			
	<u>LBS/ACRE</u>	<u>%BY PURITY</u>	<u>%GERM.</u>
'Pennfine' Perennial Rye Grass	35	85	85
'Pennlawn' Red Fescue	35	97	80
'Baron' and 'Midnight'			
Kentucky Bluegrass	30	85	80

SEEDING RATE: 6.0 POUNDS PER 1,000 SQUARE FEET

MULCH: STRAW OR WOOD FIBER MULCH APPLIED AT THE RATE OF TWO TONS PER ACRE

STARTING FERTILIZER: 5:10:10 AT 20 POUNDS PER 1,000 SQUARE FEET

FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED "AROOSTOCK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE.

4. MOLEHILLS TO BE PLACED 3'-6" AWAY FROM THE TRUNK.

TYPICAL TREE PLANTING DETAIL

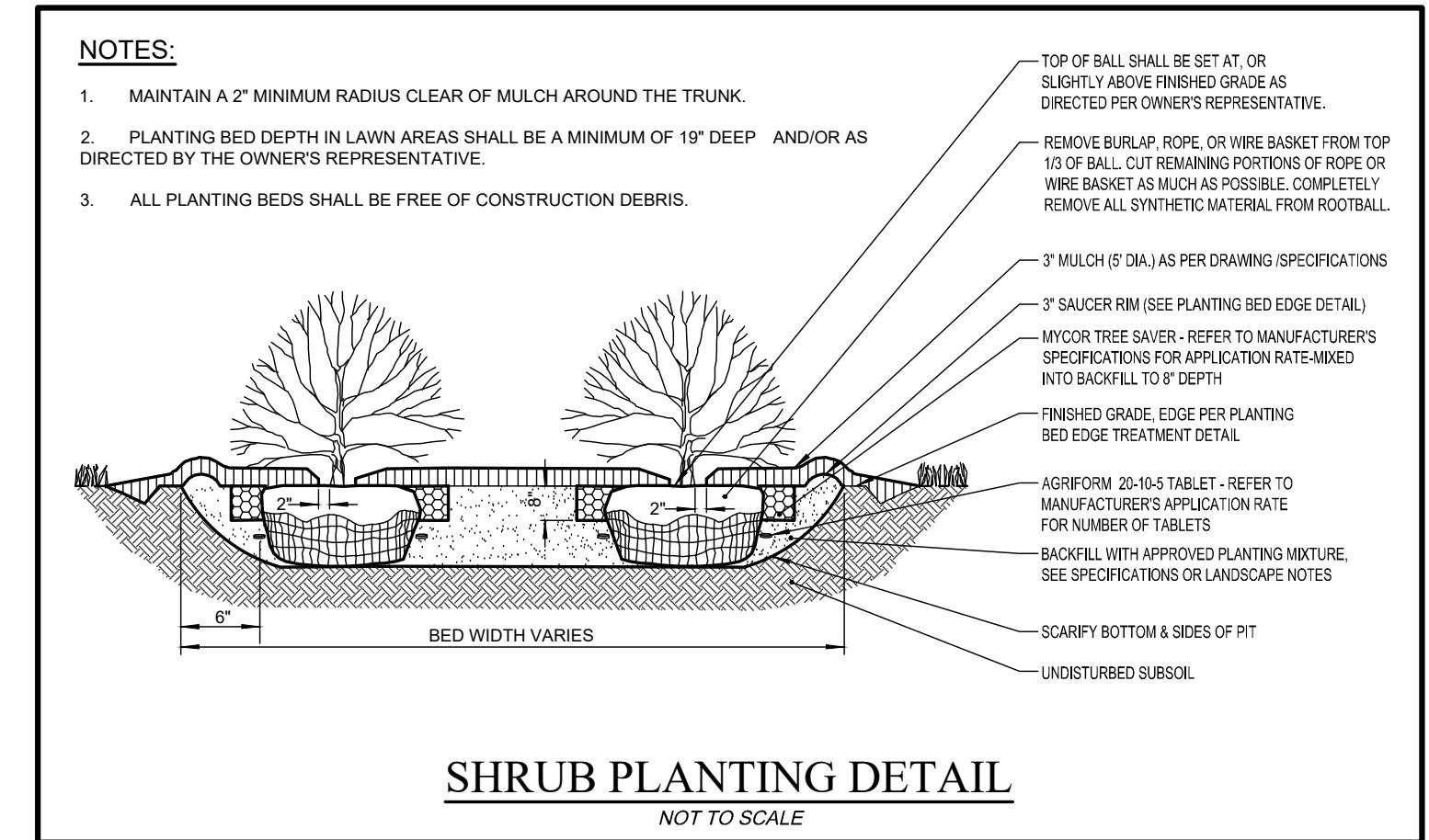
NOT TO SCALE

(PER TOWN OF HENRIETTA ENGINEERING DEPARTMENT DETAIL, DATED 11/10/2011)

(PER TOWN OF HENRIETTA ENGINEERING DEPARTMENT DETAIL DATED 11/10/2011)

LANDSCAPE NOTES

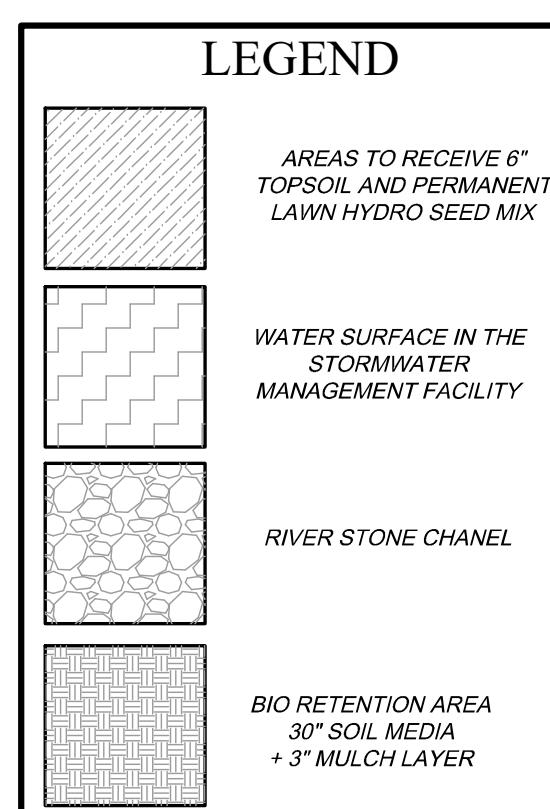
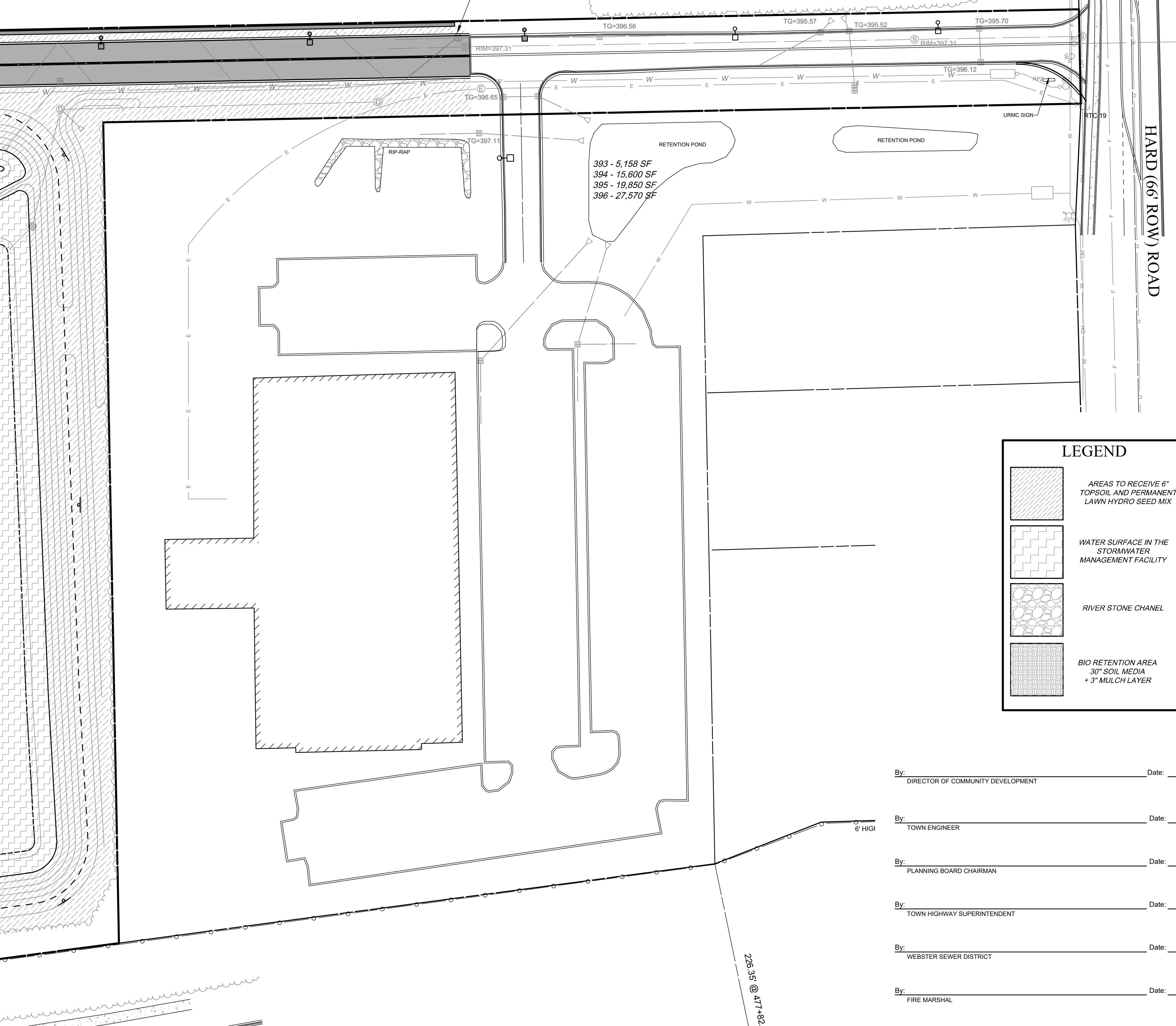
1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE, AND SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION ANSI Z60.1.
2. THE CONTRACTOR SHALL SECURE THE MOST RECENT PLANS AND/OR SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL OF ALL LANDSCAPE ELEMENTS, INCLUDING HARDCAPE ITEMS, PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS PRIOR TO SUBMITTING A COST ESTIMATE.
4. LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT. ACTUAL LOCATIONS MAY BE AS DIRECTED BY THE OWNER/OWNERS REPRESENTATIVE AT THE TIME OF INSTALLATION, AND MAY REQUIRE THE CONTRACTOR TO PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANT MATERIAL AND SHRUB BEDS.
5. LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. IF ANY TREE IS LOCATED CLOSER THAN 5' TO AN UNDERGROUND UTILITY, IT SHALL BE RELOCATED TO A LOCATION THAT IS A MINIMUM OF 5' AWAY AS MEASURED FROM THE ROOTBALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
6. SHOULD THE LOCATIONS OF TREES BE WITHIN 20' OF OVERHEAD WIRES, IMMEDIATELY NOTIFY THE OWNER/OWNERS REPRESENTATIVE TO AVOID AND /OR MINIMIZE POTENTIAL CONFLICTS.
7. UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, A THREE (3) YEAR MAINTENANCE GUARANTEE IS REQUIRED. A CHECK IN THE AMOUNT OF 10% OF THE TOTAL LANDSCAPING COST WILL NEED TO BE FURNISHED TO THE TOWN OF HENRIETTA.
8. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL AND FINAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, SIZE, AND QUANTITY MEETING ALL PLANT LIST SPECIFICATIONS.
9. PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART COMPOST THOROUGHLY MIXED.
10. ALL TREE AND SHRUB BEDS SHALL RECEIVE DEWITT WEED BARRIER AND LARGE RIVER COBBLES.
11. STAKE TREES IMMEDIATELY AFTER PLANTING.
12. ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL HAVE A MINIMUM OF 6" OF TOPSOIL AND BE SEEDED.
13. ANY PROPOSED DEVIATION TO THE LANDSCAPING PLAN MUST FIRST BE REVIEWED AND APPROVED BY THE PLANNING BOARD CHAIRMAN AND THE DIRECTOR OF ENGINEERING AND PLANNING PRIOR TO THE INSTALLATION OF THE PROPOSED LANDSCAPING CHANGES.
14. ALL TREES INDICATED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION OPERATIONS.



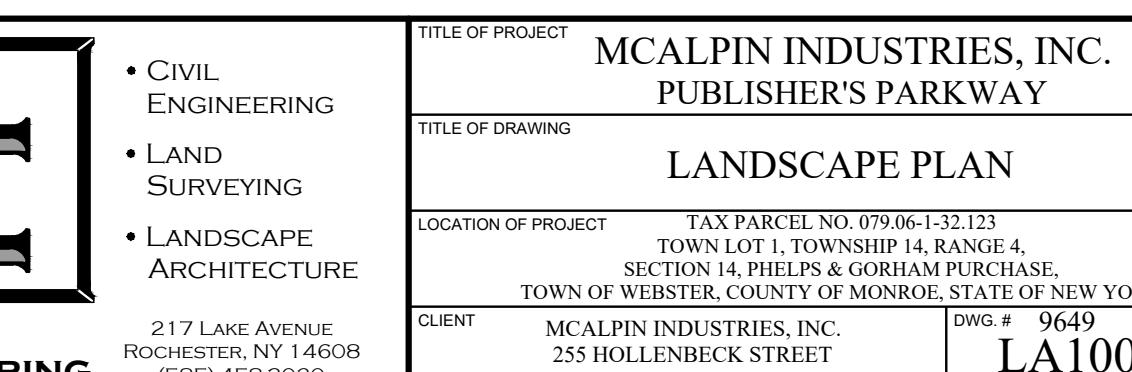
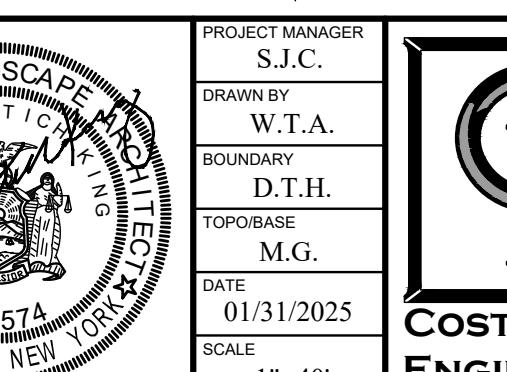
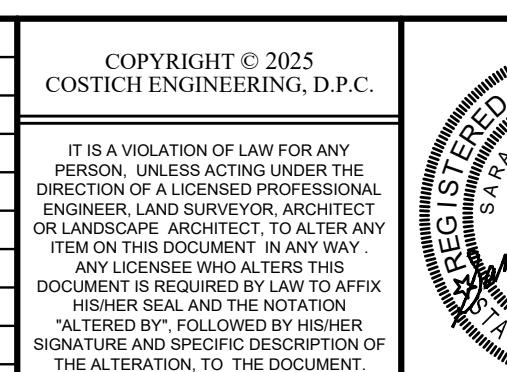
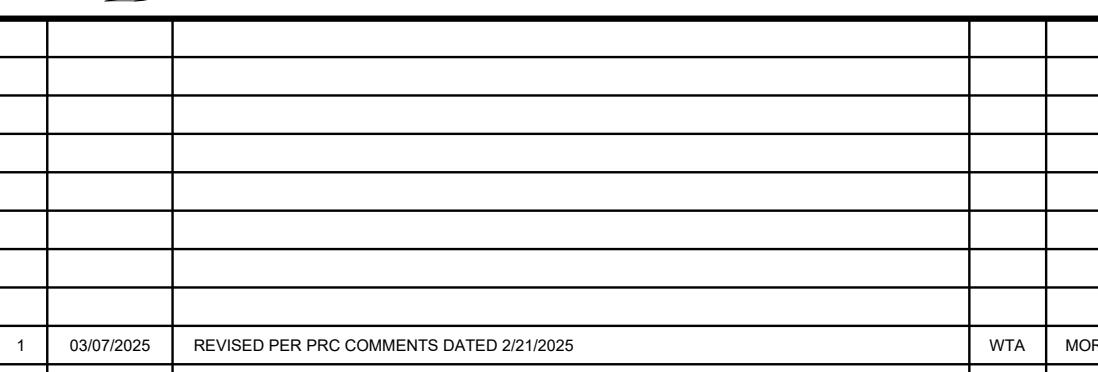
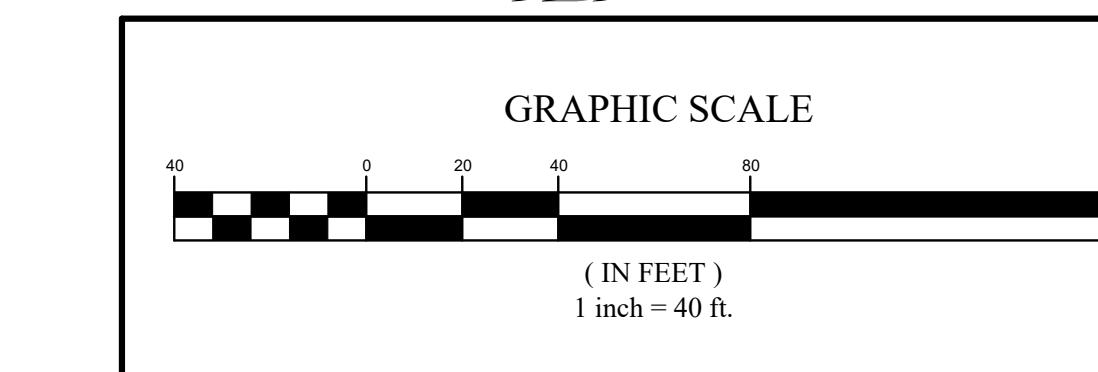
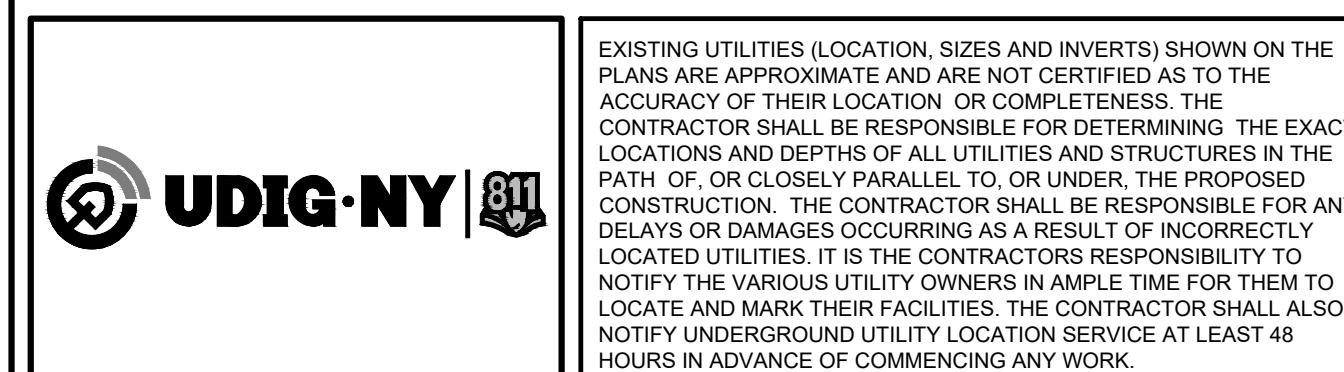
SHRUB PLANTING DETAIL


This detailed architectural site plan illustrates a dam and reservoir system, showing various components and dimensions. Key features include:


- Topographic Labels:** TG=395.57, TG=395.56, TG=395.52, TG=395.70, RIM=397.31, RIM=397.31, TG=396.12, R.P.Z., U.M SIGN, R.C. 19.
- Structural Labels:** FOREBAY, RIP-RAP, RETENTION POND, 393 - 5,158 SF, 394 - 15,600 SF, 395 - 19,850 SF, 396 - 27,570 SF, PI, Bn 1, Bn 1, 5' WIDE RIVER STONE CHANNEL (TYP.).
- Dimensions:** TG=396.65, TG=397.11.
- Landmarks:** A small sun icon is located on the right side of the plan.

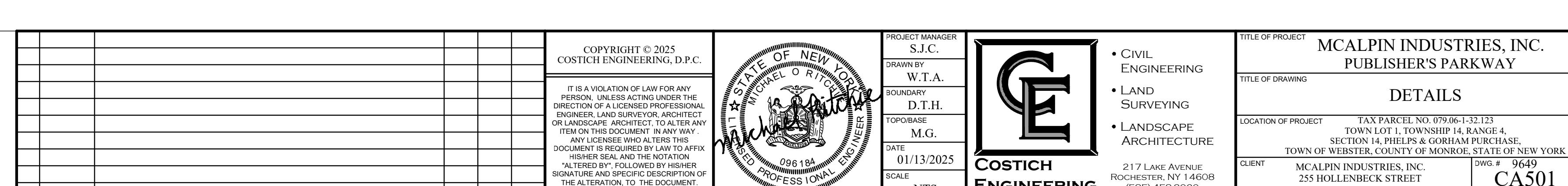
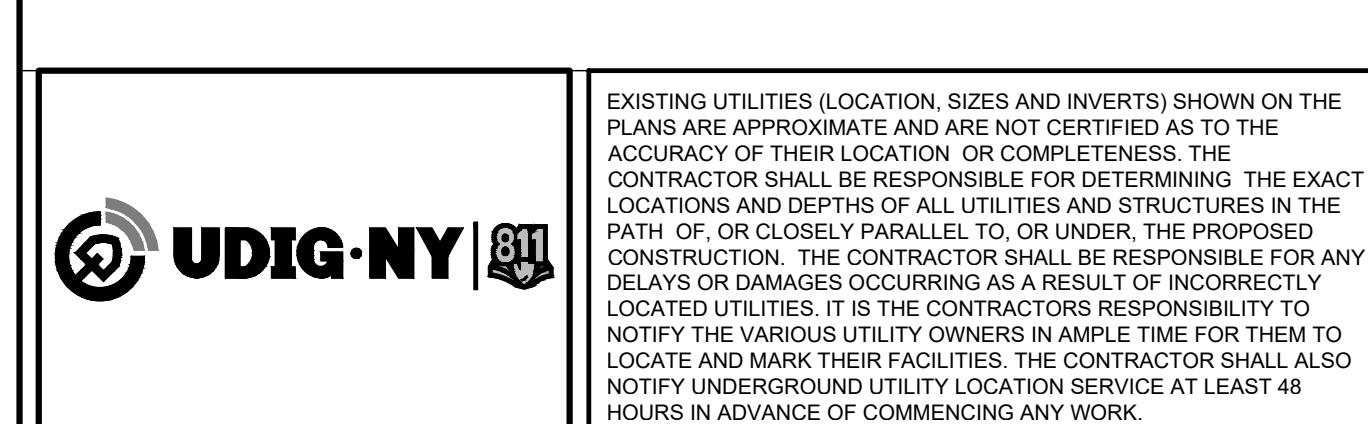



By: <u>DIRECTOR OF COMMUNITY DEVELOPMENT</u>	Date: _____
By: <u>TOWN ENGINEER</u>	Date: _____
By: <u>PLANNING BOARD CHAIRMAN</u>	Date: _____
By: <u>TOWN HIGHWAY SUPERINTENDENT</u>	Date: _____
By: <u>WEBSTER SEWER DISTRICT</u>	Date: _____
By: <u>FIRE MARSHAL</u>	Date: _____
By: <u>TOWN ASSESSOR</u>	Date: _____









EXTERIOR FINISH LEGEND:

NOTE: ALL FINISHES ARE B.C.D. ONLY

MASONRY

[M-1] NORSTONE, THIN STONE VENEER, PLANC, "GRAPHITE"

METALS

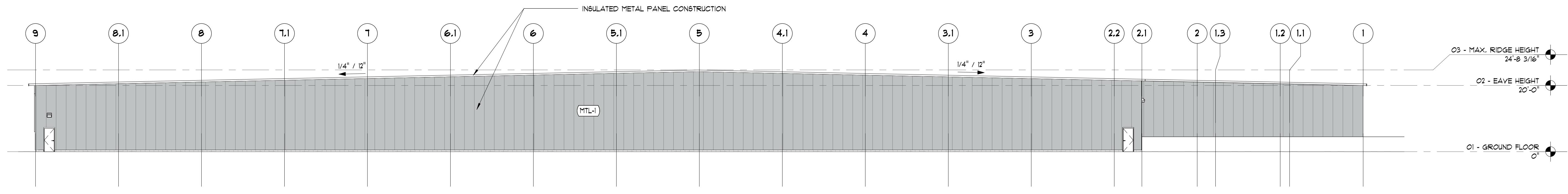
[MTL-1] INSULATED METAL PANEL, METALSPAN CF STRIATED OR SIMILAR, "SILVERSMITH"

[MTL-2] INSULATED METAL PANEL, METALSPAN CF STRIATED OR SIMILAR, "BURNISHED SLATE"

[MTL-3] INSULATED METAL PANEL, METALSPAN CF STRIATED OR SIMILAR, CUSTOM COLOR - MCALPIN BLUE

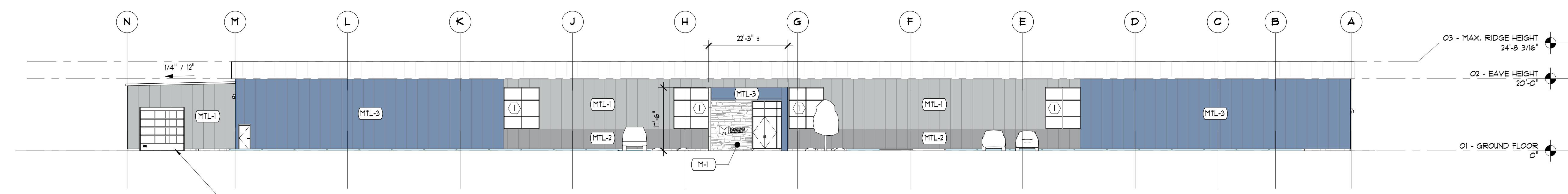
GLAZING

[II] THERMALLY-BROKEN, LOW-E, STOREFRONT GLAZING SYSTEM, RE: A600



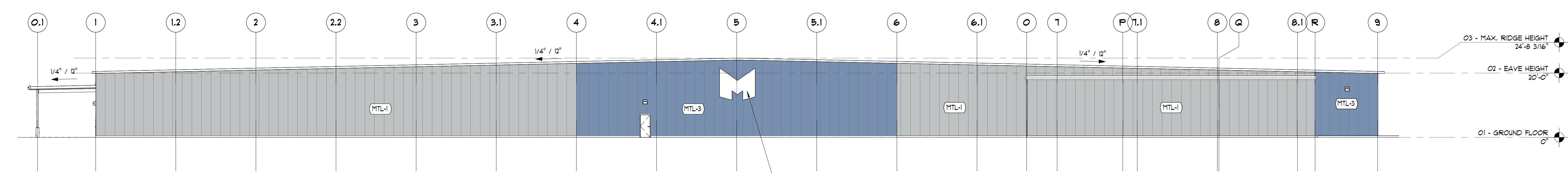
1 NORTH ELEVATION

1/16" = 1'-0"



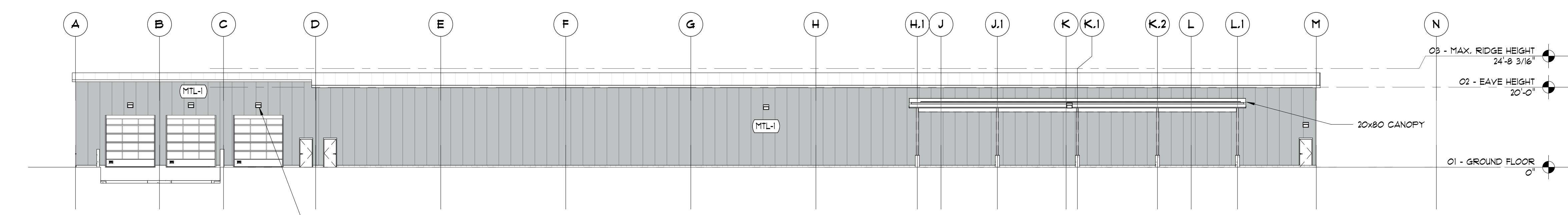
2 EAST ELEVATION

1/16" = 1'-0"



3 SOUTH ELEVATION

1/16" = 1'-0"



4 WEST ELEVATION

1/16" = 1'-0"

MCALPIN INDUSTRIES -
PUBLISHER'S PARKWAY
WEBSTER, NY

REVISED

DATE: 02.20.2025
BUILDING ELEVATIONS

DRAWING TITLE:

A200

SHEET NO:

PROJECT NO: 24-220

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