

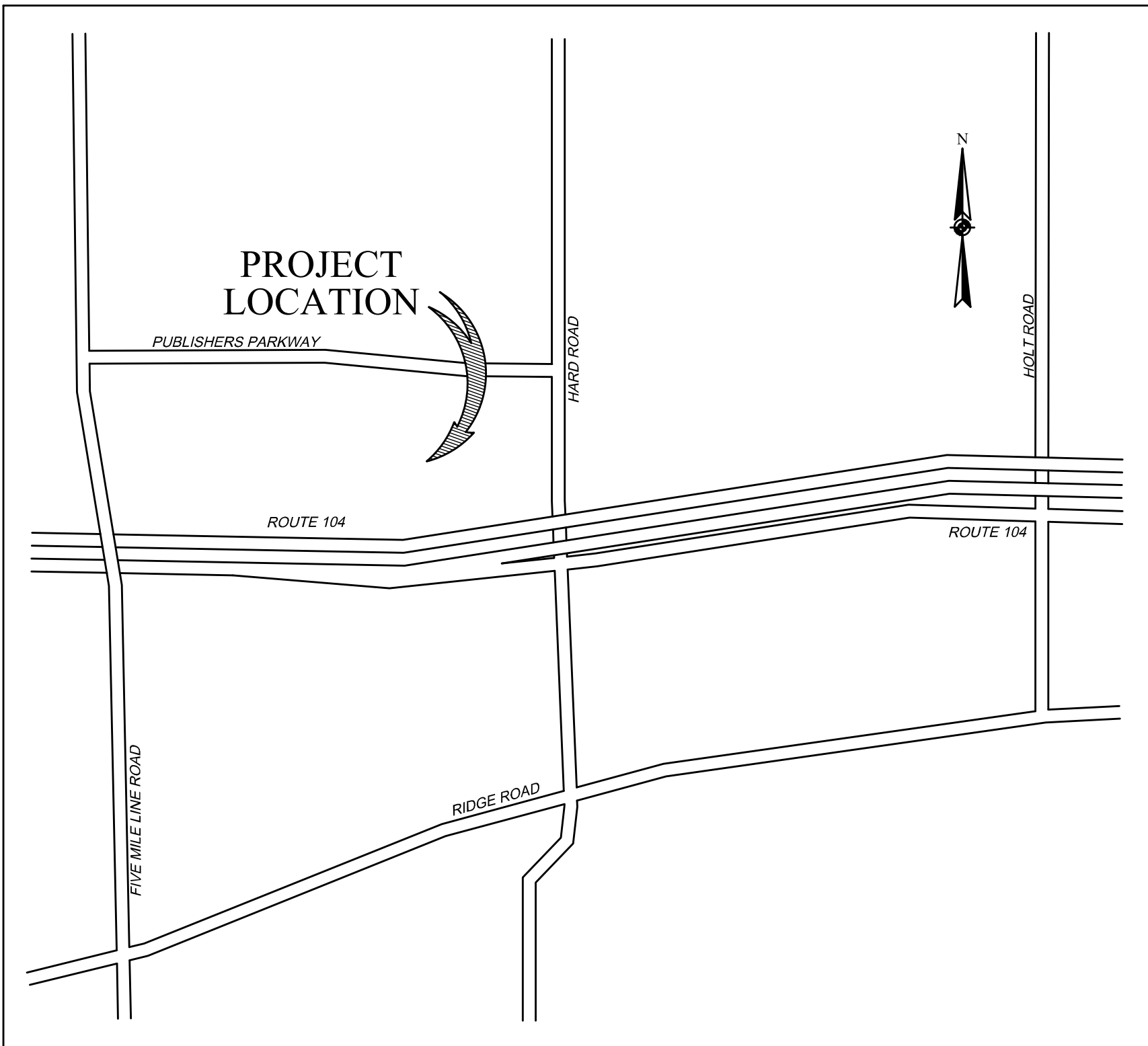
# MCALPIN INDUSTRIES, INC.

## PUBLISHER'S PARKWAY

### 300,000 sq. ft. WAREHOUSE

## SITE DEVELOPMENT PLANS

**TOWN OF WEBSTER  
COUNTY OF MONROE  
STATE OF NEW YORK**



LOCATION SKETCH  
NOT TO SCALE

INDEX OF DRAWINGS	
SHEET NO.	DRAWING TITLE
GA001	COVER SHEET (SHEET 1 OF 10)
GA002	GENERAL NOTES AND LEGEND SHEET (SHEET 2 OF 10)
VA100	EXISTING FEATURES AND DEMOLITION PLAN (SHEET 3 OF 10)
CA100	SITE AND PAVEMENT MARKING PLAN (SHEET 4 OF 10)
CA110	UTILITY PLAN (SHEET 5 OF 10)
CA120	GRADING AND EROSION CONTROL PLAN (SHEET 6 OF 10)
LA100	LANDSCAPE PLAN (SHEET 7 OF 10)
EA100	LIGHTING PLAN (SHEET 8 OF 10)
CA500	DETAIL SHEET (SHEET 9 OF 10)
CA501	DETAIL SHEET (SHEET 10 OF 10)

By: \_\_\_\_\_ Date: \_\_\_\_\_  
DIRECTOR OF COMMUNITY DEVELOPMENT

By: \_\_\_\_\_ Date: \_\_\_\_\_  
TOWN ENGINEER

By: \_\_\_\_\_ Date: \_\_\_\_\_  
PLANNING BOARD CHAIRMAN

By: \_\_\_\_\_ Date: \_\_\_\_\_  
TOWN HIGHWAY SUPERINTENDENT

By: \_\_\_\_\_ Date: \_\_\_\_\_  
WEBSTER SEWER DISTRICT

By: \_\_\_\_\_ Date: \_\_\_\_\_  
FIRE MARSHAL

By: \_\_\_\_\_ Date: \_\_\_\_\_  
TOWN ASSESSOR

By: \_\_\_\_\_ Date: \_\_\_\_\_  
MONROE COUNTY WATER AUTHORITY

By: \_\_\_\_\_ Date: \_\_\_\_\_  
MONROE COUNTY HEALTH DEPARTMENT

**PREPARED FOR:**  
**MCALPIN INDUSTRIES, INC.**  
**255 HOLLENBECK STREET**  
**ROCHESTER, NEW YORK 14621**  
**585-266-3060**

**PREPARED BY:**

**COSTICH ENGINEERING**

• CIVIL  
ENGINEERING  
• LAND  
SURVEYING  
• LANDSCAPE  
ARCHITECTURE

217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 459-3020



DATE: JANUARY 31, 2025  
REVISED: 03/28/2025

APPROVAL PLANS  
PROJECT NO. 9649 SHEET NO. GA001  
SHEET 1 OF 10







## REFERENCES

- MAP ENTITLED "BOULTER PARK - RESUBDIVISION LOT R-1" PREPARED BY  
COOSTICH ENGINEERING, DATED 08/13/2007, HAVING A DRAWING NUMBER  
1926-06S, AND FILED IN THE MONROE COUNTY CLERK'S OFFICE AS LIBER  
333 OF MAPS PAGE 59 ON 02/14/2008.

## SYMBOL LEGEND

[illegible]

SYMBOL	DESCRIPTION
	SIGN - DOUBLE POST
	SIGN - SINGLE POST
	TURNING ARROW
	HANDICAP
	STOP BAR
	TREE DECIDUOUS
	TREE CONIFEROUS
	BUSH
	AIR CONDITIONING UNIT
	SANITARY UTILITY
	GAS UTILITY
	WATER UTILITY
	TELEPHONE UTILITY
	ELECTRIC UTILITY
	CABLE UTILITY

## LINE 1 LEGEND

PARCEL BOUNDARY	EXISTING SANITARY SEWER & MANHOLE
EXISTING RIGHT-OF-WAY LINE	EXISTING DRAINAGE SEWER, FLEET INLET, ALL-TERRAIN MANHOLE & ROAD SECTION
EXISTING ADJACENT PROPERTY LINE	EXISTING OF-BEHEAD UTILITIES
FORMER PROPERTY LINE	EXISTING TELEPHONE UTILITIES
50.0'	EXISTING UNDERGROUND UTILITIES
OWNER PROPERTY LINE DIMENSION	EXISTING GAS SERVICE
MAIN BUILDING SETBACK	EXISTING ELECTRIC SERVICE
CENTER LINE	EXISTING GUARD RAIL
EXISTING EASEMENT LINE	TREES, REDGE, EDGE OF WOODS
EXISTING CONCRETE CURB	EXISTING SWALE
EXISTING EDGE OF PAVEMENT	EXISTING CHAIN LINK & STOCKADE FENCE
EXISTING EDGE OF GRAVEL	EXISTING CONDUIT
EXISTING CONCRETE PAD	EXISTING SPOT ELEVATION @ ±
EXISTING CONCRETE PAD CONCRETE SIDEWALK	
EXISTING UTILITY POLE, CITY ANCHOR & UTILITY POLE WITH LIGHT	
EXISTING WATER MAIN, VALVE & HYDRANT	

## SITE DATA

- | 1. EXISTING ZONING: OP (OFFICE PARK DISTRICT) |                    |
|---|--------------------|
| 2. BULK REQUIREMENTS:                         |                    |
| MIN. LOT AREA (SF)                            | REQUIRED<br>62,500 |
| MAX. LOT COVERAGE                             | 30% / 67%          |
| MIN. LOT WIDTH (FT)                           | 250                |
| MAX. BUILDING HEIGHT (FT)                     | 55                 |
| MIN. FRONT YARD SETBACK (FT)                  | 80                 |
| MIN. SIDE YARD SETBACK (FT)                   | 40                 |
| MIN. REAR YARD SETBACK (FT)                   | 80                 |

## CERTIFICATION

WE, COSTICH ENGINEERING, D.P.C., HEREBY CERTIFY TO

**FLOOD NOTE:**  
By graphic plotting only, this property is in Zone X, of the Flood Insurance Rate Map No. 39055-02293B, Community Panel No. 390436, Town of Webster, which bears an effective date of 8/28/2008. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON DECEMBER 13, 2024 AND FROM THE REFERENCE(S) LISTED HEREON. NO SEARCH OF RECORDS, OTHER THAN THOSE REFERENCED, WAS MADE FOR EASEMENTS OR ENCUMBRANCES AFFECTING THIS PARCEL.

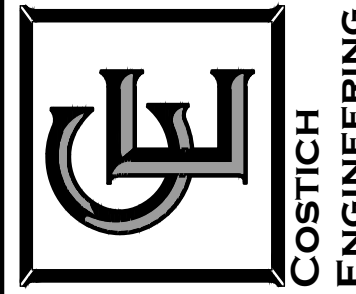
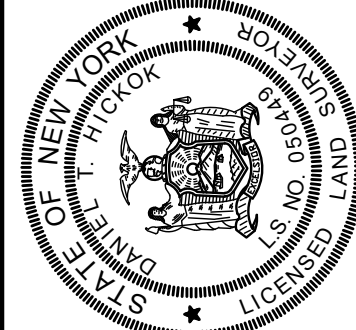
② **WATER SERVICE**  
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GRAPHIC SCALE

(IN SECT.)

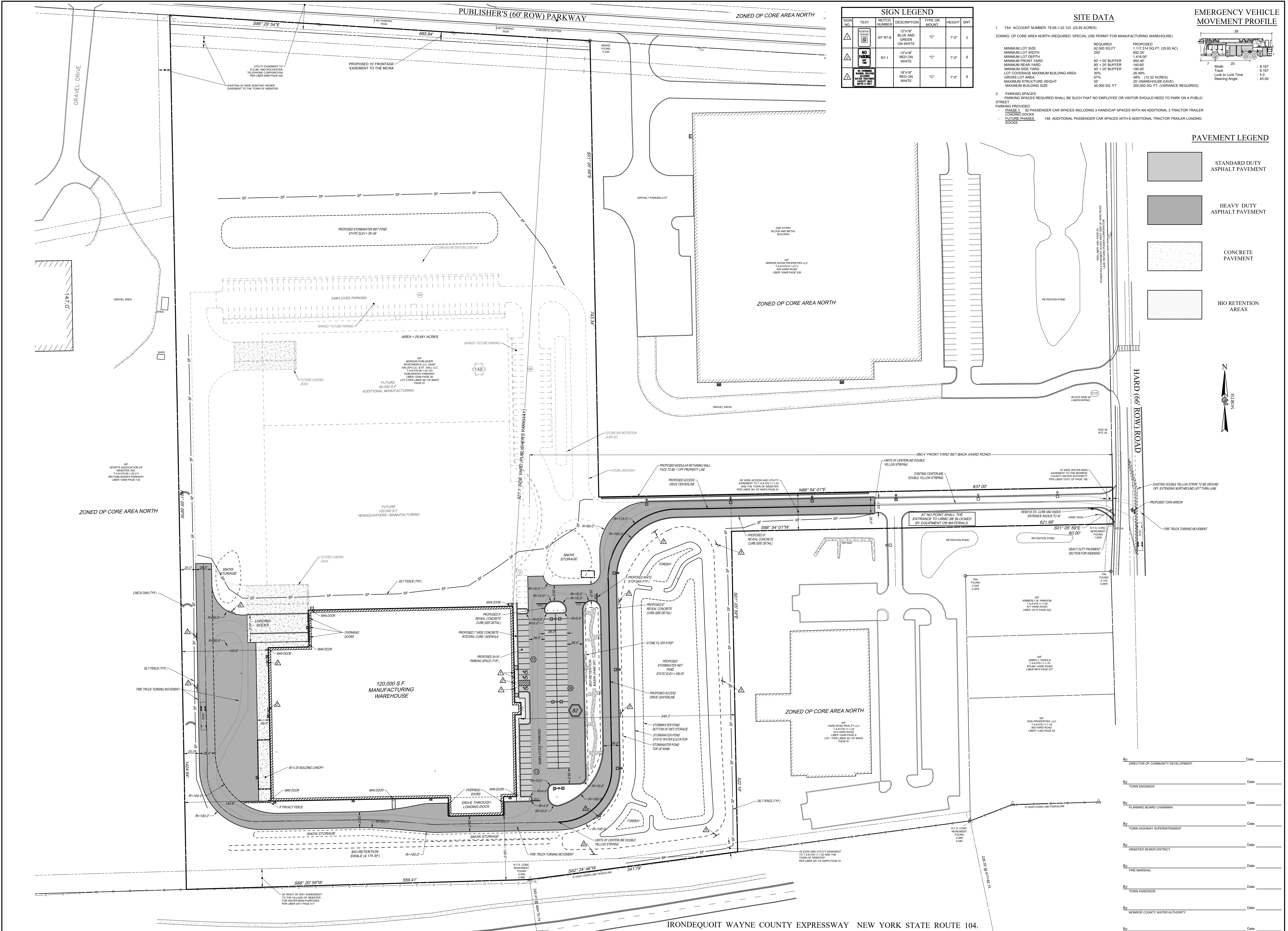
50 100 150 200

## GRAPHIC SCALE



CIVIL ENGINEERING	TITLE OF PROJECT	MICALPIN INDUSTRIES, INC. PUBLISHER'S PARKWAY
DESIGNING AND SURVEYING	TITLE OF DRAWING	EXISTING FEATURES
LANDSCAPE ARCHITECTURE	LOCATION OF PROJECT	TAX PARCEL NO. 09-0166-12-123 TOWNSHIP 14, RANGE 4, SECTION 16 TOWN OF WESTER, COUNTY OF MONROE, STATE OF NEW YORK
17 LAKE AVENUE SUITE 110 HEARTY, NY 14608	CLIENT	MICALPIN INDUSTRIES, INC. 235 BOLLINGER STREET CRAWFORD, NY 14619 OWNER: 96459
		VA100



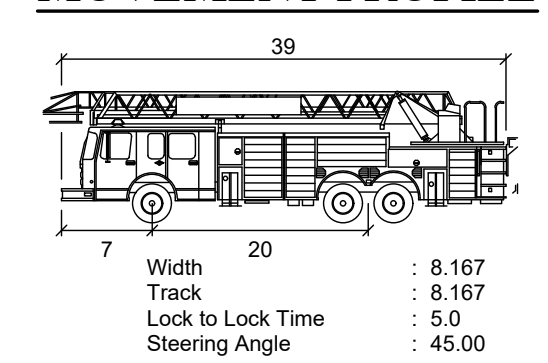


SIGN LEGEND					
SIGN NO.	TEXT	MUTCD NUMBER	DESCRIPTION	TYPE OR MOUNT	HEIGHT
1	NO PARKING	NY R7-8	12"x18" BLUE AND GREEN ON WHITE	"C"	7'-0"
2	NO PARKING	R7-1	12"x18" RED ON WHITE	"C"	7'-0"
3	NO PARKING	R7-1	18"x18" RED ON WHITE	"C"	7'-0"

SITE DATA

1. TAX ACCOUNT NUMBER: 75 06-1-32 (25.65 ACRES)
- ZONING: OP CORE AREA NORTH (REQUIRED SPECIAL USE PERMIT FOR MANUFACTURING WAREHOUSE)
- MINIMUM LOT SIZE: 42,500 SQ. FT. (25.65 AC)
- MINIMUM LOT WIDTH: 117.214 SQ. FT. (25.65 AC)
- MINIMUM LOT DEPTH: 692.24'
- MINIMUM FRONT YARD: 14.18.00'
- MINIMUM REAR YARD: 80' + 50' BUFFER
- MINIMUM SIDE YARD: 80' + 20' BUFFER
- LOT COVERAGE: 30%
- GROSS LOT AREA: 26.49%
- MAXIMUM BUILDING AREA: 87%
- MAXIMUM STRUCTURE HEIGHT: 25' (WAREHOUSE EAVE)
- MAXIMUM BUILDING SIZE: 300,000 SQ. FT. (VARIANCE REQUIRED)
2. PARKING SPACES: 148 ADDITIONAL PASSENGER CAR SPACES WITH 6 ADDITIONAL TRACTOR TRAILER LOADING DOCKS
- STREET: PHASE 1 - 32 PASSENGER CAR SPACES INCLUDING 3 HANDICAP SPACES WITH AN ADDITIONAL 3 TRACTOR TRAILER LOADING DOCKS

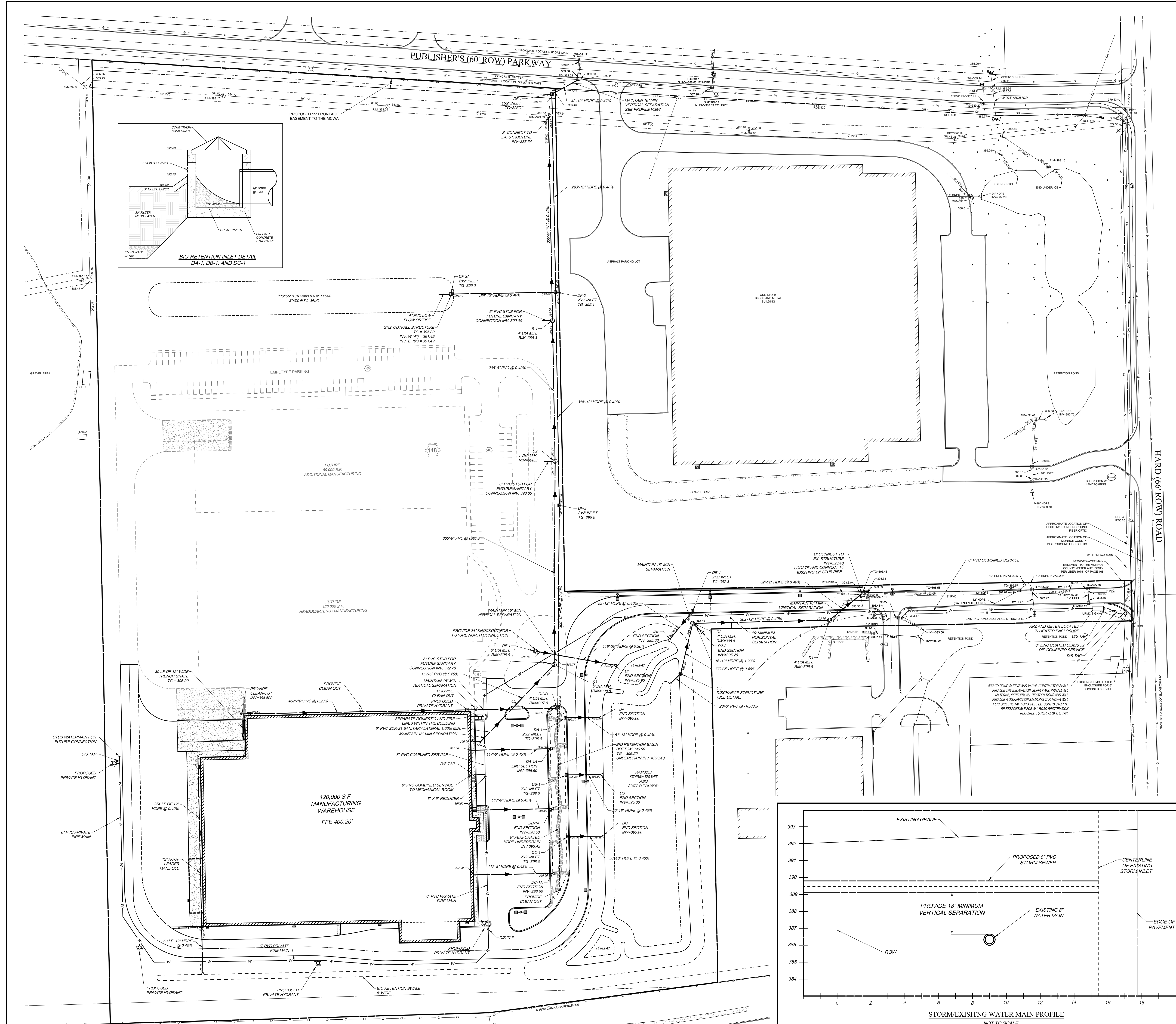
EMERGENCY VEHICLE MOVEMENT PROFILE



PAVEMENT LEGEND

- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- BIO RETENTION AREAS





**HYDRANT FLOW TEST DATA**  
DATA SUPPLIED BY THE MCWA  
LOCATION:  
ISSUE DATE:  
STATIC PRESSURE = 73 P.S.I.  
OBSERVED FLOW = 1296 G.P.M.  
RESIDUAL PRESSURE = 67 P.S.I.  
Q<sub>20</sub> = 3867 G.P.M.

**PLEASE NOTE THE FOLLOWING INFORMATION**  
THE PRESSURE AND FLOW DATA PROVIDED HEREIN REPRESENTS THE CALCULATED VALUES FOR THIS LOCATION IN THE DISTRIBUTION SYSTEM BASED ON TYPICAL LOW OPERATING CONDITIONS. THESE VALUES CAN VARY DEPENDING ON DEMANDS, OPERATIONAL PARAMETERS, SYSTEM CONFIGURATIONS, SUBSEQUENT MODIFICATIONS AND OTHER RELATED CRITERIA. PLEASE CONTACT TONY PASCIK, P.E. AT 585-442-2001 EXT 273 WITH ANY QUESTIONS OR CONCERNS.

**MONROE COUNTY WATER AUTHORITY  
4" AND LARGER SERVICE LINE NOTES**

1. WATER SERVICE LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE WATER AUTHORITY.
2. WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.
3. WATER SERVICE LINES SHALL BE SEPARATED AT LEAST TEN FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEM.
4. WATER SERVICE LINES SHALL BE IDENTIFIED AS:

DESCRIPTION	SIZE	MATERIAL <sup>1</sup>	TYPE <sup>2</sup>
M.C.W.A. PORTION FROM THE WATER MAIN TO AND INCLUDING THE CONTROL VALVE ON THE 0.0 M.V. PROPERTY EASEMENT LINE	8"	ZINC COATED CLASS 52 DIP	CMB
PRIVATE PORTION FROM THE CONTROL VALVE TO THE METER	8"	ZINC COATED CLASS 52 DIP	CMB
5. THE WATER AUTHORITY'S PORTION OF THE WATER SERVICE LINE SHALL BE INSTALLED 2000 TO THE PRIVATE PORTION OF THE SERVICE LINE.
6. WATER METERS SHALL BE LOCATED ON THE INTERIOR OF EXTERIOR WALLS IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDINGS. A BY-PASS ASSEMBLY IS NOT REQUIRED AROUND THE INSTALLATION OF AN INCH THROUGH 1-INCH METERS. 1.5 INCH - 2 INCH METERS MAY REQUIRE A BY-PASS INSTALLATION AROUND THE METER. METER INSTALLATIONS 3-INCH OR GREATER REQUIRE A BY-PASS ASSEMBLY AROUND THE METER.
7. WATER SERVICE LINES SIZED 4" OR GREATER SHALL BE:
  - PRESURE TESTED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY. A WATER AUTHORITY REPRESENTATIVE MUST WITNESS THIS TEST.
  - DISINFECTED BY USING THE CONTINUOUS FEED METHOD ACCORDING TO AWWA STANDARD SPECIFICATIONS. AFTER FLUSHING AND DISINFECTING THE SERVICE LINE, WATER SAMPLES SHALL BE COLLECTED IN ACCORDANCE WITH THE DEPARTMENT OF HEALTH. THE JURISDICTION OF THE AWWA REQUIREMENTS, APPROVAL AND NOTIFICATION BY THE HEALTH DEPARTMENT OF A PASSING HEALTH SAMPLE TEST(S) MUST BE RECEIVED BEFORE THE SERVICE WILL BE ACTIVATED BY THE WATER AUTHORITY.

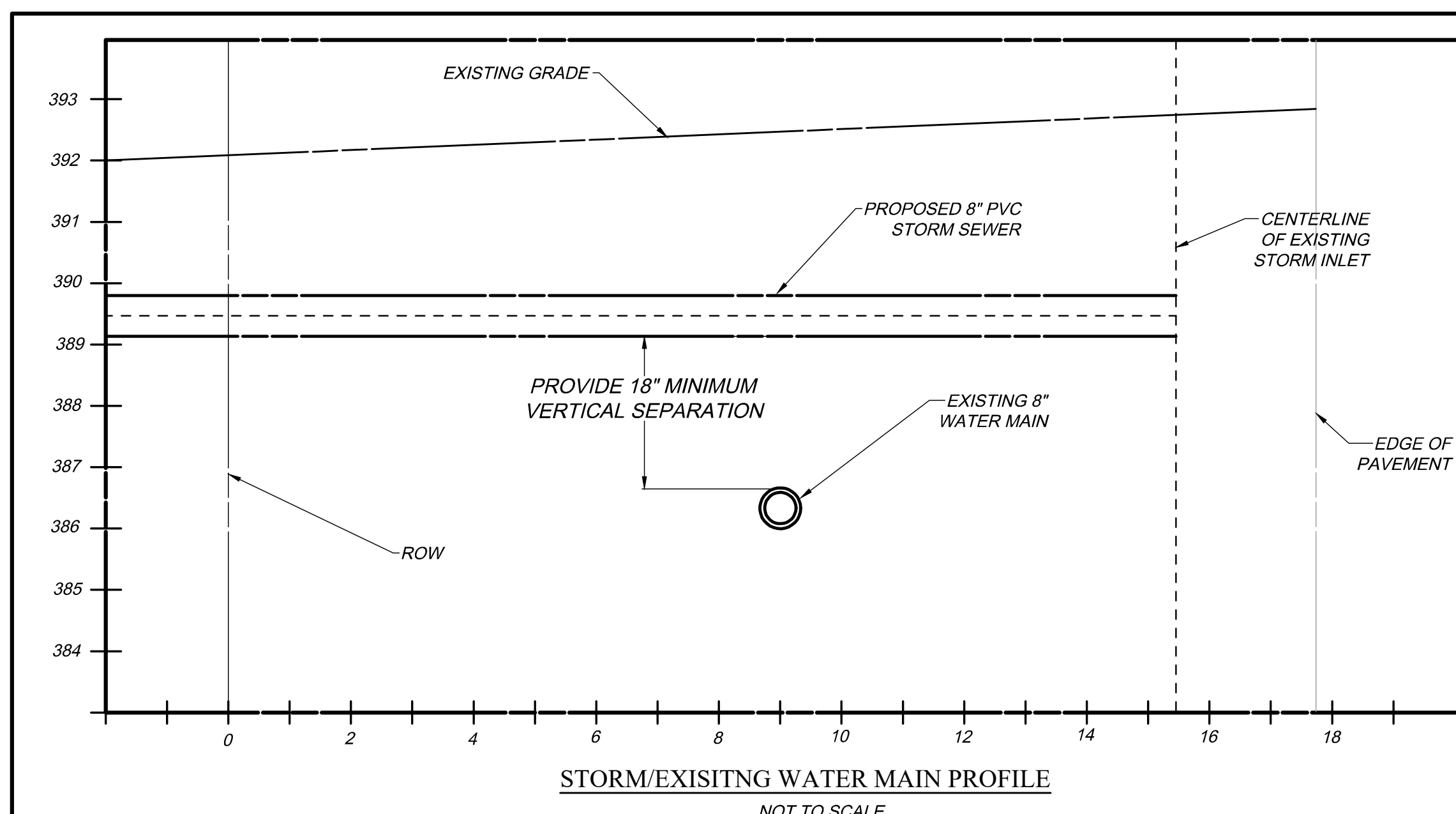
SYMBOL LEGEND	
	DRAINAGE MANHOLE
	INLET DRAINAGE MANHOLE
	CATCH BASIN
	END SECTION
	END OF PIPE
	MANHOLE
	SANITARY MANHOLE
	CLEAN OUT
	GAS VALVE
	GAS METER
	SPRINKLER VALVE
	SPRINKLER HEAD
	WATER VALVE
	WATER SERVICE
	HYDRANT
	WATER METER
	WELL
	MONITOR WELL
	BORE
	CABLE TV PEDESTAL
	SIGNAL POLE
	UTILITY POLE
	GUY WIRE
	PULL BOX
	ELECTRIC PULL BOX
	TELEPHONE PULL BOX
	TRAFFIC PULL BOX
	TRANSFORMER
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	TELEPHONE PEDESTAL
	PHONE BOOTH
	PEDESTRIAN POLE
	TRAFFIC CONTROL CABINET
	LAMP POST
	LIGHT POLE
	UTILITY POLE WITH LIGHT
	FLAG POLE
	MAILBOX
	POST
	SIGN
	SIGN
	TURNING ARROW
	HANDICAP
	STOP BAR
	TREE DECIDUOUS
	TREE CONIFEROUS
	BUSH
	AIR CONDITIONING UNIT
	SANITARY UTILITY LATH
	GAS UTILITY LATH
	WATER UTILITY LATH
	TELEPHONE UTILITY LATH
	ELECTRIC UTILITY LATH
	CABLE UTILITY LATH

LINE LEGEND	
	SECTION/PARCEL BOUNDARY
	MIN. BUILDING SETBACK
	CENTER LINE
	EXIST. EASEMENT LINE
	EXIST. RIGHT-OF-WAY LINE
	EXIST. EDGE OF PAVEMENT
	EXISTING WATER MAIN, VALVE, & HYDRANT
	EXISTING SANITARY SEWER, & MANHOLE
	EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
	EXISTING OVERHEAD UTILITIES
	EXISTING TELEPHONE
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING ELECTRIC
	EXISTING GUARD RAIL
	TREE HEDGE EDGE OF WOODS
	EXISTING SWALE
	BARBED WIRE STOCKADE/CHAIN LINKED FENCE
	EXISTING CONTOUR
	EXISTING SPOT ELEVATION @ X
	CONCRETE PAD/CONCRETE SIDEWALK

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH  
THESE PLANS FOR PUBLIC SANITARY SEWER EXTENSION / IMPROVEMENTS ARE HEREBY APPROVED PURSUANT TO ARTICLE 17 OF THE NYS ENVIRONMENTAL CONSERVATION LAW SUBJECT TO CONDITIONS OF APPROVAL.  
DIRECTOR OF PUBLIC HEALTH

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH  
THESE PLANS FOR PUBLIC WATER SYSTEM EXTENSION / IMPROVEMENTS ARE HEREBY APPROVED PURSUANT TO ARTICLE 17 OF THE NYS ENVIRONMENTAL CONSERVATION LAW SUBJECT TO CONDITIONS OF APPROVAL.  
DIRECTOR OF PUBLIC HEALTH

BY: PUBLIC HEALTH ENGINEER	DATE:	BY: PUBLIC HEALTH ENGINEER	DATE:
BY: DIRECTOR OF COMMUNITY DEVELOPMENT	DATE:	BY: TOWN ENGINEER	DATE:
BY: TOWN ENGINEER	DATE:	BY: PLANNING BOARD CHAIRMAN	DATE:
BY: PLANNING BOARD CHAIRMAN	DATE:	BY: TOWN HIGHWAY SUPERINTENDENT	DATE:
BY: TOWN HIGHWAY SUPERINTENDENT	DATE:	BY: WEBSTER SEWER DISTRICT	DATE:
BY: WEBSTER SEWER DISTRICT	DATE:	BY: FIRE MARSHAL	DATE:
BY: FIRE MARSHAL	DATE:	BY: TOWN ASSESSOR	DATE:
BY: TOWN ASSESSOR	DATE:	BY: MONROE COUNTY WATER AUTHORITY	DATE:



EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION, OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.

GRAPHIC SCALE  
1" = 50'  
(IN FEET)

STORM/EXISTING WATER MAIN PROFILE  
NOT TO SCALE

17 IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, PROFESSIONAL LANDSCAPE ARCHITECT, TO ALTER ANY DOCUMENT REQUIRED BY LAW TO BE ALIGNED BY A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, OR LANDSCAPE ARCHITECT. ANY VIOLATION OF THIS SECTION SHALL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL SEAL AND THE VIOLATION SHALL BE SUBJECT TO THE DISCIPLINARY ACTION OF THE BOARD OF PROFESSIONAL ENGINEERS, LAND SURVEYORS, OR LANDSCAPE ARCHITECTS.

COPYRIGHT © 2022 COSTICH ENGINEERING, D.P.C.  
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STATE OF NEW YORK  
JULY 14 2022  
PROFESSIONAL ENGINEER  
008184  
TOWN OF MONROE

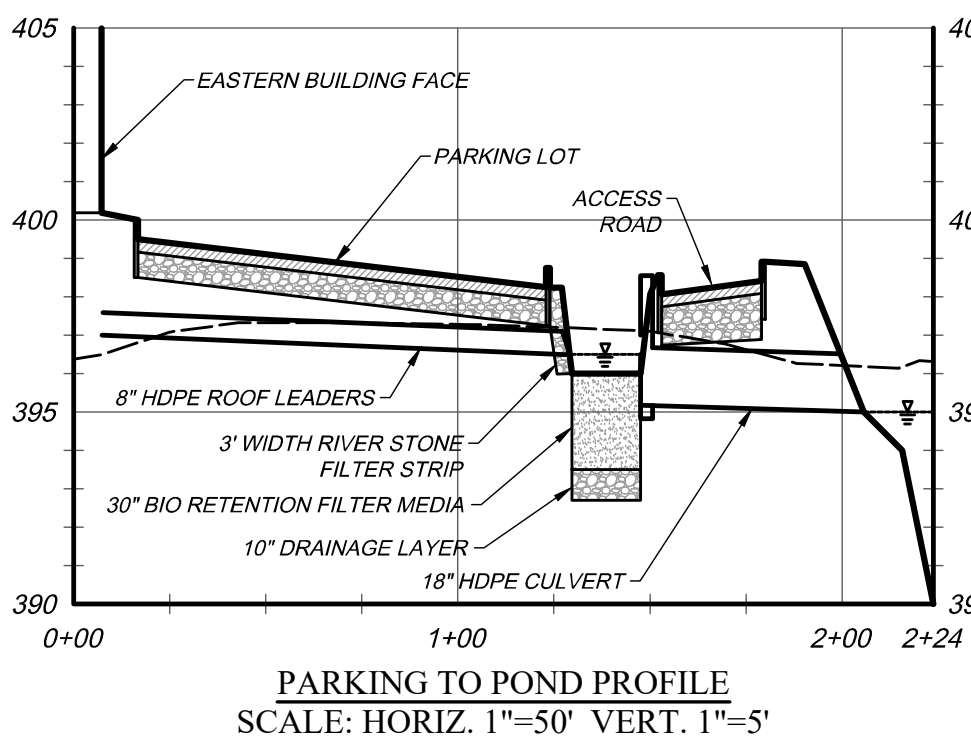
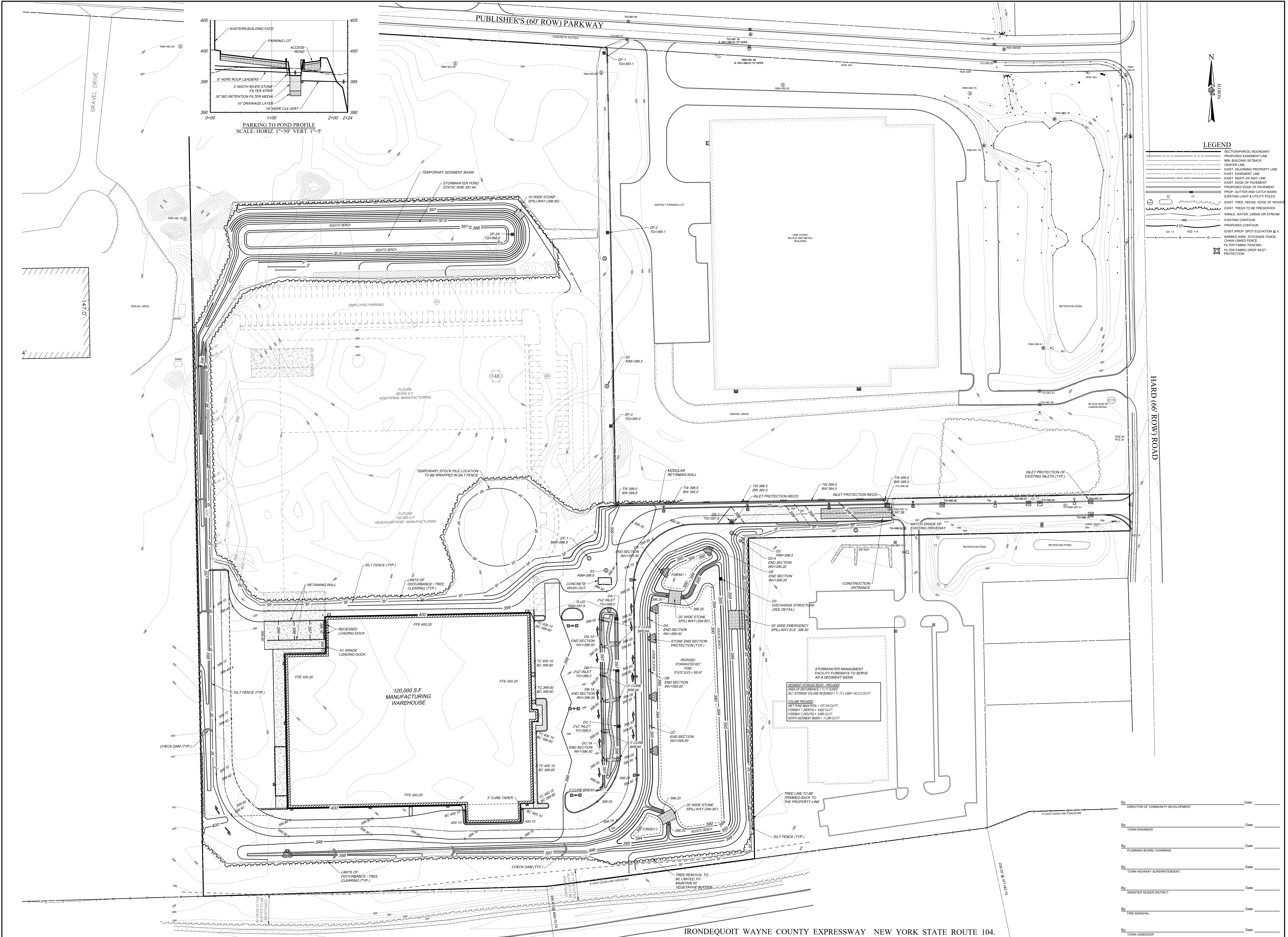
PROJECT MANAGER: S.J.C.  
DESIGNED BY: W.T.A.  
CHECKED BY: D.T.H.  
TOWN BOARD: M.G.  
DATE: 01/31/2025  
SCALE: 1"=50'

217 LAKE AVENUE  
ROCHESTER, NY 14609  
(716) 438-2022

CLIENT: MCALPIN INDUSTRIES, INC.  
255 HOLLAND STREET  
ROCHESTER, NY 14601

TITLE OF PROJECT: MCALPIN INDUSTRIES, INC. PUBLISHER'S PARKWAY  
TITLE OF DRAWING: UTILITY PLAN  
LOCATION OF PROJECT: TOWN OF MONROE, NY  
SECTION 14, PHILIP A. GORHAM PURCHASE, TOWN OF MONROE, NY  
MCALPIN INDUSTRIES, INC.  
255 HOLLAND STREET  
ROCHESTER, NY 14601  
DWG # 9649  
CA110  
SHEET 1 OF 10





LEGEND	
[Symbol]	SECTION/PARCEL BOUNDARY
[Symbol]	PROPOSED EASEMENT LINE
[Symbol]	MIN. BUILDING SETBACK
[Symbol]	CENTER LINE
[Symbol]	EXIST. ADJOINING PROPERTY LINE
[Symbol]	EXIST. EASEMENT LINE
[Symbol]	EXIST. RIGHT-OF-WAY LINE
[Symbol]	EXIST. EDGE OF PAVEMENT
[Symbol]	PROPOSED EDGE OF PAVEMENT
[Symbol]	PROP. GUTTER AND CATCH BASIN
[Symbol]	EXISTING LIGHT & UTILITY POLES
[Symbol]	EXIST. TREE, HEDGE, EDGE OF WOODS
[Symbol]	EXIST. TREES TO BE PRESERVED
[Symbol]	SWALE, WATER, CREEK OR STREAM
[Symbol]	EXISTING CONTOUR
[Symbol]	PROPOSED CONTOUR
[Symbol]	EXIST. PROP. SPOT ELEVATION @ X
[Symbol]	BARBED WIRE, STOCKADE FENCE, CHAIN LINKED FENCE
[Symbol]	FILTER FABRIC FENCING
[Symbol]	PROTECTION

EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTHS OF ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.

GRAPHIC SCALE

(IN FEET)

1 inch = 50 ft.

NO.	DATE	REVISION
1	03/07/2025	REVISED PER PRC COMMENTS DATED 02/12/2025
2	03/11/2025	REVISED PER PRC COMMENTS DATED 02/27/2025

PROJECT NUMBER: S.J.C.  
DESIGNED BY: W.T.A.  
CHECKED BY: D.T.H.  
TOPographer: M.G.  
DATE: 01/31/2025  
SCALE: 1\"/>

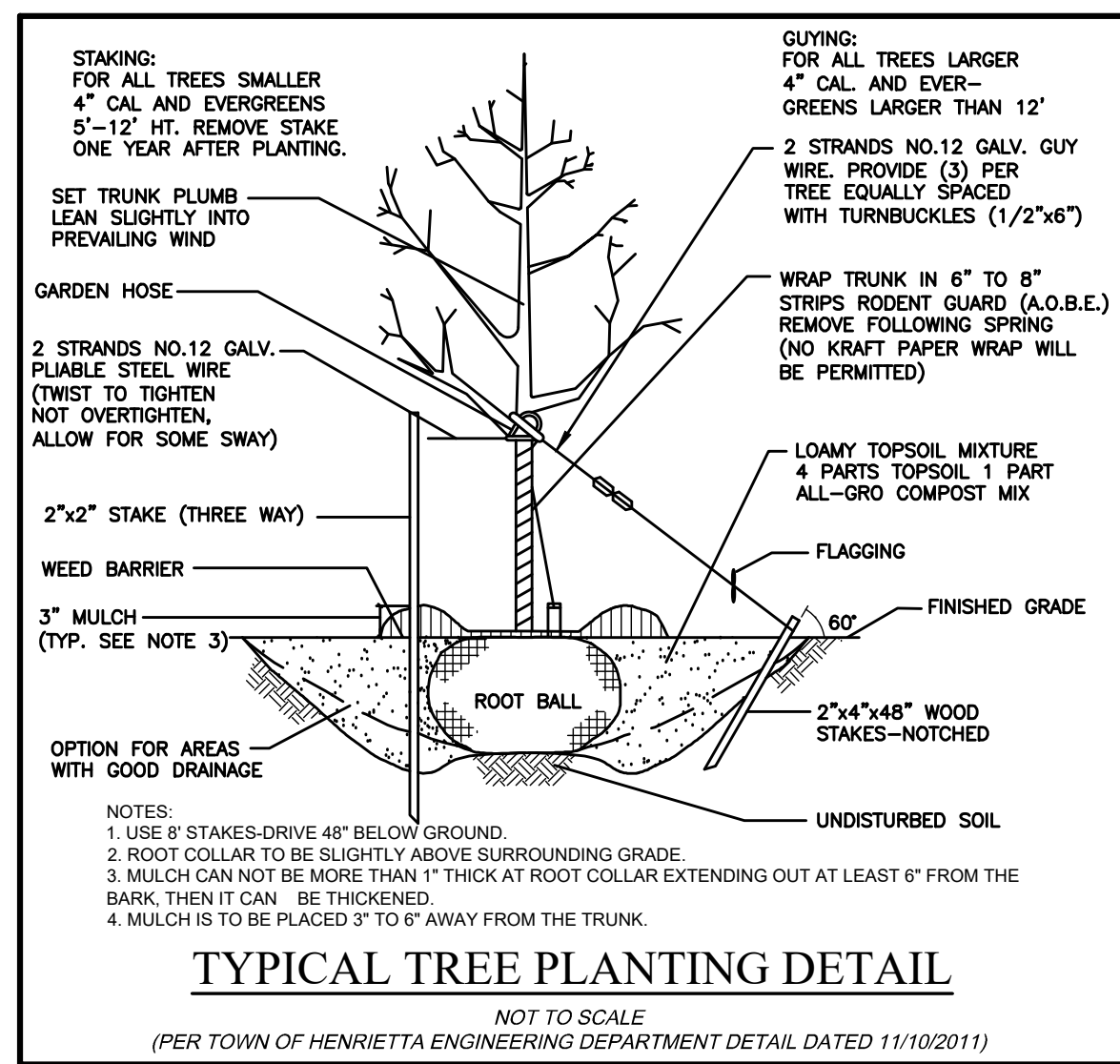
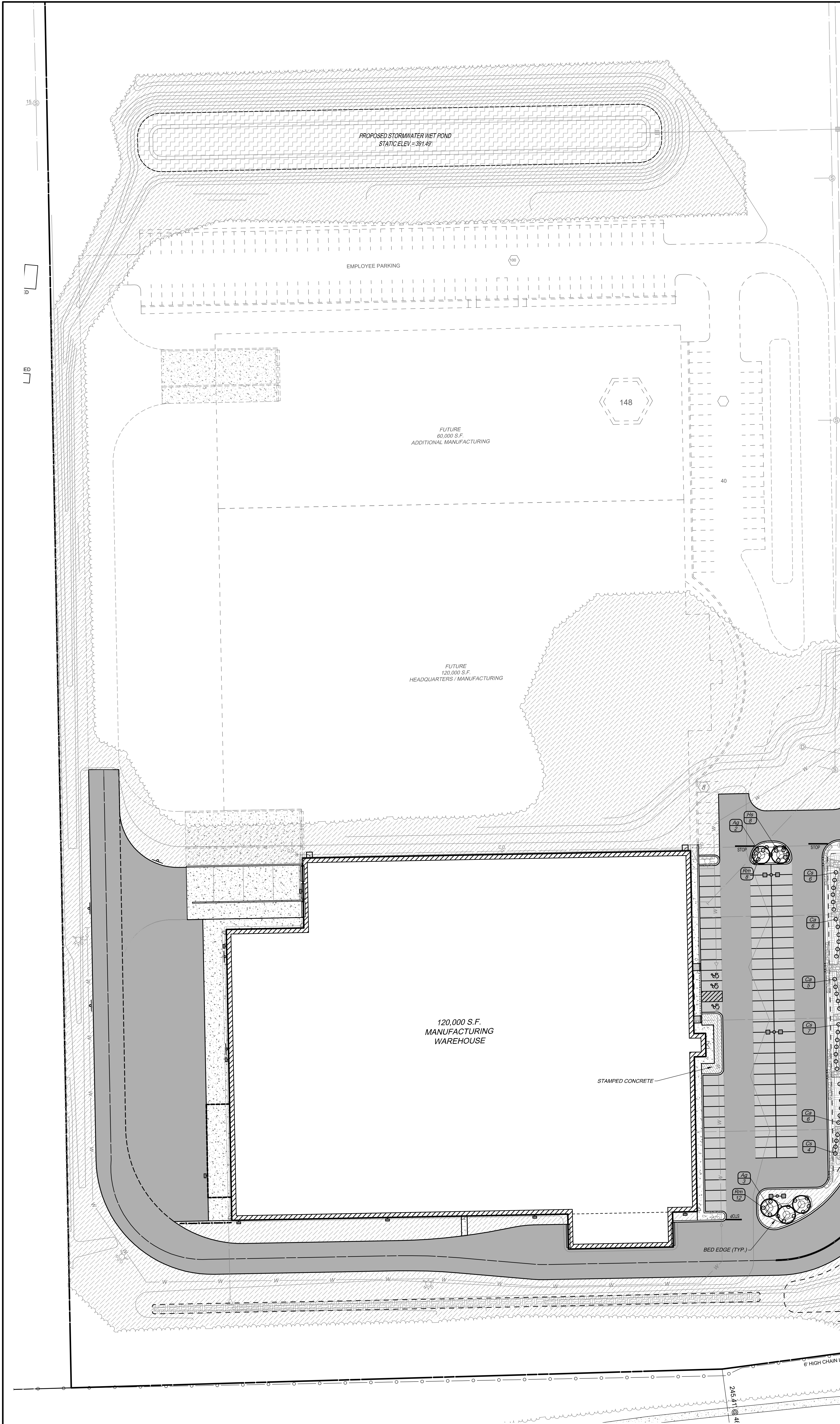
STATE OF NEW YORK  
S.E. COSTICH  
Professional Engineer  
No. 036184  
Exp. 12/31/2026

STATE OF NEW YORK  
S.E. COSTICH  
Professional Engineer  
No. 036184  
Exp. 12/31/2026

CLIENT: MCALPIN INDUSTRIES, INC.  
255 HOLLIDAY STREET  
ROCHESTER, NY 14603

PROJECT: PUBLISHING'S PARKWAY  
GRADING AND EROSION CONTROL PLAN  
LOCATION OF PROJECT: TOWN LOT 1, TOWNSHIP 14 RANGE 4, SECTION 14, PHILIPS & GORHAM PURCHASE, TOWN OF WEBSTER, COUNTY OF MONROE, STATE OF NEW YORK  
CLIENT: MCALPIN INDUSTRIES, INC.  
255 HOLLIDAY STREET  
ROCHESTER, NY 14603  
DATE: 01/31/2025  
SCALE: 1\"/>





### LANDSCAPE NOTES

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE, AND SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION ANSI Z60.1.
- THE CONTRACTOR SHALL SECURE THE MOST RECENT PLANS AND/OR SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL, OF ALL LANDSCAPE ELEMENTS, INCLUDING HARDSCAPE ITEMS, PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS PRIOR TO SUBMITTING A COST ESTIMATE.
- LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT. ACTUAL LOCATIONS MAY BE AS DIRECTED BY THE OWNER/OWNERS REPRESENTATIVE AT THE TIME OF INSTALLATION, AND MAY REQUIRE THE CONTRACTOR TO PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANT MATERIAL AND SHRUB BEDS.
- LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. IF ANY TREE IS LOCATED CLOSER THAN 5' TO AN UNDERGROUND UTILITY, IT SHALL BE RELOCATED TO A LOCATION THAT IS A MINIMUM OF 5' AWAY AS MEASURED FROM THE ROOTBALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- SHOULD THE LOCATIONS OF TREES BE WITHIN 20' OF OVERHEAD WIRES, IMMEDIATELY NOTIFY THE OWNER/OWNERS REPRESENTATIVE TO AVOID AND/OR MINIMIZE POTENTIAL CONFLICTS.
- UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, A THREE (3) YEAR MAINTENANCE GUARANTEE IS REQUIRED. A CHECK IN THE AMOUNT OF 10% OF THE TOTAL LANDSCAPING COST WILL NEED TO BE FURNISHED TO THE TOWN OF HENRIETTA.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL AND FINAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, SIZE, AND QUANTITY MEETING ALL PLANT LIST SPECIFICATIONS.
- PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART COMPOST THOROUGHLY MIXED.
- ALL TREE AND SHRUB BEDS SHALL RECEIVE DEWITT WEED BARRIER AND LARGE RIVER COBBLES.
- STAKE TREES IMMEDIATELY AFTER PLANTING.
- ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL HAVE A MINIMUM OF 6" OF TOPSOIL AND BE SEEDED.
- ANY PROPOSED DEVIATION TO THE LANDSCAPING PLAN MUST FIRST BE REVIEWED AND APPROVED BY THE PLANNING BOARD CHAIRMAN AND THE DIRECTOR OF ENGINEERING AND PLANNING PRIOR TO THE INSTALLATION OF THE PROPOSED LANDSCAPING CHANGES.
- ALL TREES INDICATED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION OPERATIONS.

PLANT SCHEDULE						
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE
<b>TREES</b>						
5	A9	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	1.75-2" CAL.	BB	HT. 15-25', SP. 15-25'
6	Bn	BETULA NIGRA	HERITAGE RIVER BIRCH	3-3.5" CAL.	BB	HT. 20-30', SP. 20-30'
<b>SHRUBS</b>						
17	Ca	CORNUS SERICEA	BLOODTWIG DOGWOOD	MIN. 30"	CONT.	HT. 5-6', SP. 5-6'
20	Rn	ROSA MEDIALPIS	RED DRIFT ROSE	MIN. 24"	CONT.	HT. 1-1.5', SP. 2-2.5'
<b>GRASSES, PERENNIALS, GROUNDCOVER</b>						
8	Hs	HEMEROCALLIS 'SWIRLING WATER'	SWIRLING WATER DAYLILY	NO. 3	CONT.	HT. 1.5-2', SP. 1-1.5'
17	Ca	CALAMAGROSTIS X ACUTIFLORA	KARL FOERSTER FEATHER REED GRASS	NO. 3	CONT.	HT. 2-3', SP. 2-3'

ABBREVIATIONS:  
BB-BALLED & BURLAPPED  
BRS-BARE ROOT  
HT=HEIGHT  
NO=NO-GALLON SIZE

CAL=CALIPER IN INCHES  
CONT=CONTAINER  
SP=SPREAD

NOTES:  
CALIPER TO BE MEASURED 6" ABOVE GRADE  
PLANT SYMBOLS REPRESENT 20" MATURE SIZE

NOTE:  
ALL DISTURBED LAWN AREAS SHALL RECEIVE 6" TOPSOIL AND PERMANENT LAWN HYDROSEED MIX.

SEED MIX:

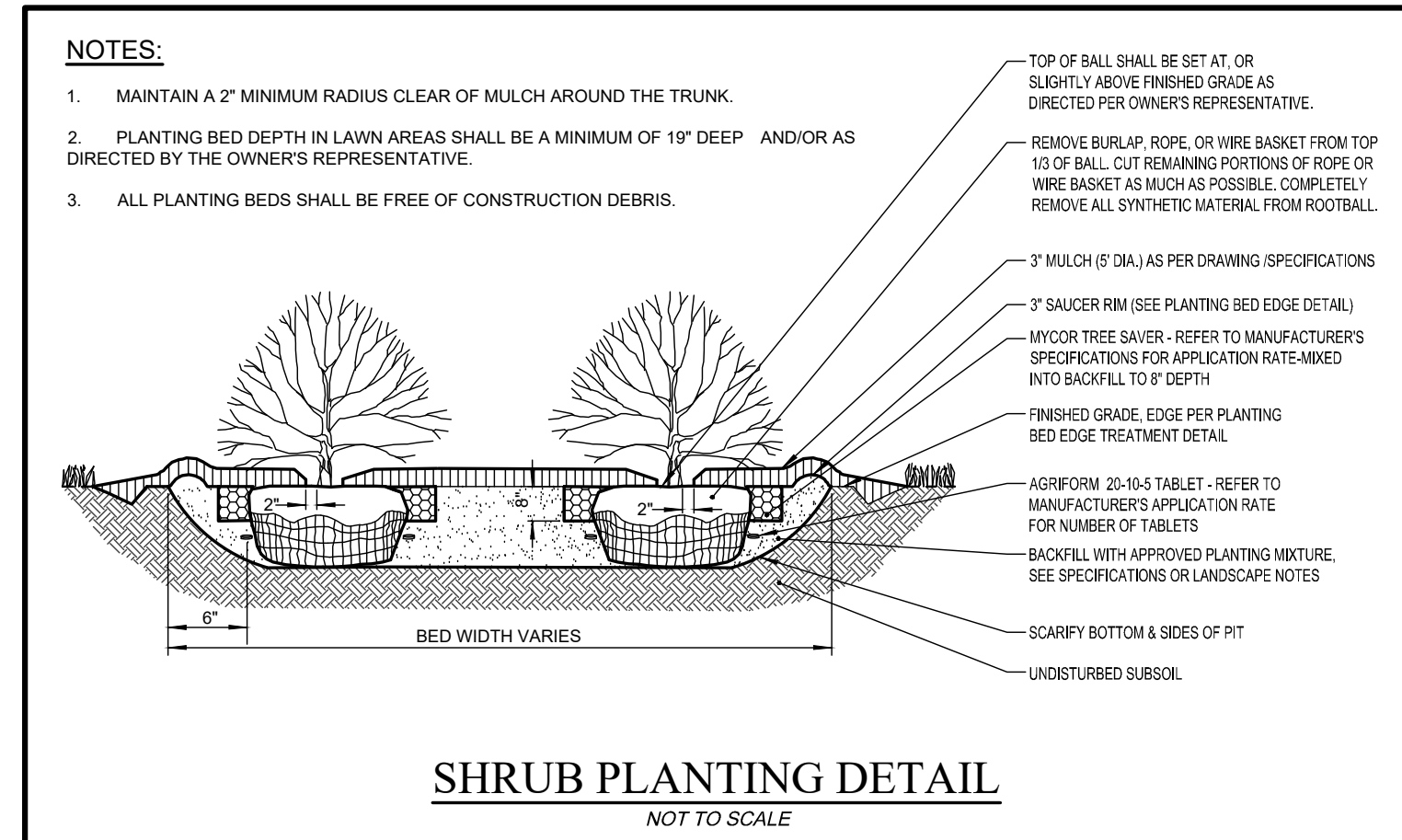
	LB/ACRE	SEED PURITY	%GERM
Perennial Ryegrass	35	97	85
Perennial Red Fescue	35	97	85
Baron and Midnight Kentucky Bluegrass	30	85	80

SEEDING RATE: 6.0 POUNDS PER 1,000 SQUARE FEET

MULCH: STRAW OR WOOD FIBER MULCH APPLIED AT THE RATE OF TWO TONS PER ACRE

STARTING FERTILIZER: 5:10:10 AT 20 POUNDS PER 1,000 SQUARE FEET

FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED "AROSTOCK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE.



LEGEND	
	AREAS TO RECEIVE 6" TOPSOIL AND PERMANENT LAWN HYDRO SEED MIX
	WATER SURFACE IN THE STORMWATER MANAGEMENT FACILITY
	RIVER STONE CHANNEL
	BIO RETENTION AREA 30" SOIL MEDIA + 3" MULCH LAYER

By: DIRECTOR OF COMMUNITY DEVELOPMENT Date: \_\_\_\_\_

By: TOWN ENGINEER Date: \_\_\_\_\_

By: PLANNING BOARD CHAIRMAN Date: \_\_\_\_\_

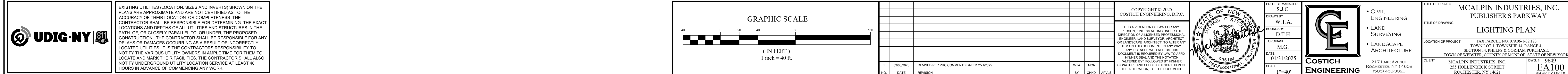
By: TOWN HIGHWAY SUPERINTENDENT Date: \_\_\_\_\_

By: WEBSTER SEWER DISTRICT Date: \_\_\_\_\_

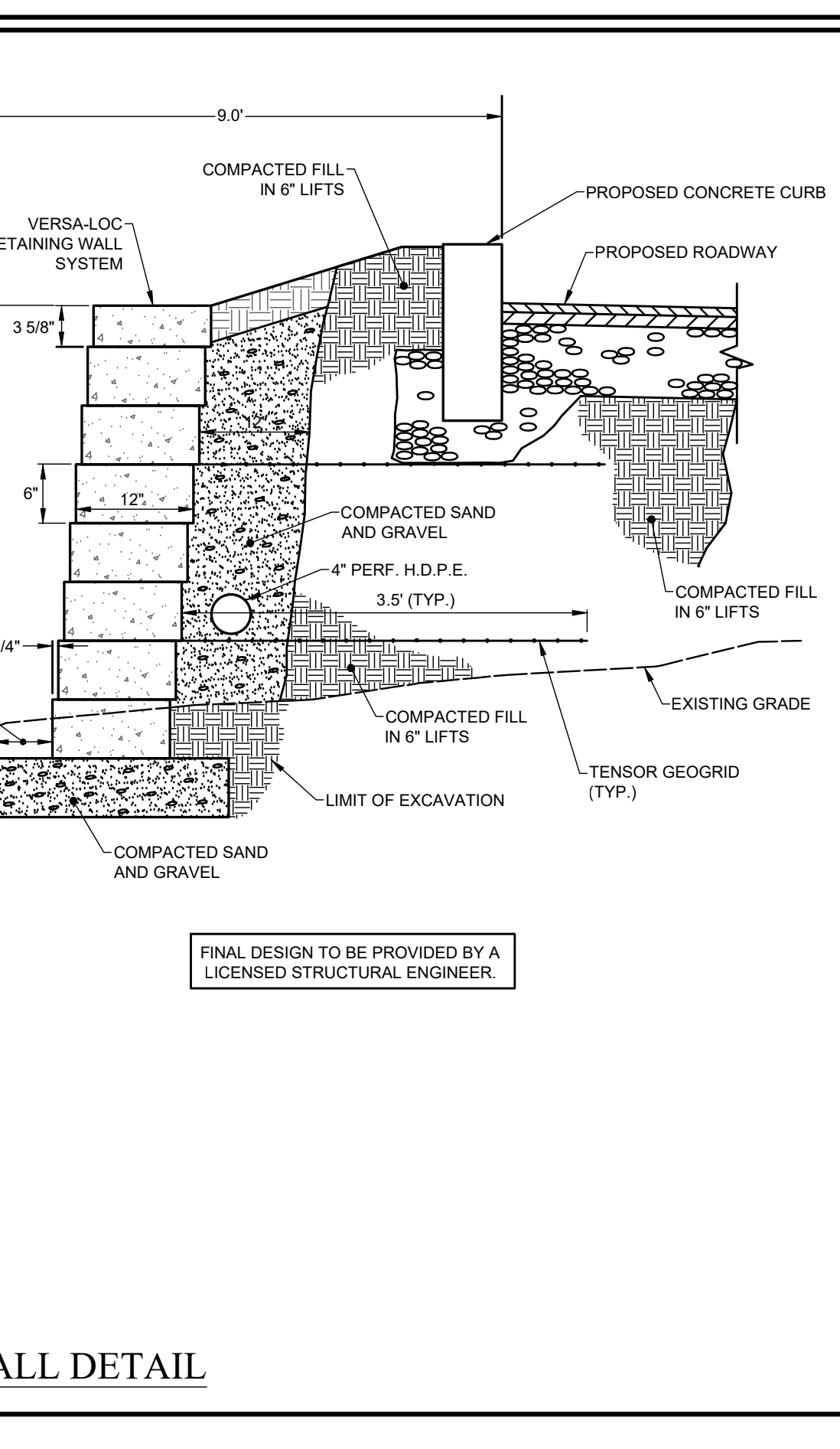
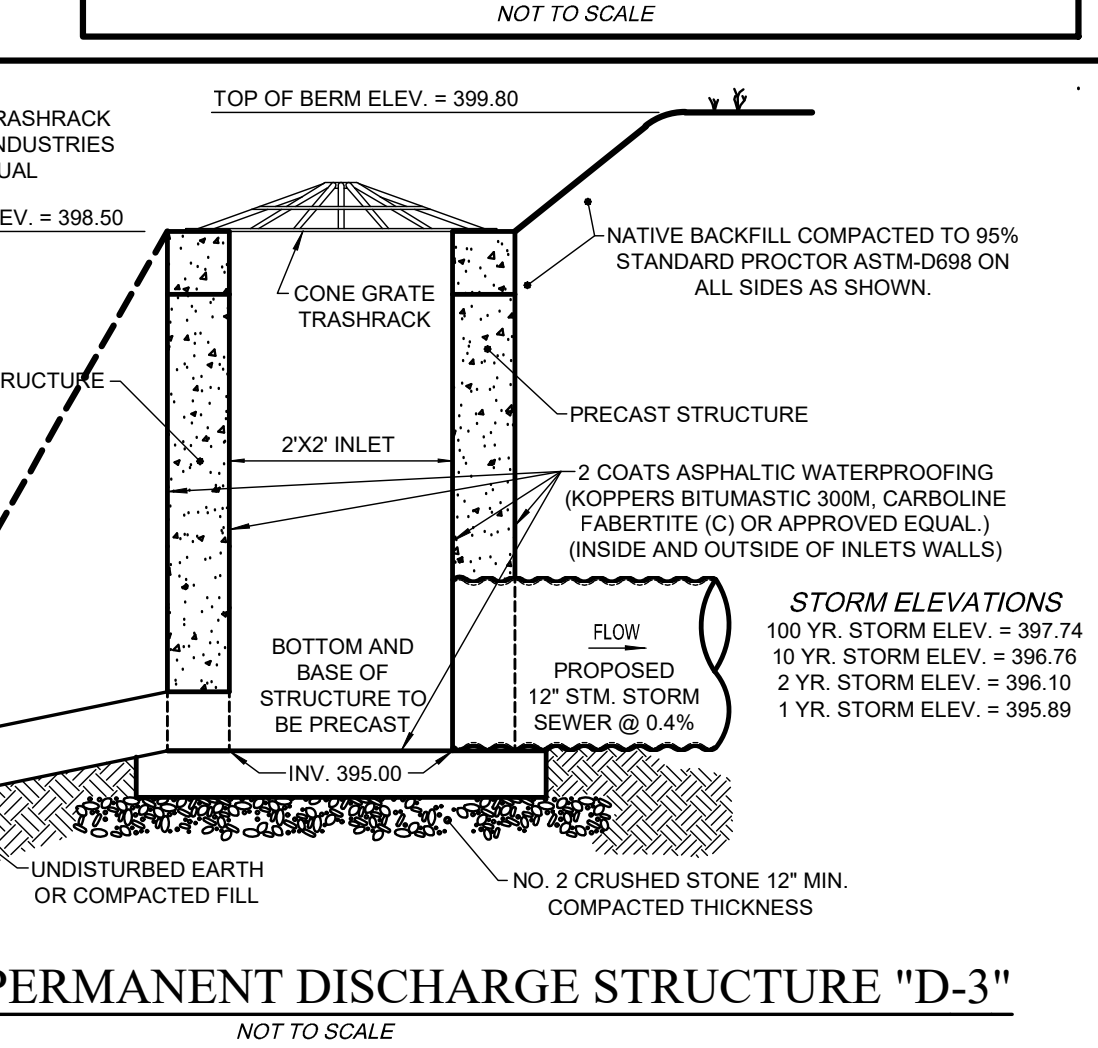
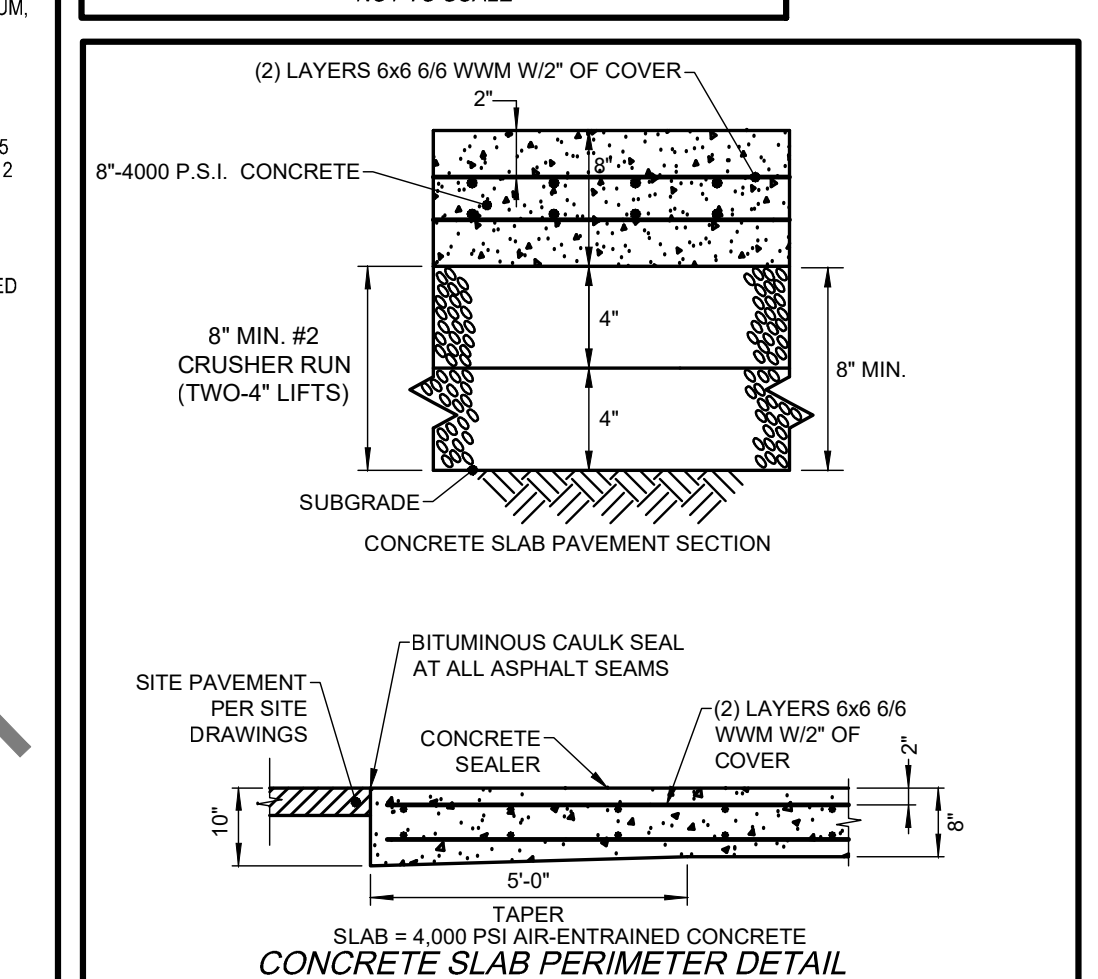
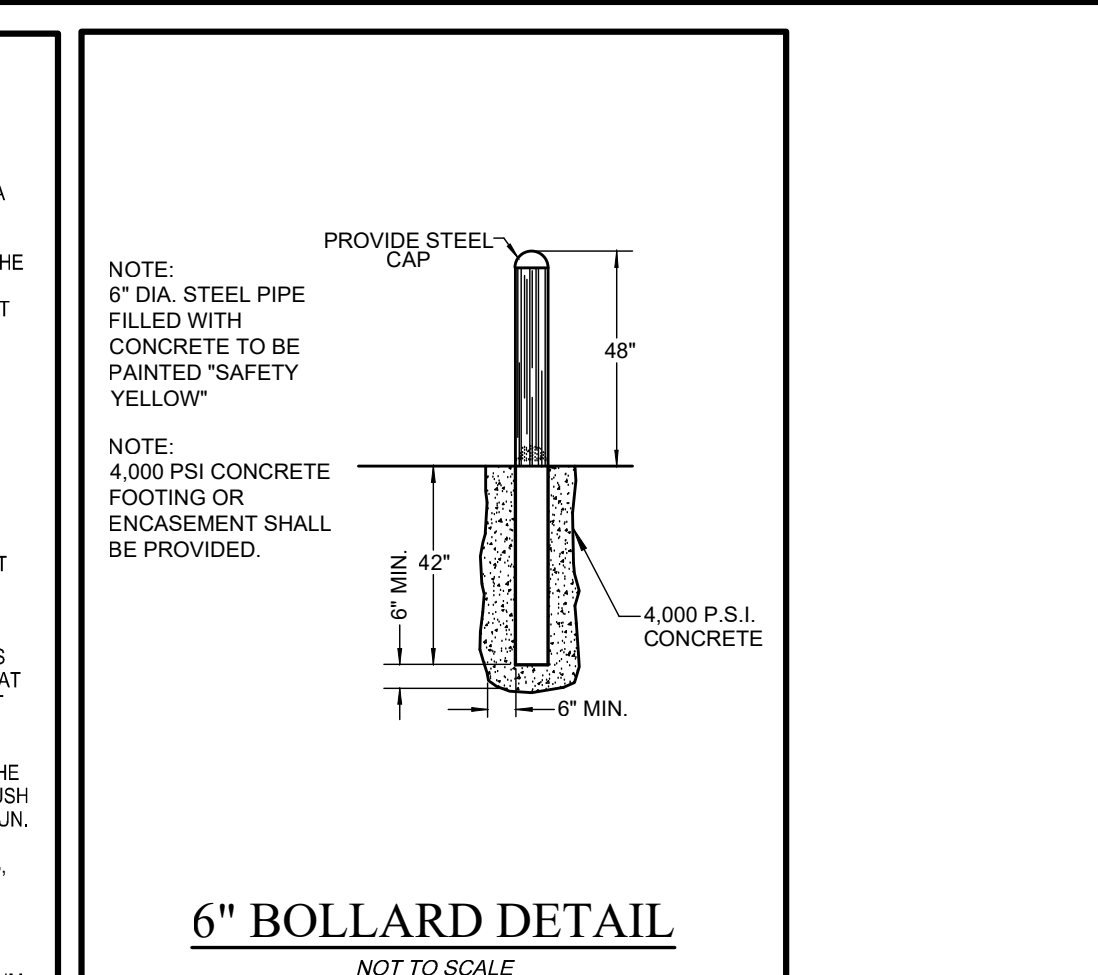
By: FIRE MARSHAL Date: \_\_\_\_\_

By: TOWN ASSESSOR Date: \_\_\_\_\_

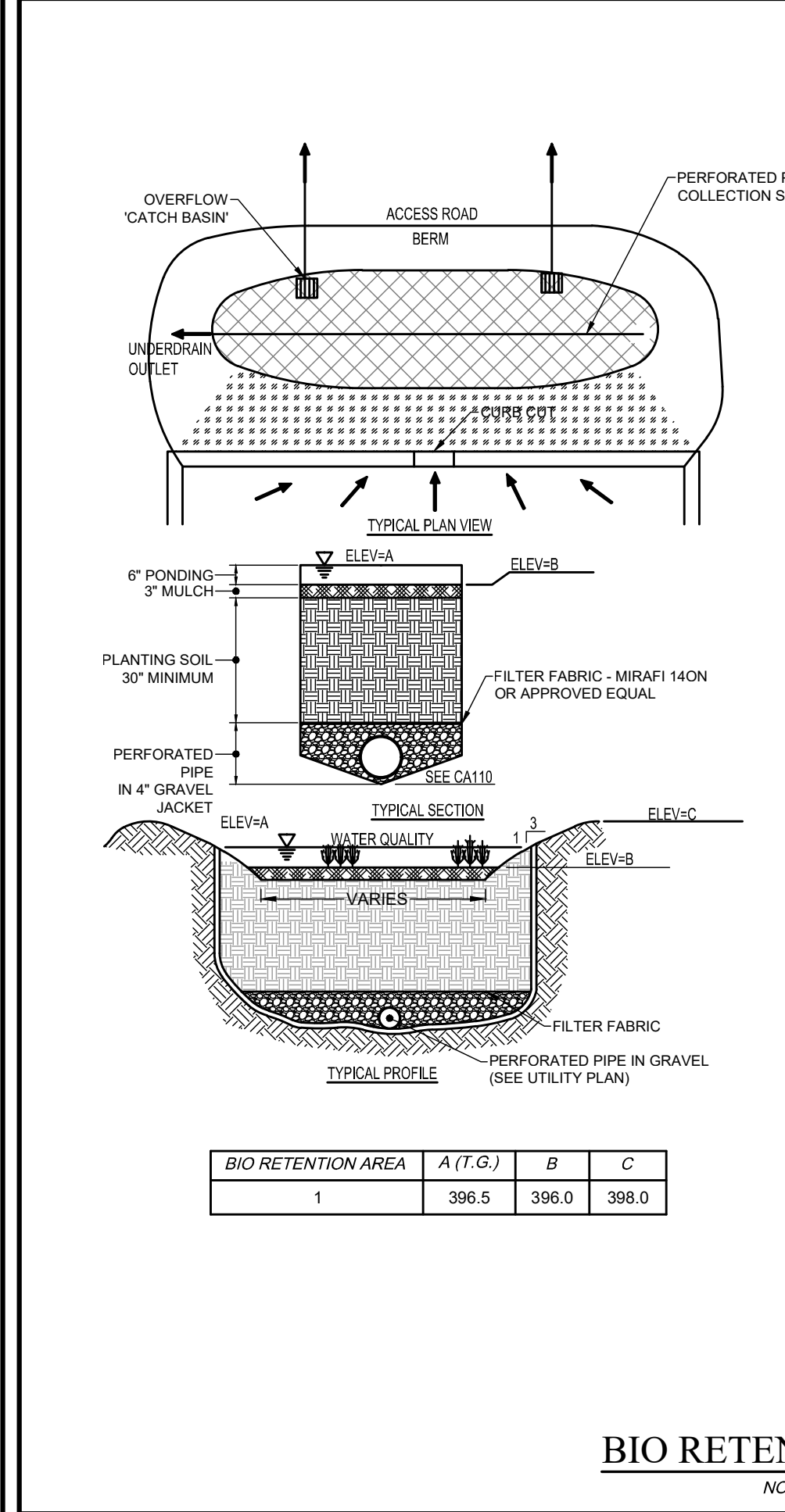
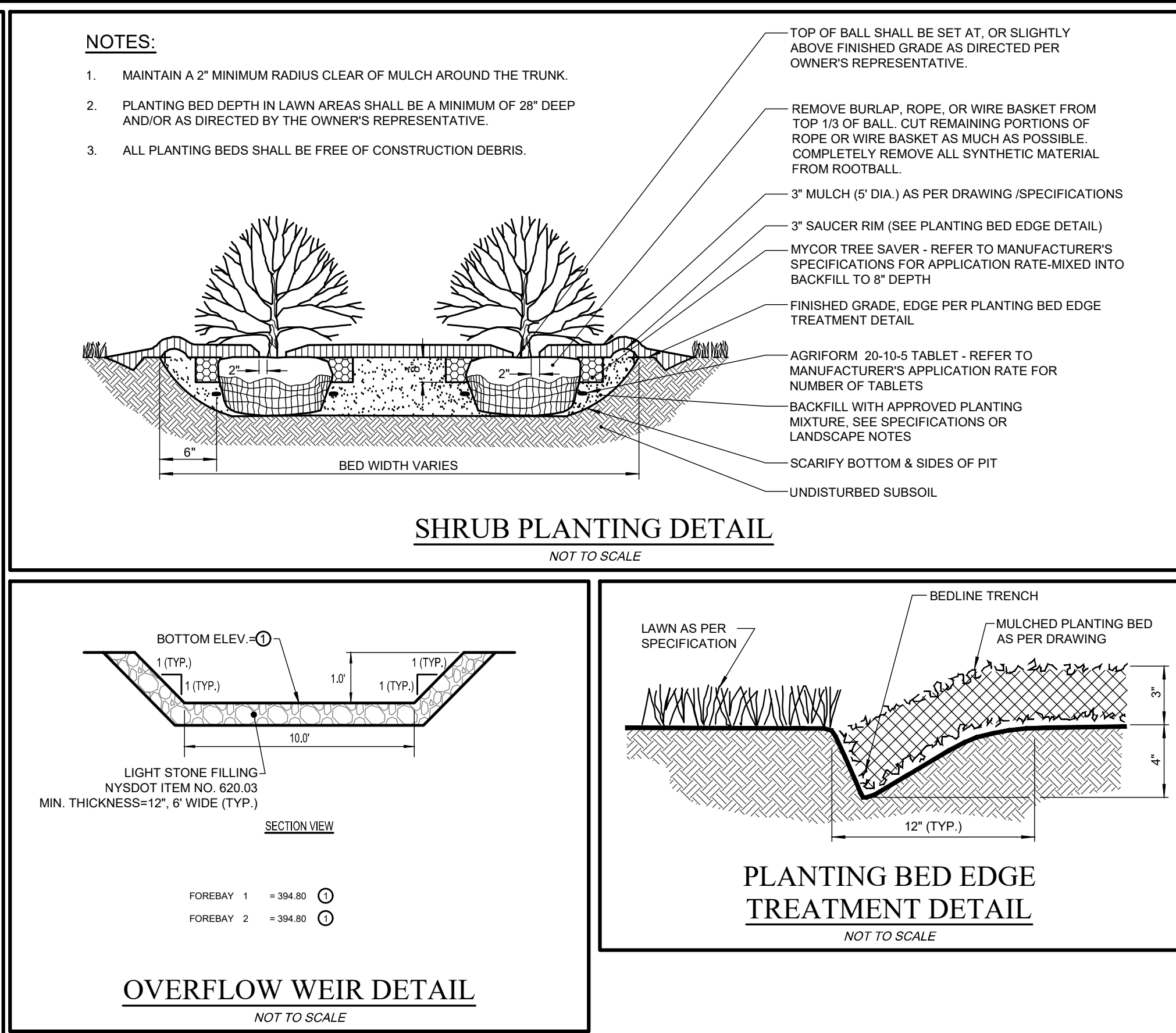
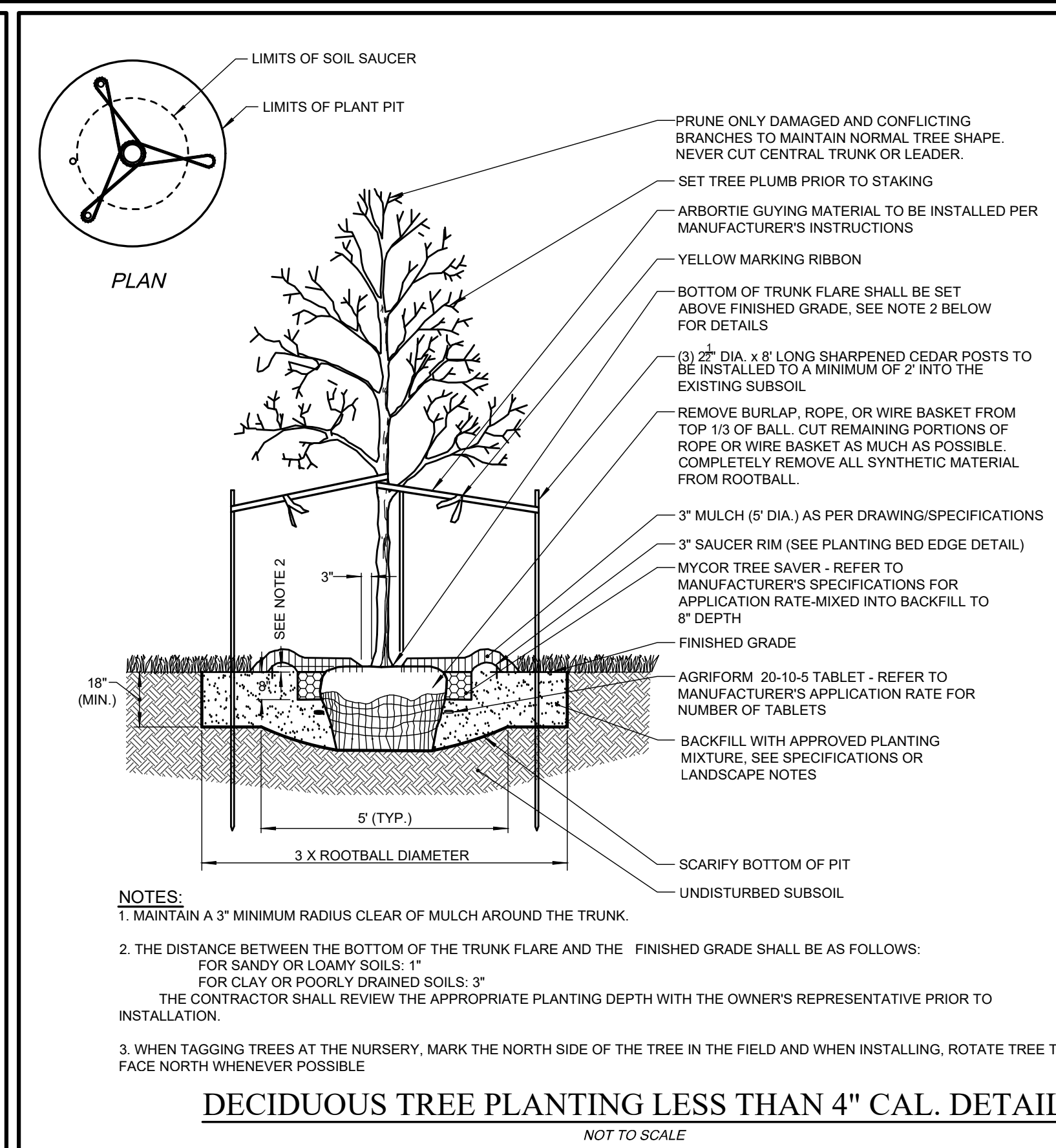
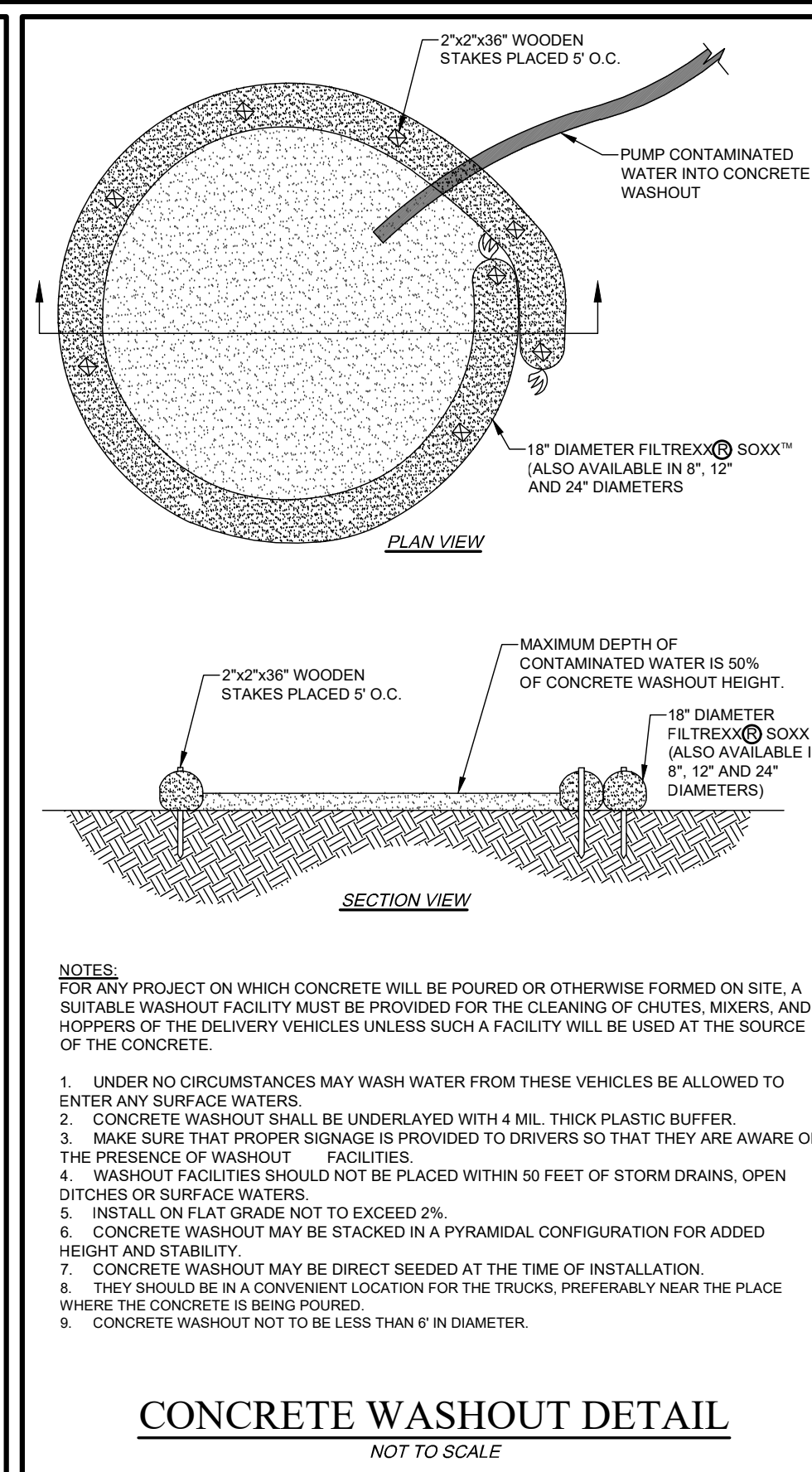
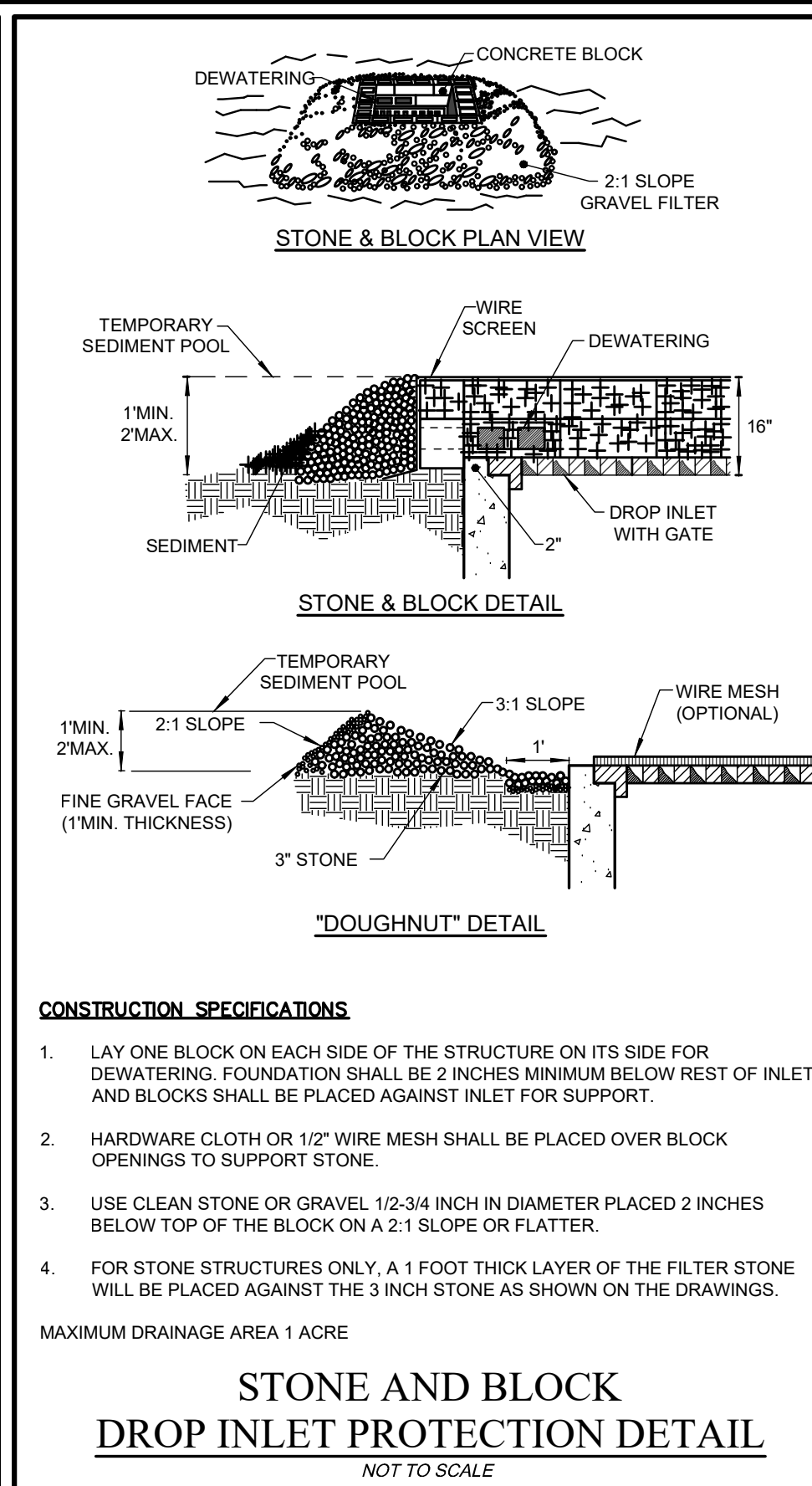
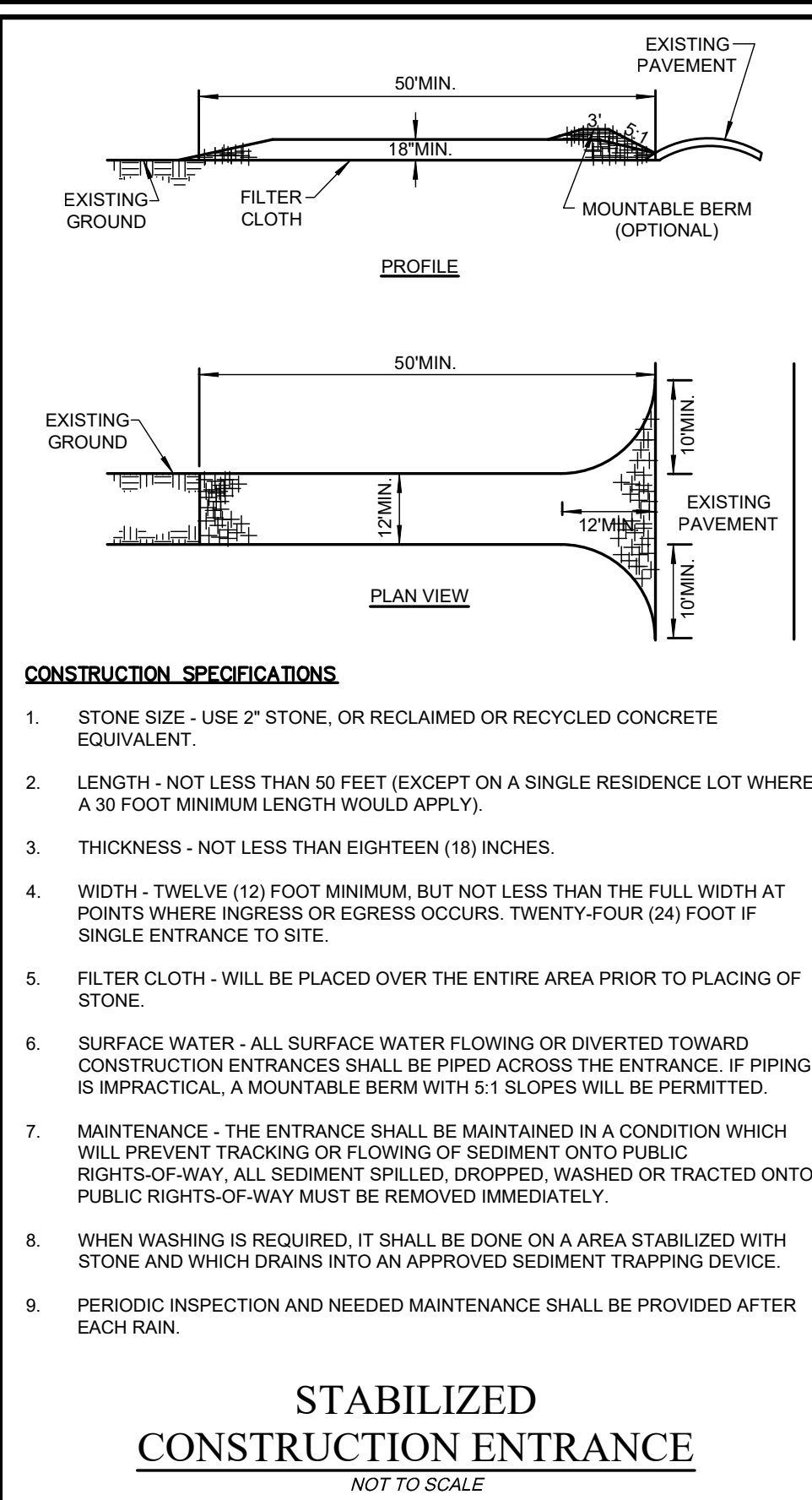
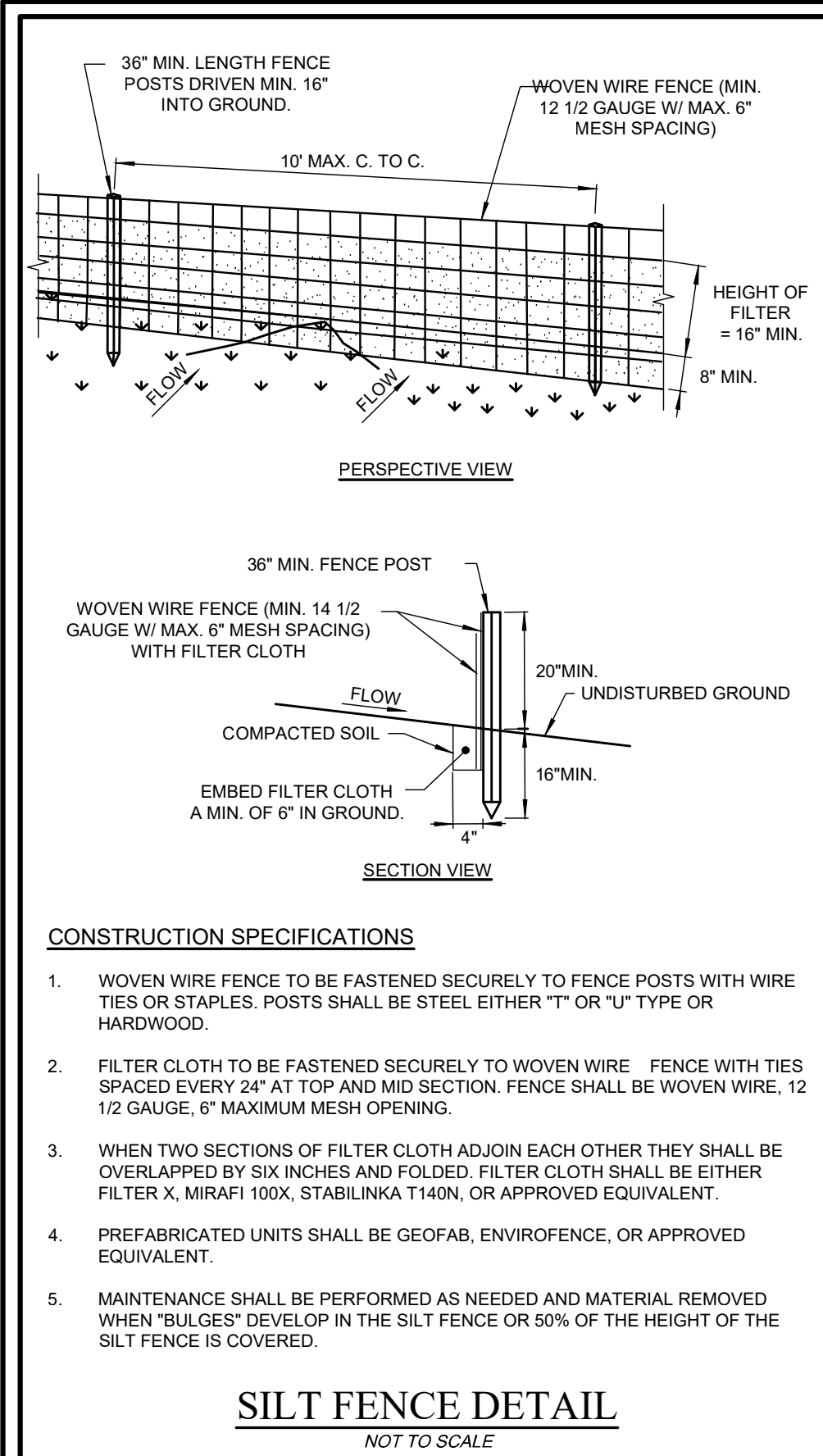










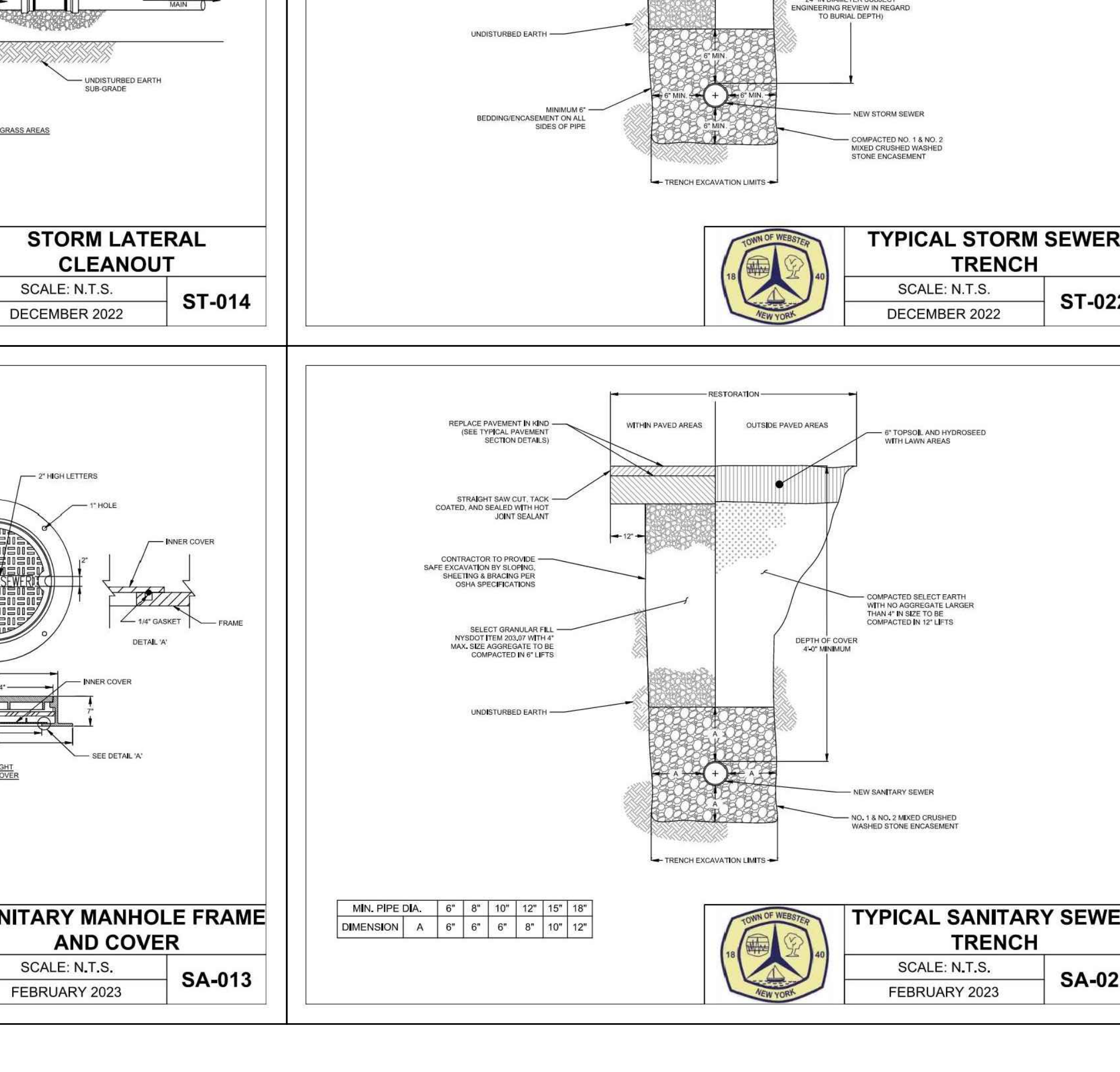
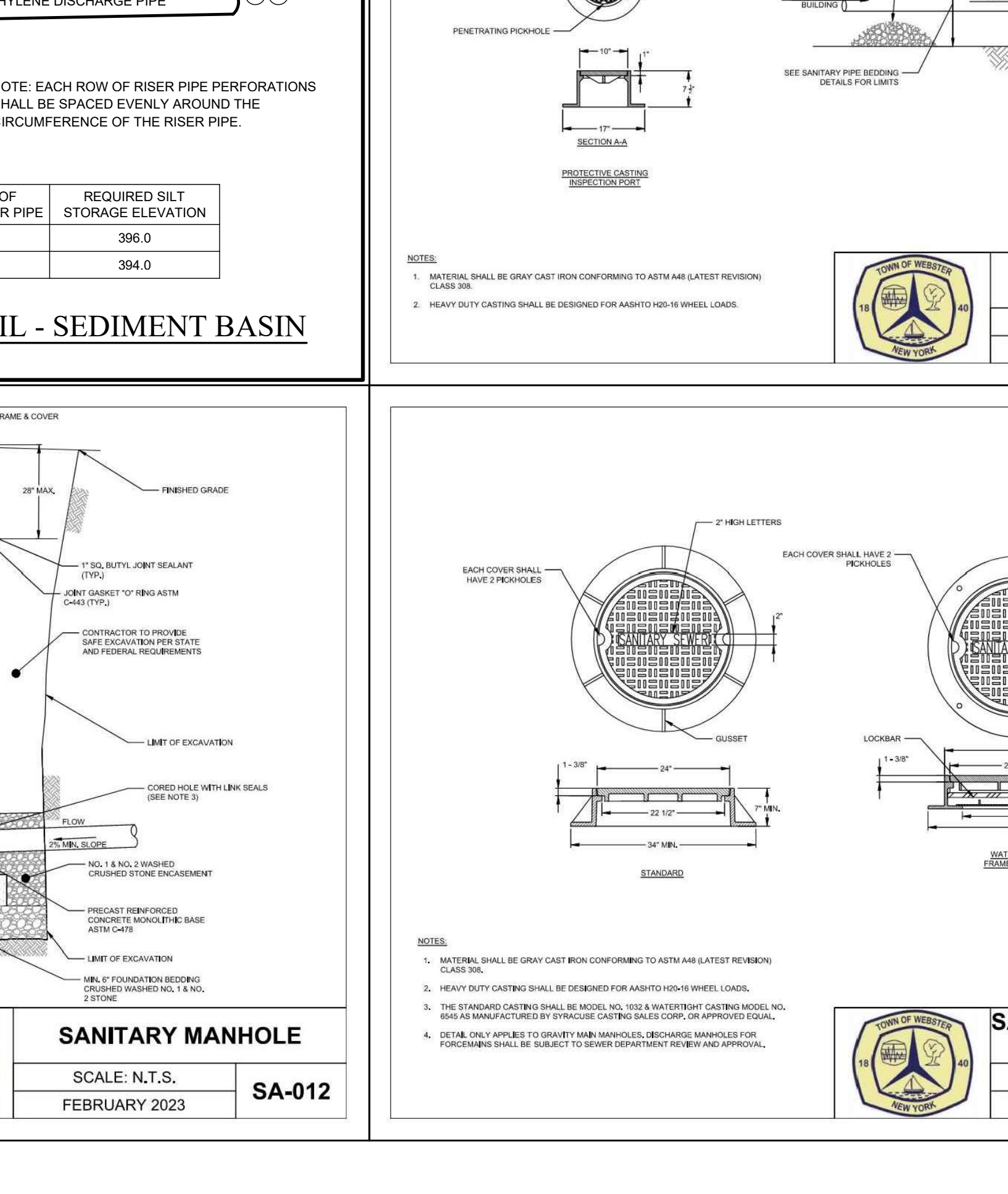
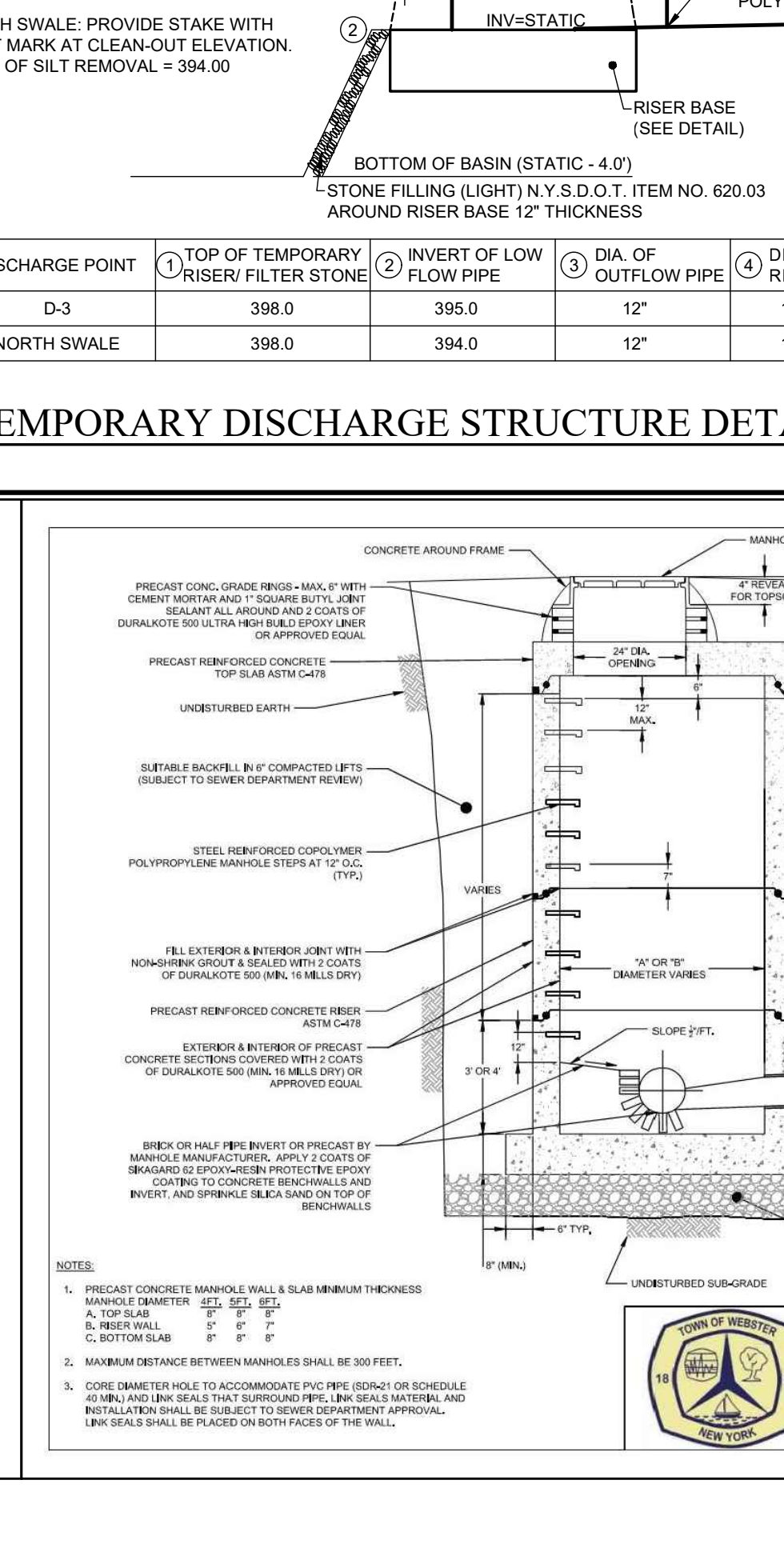
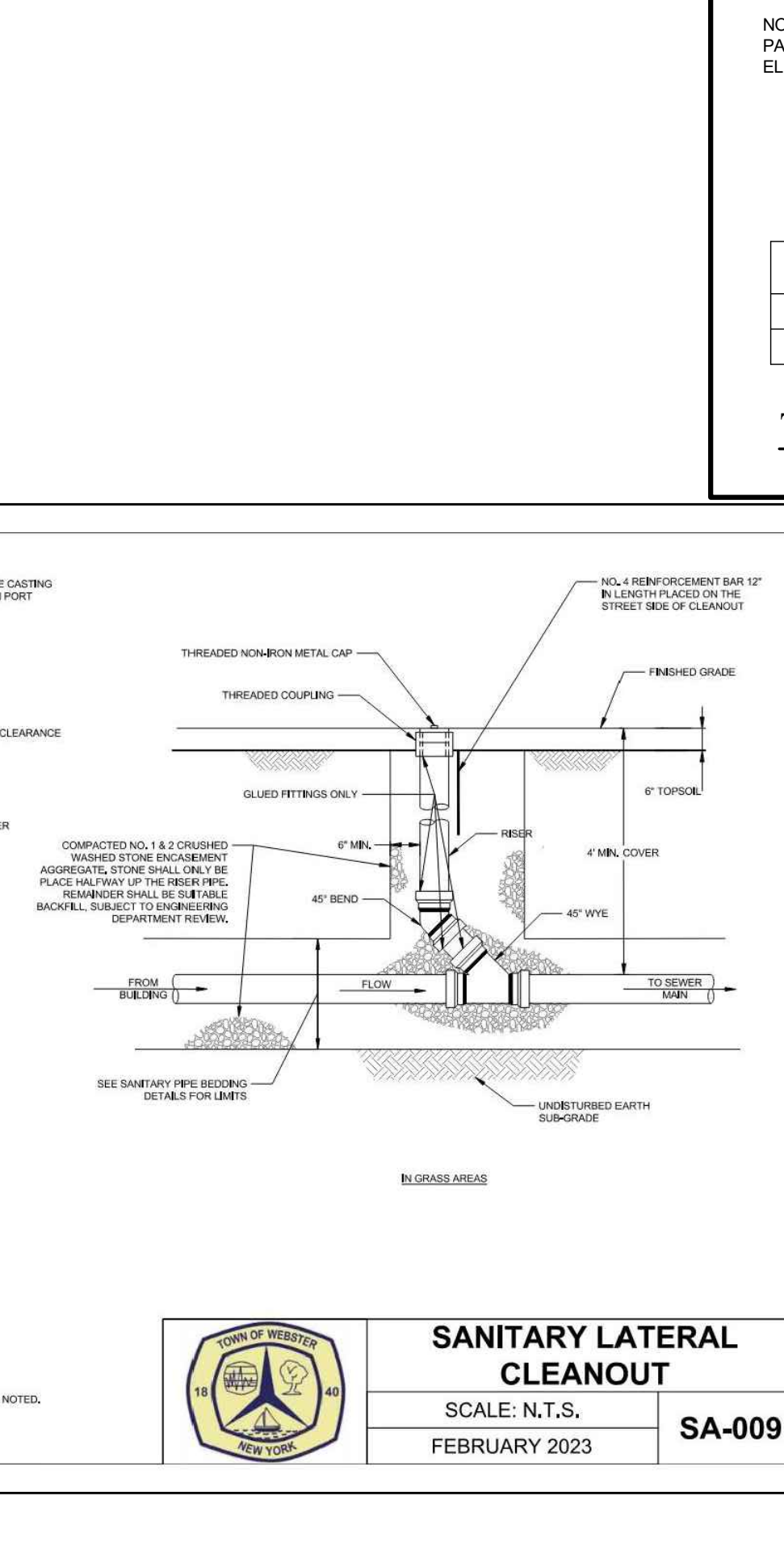
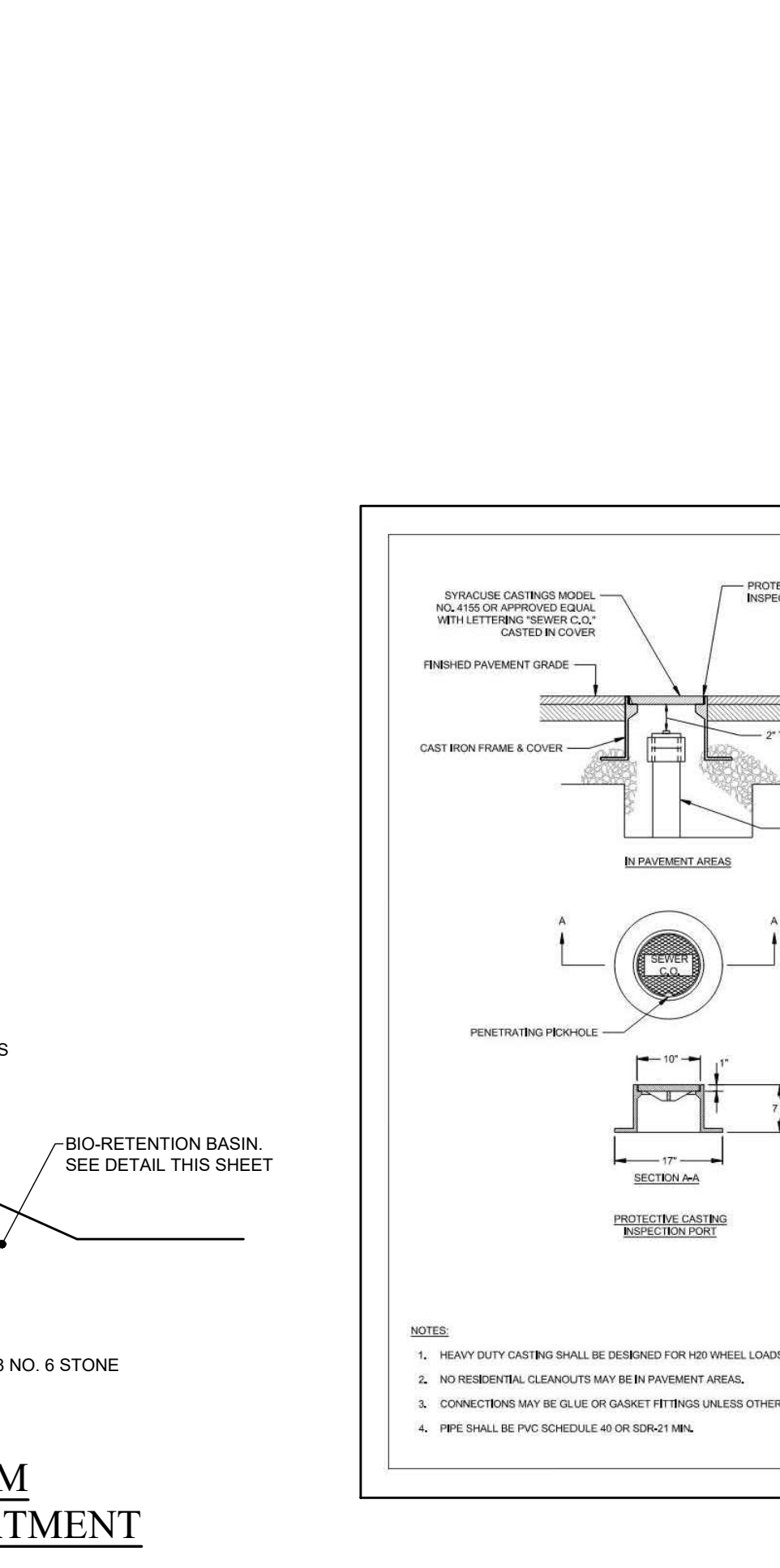
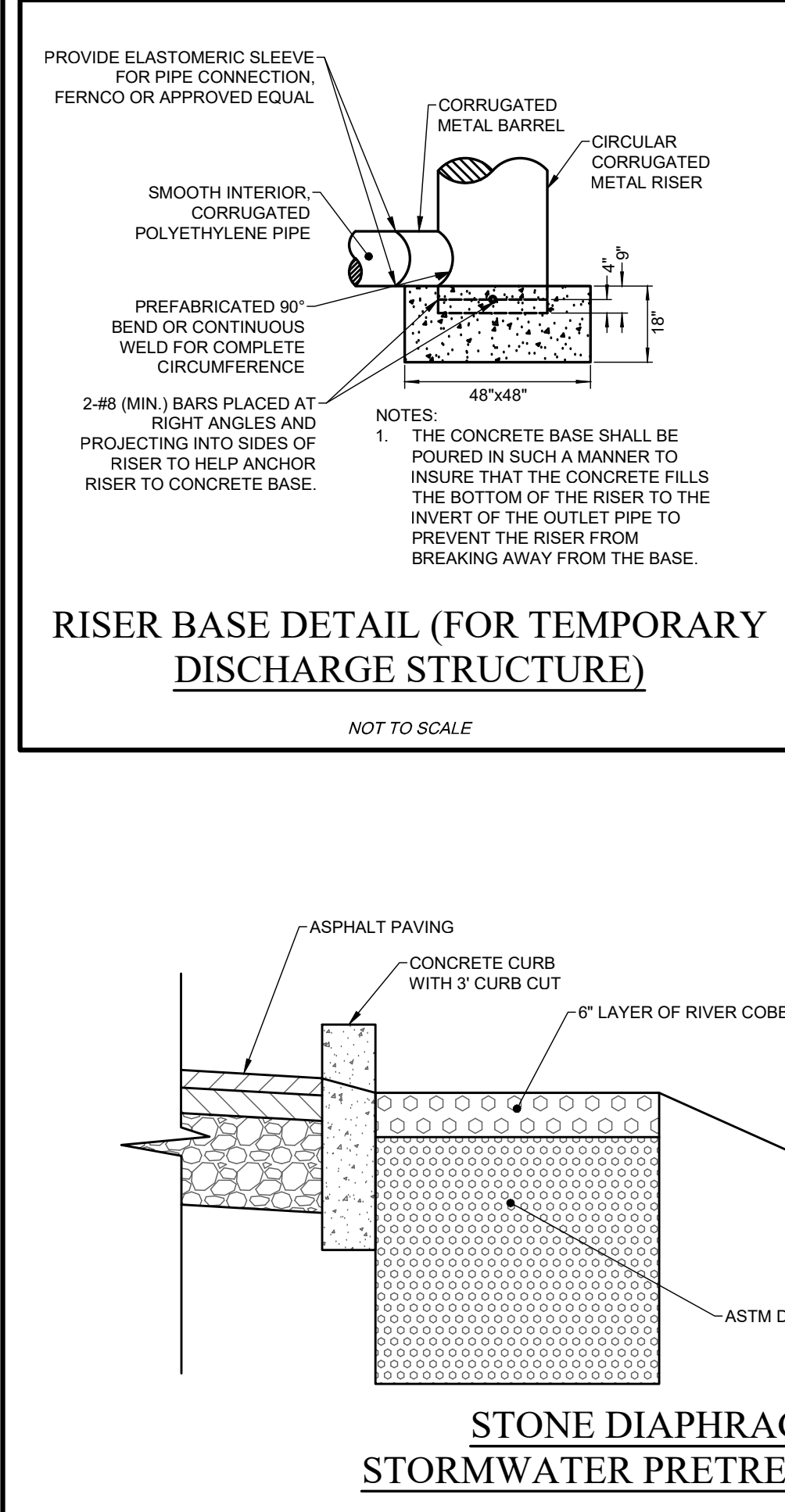
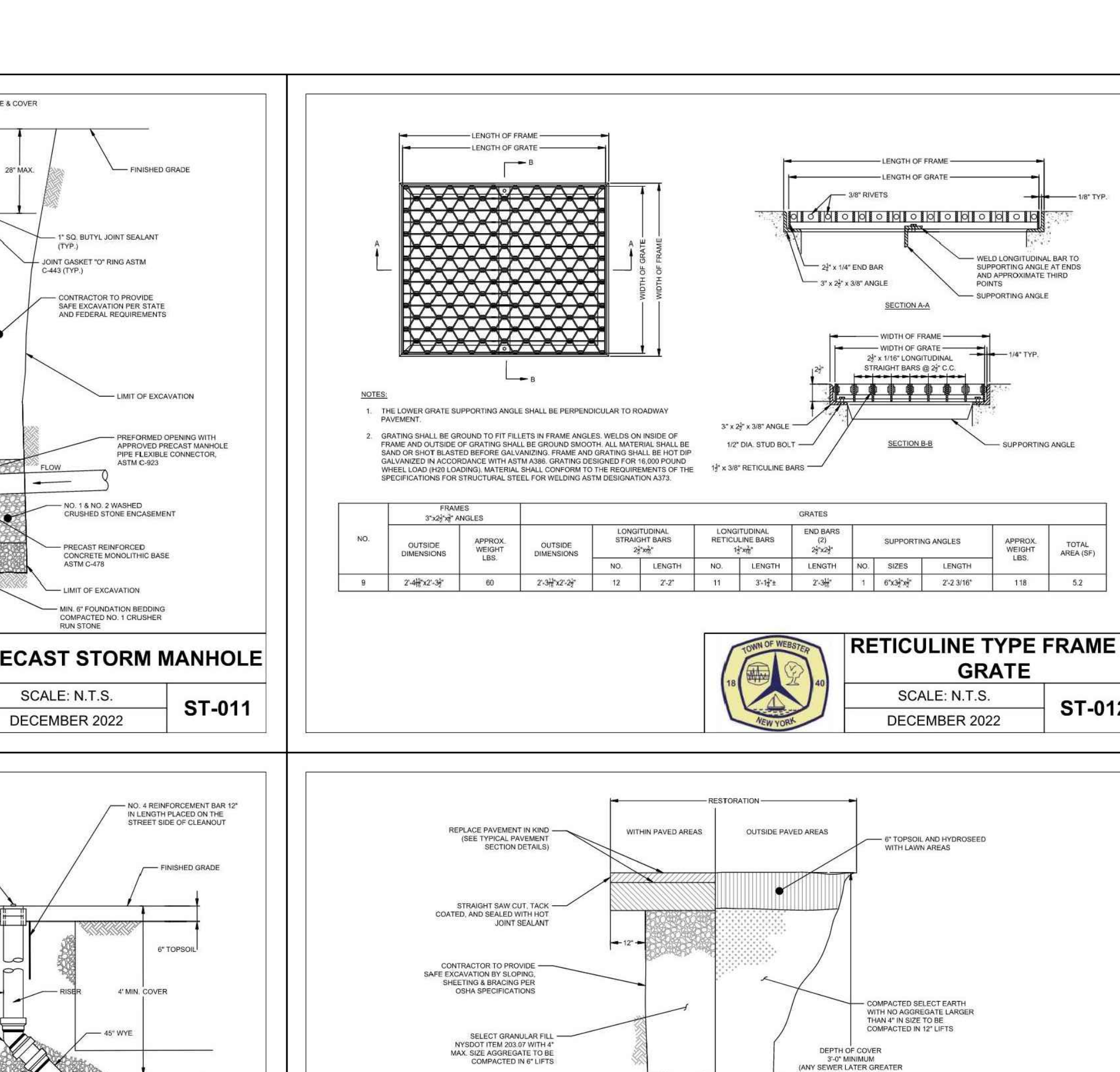
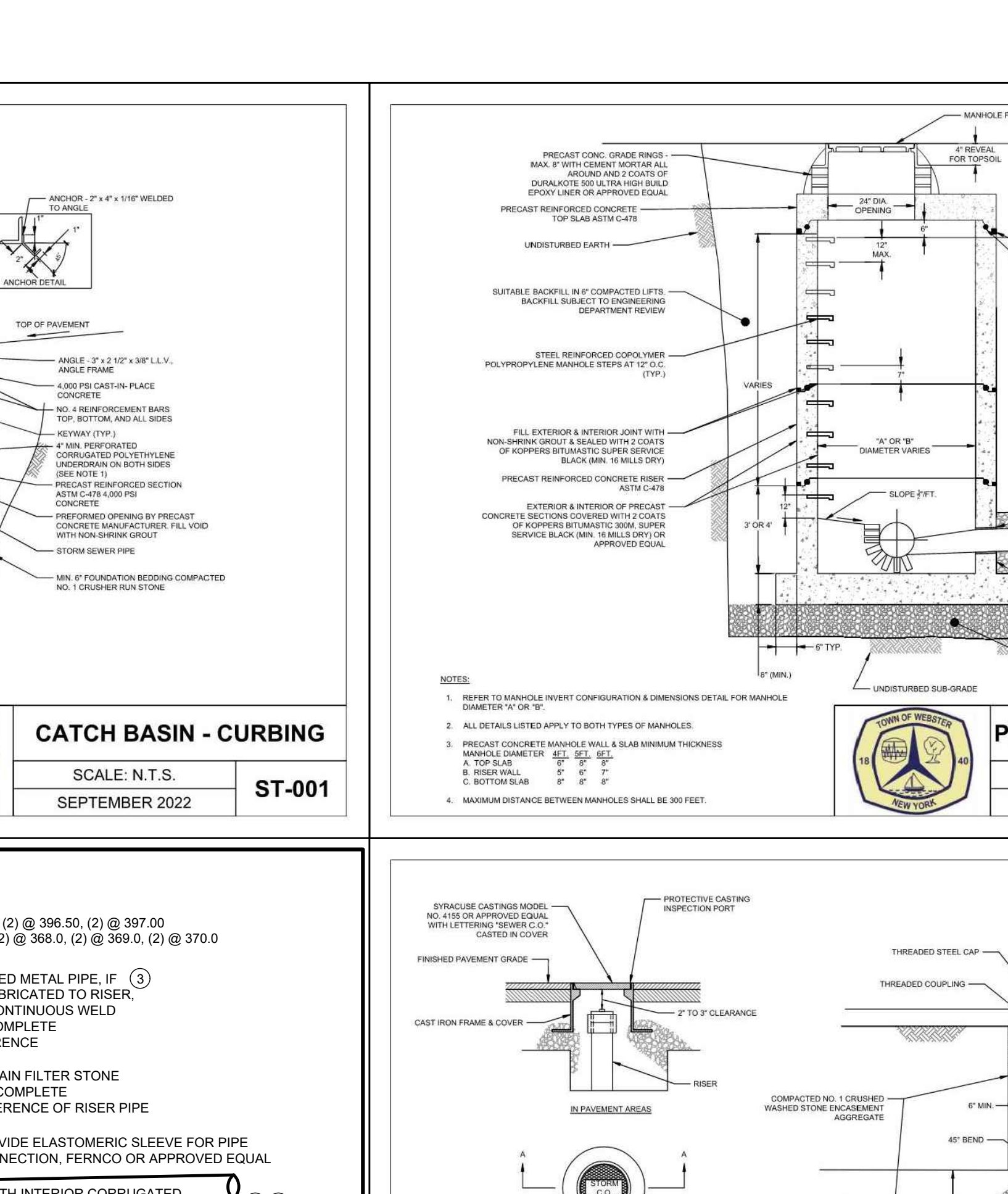
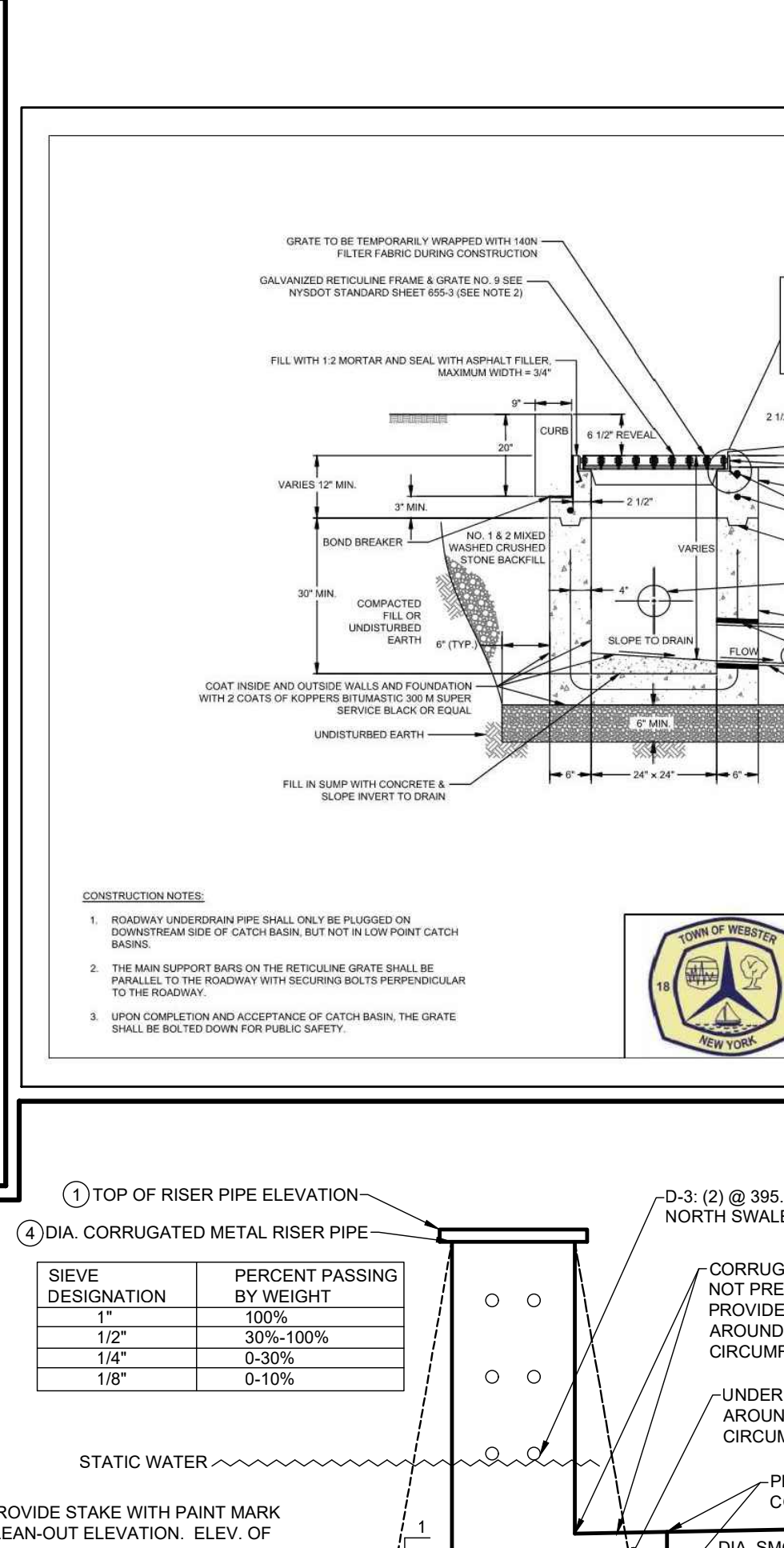
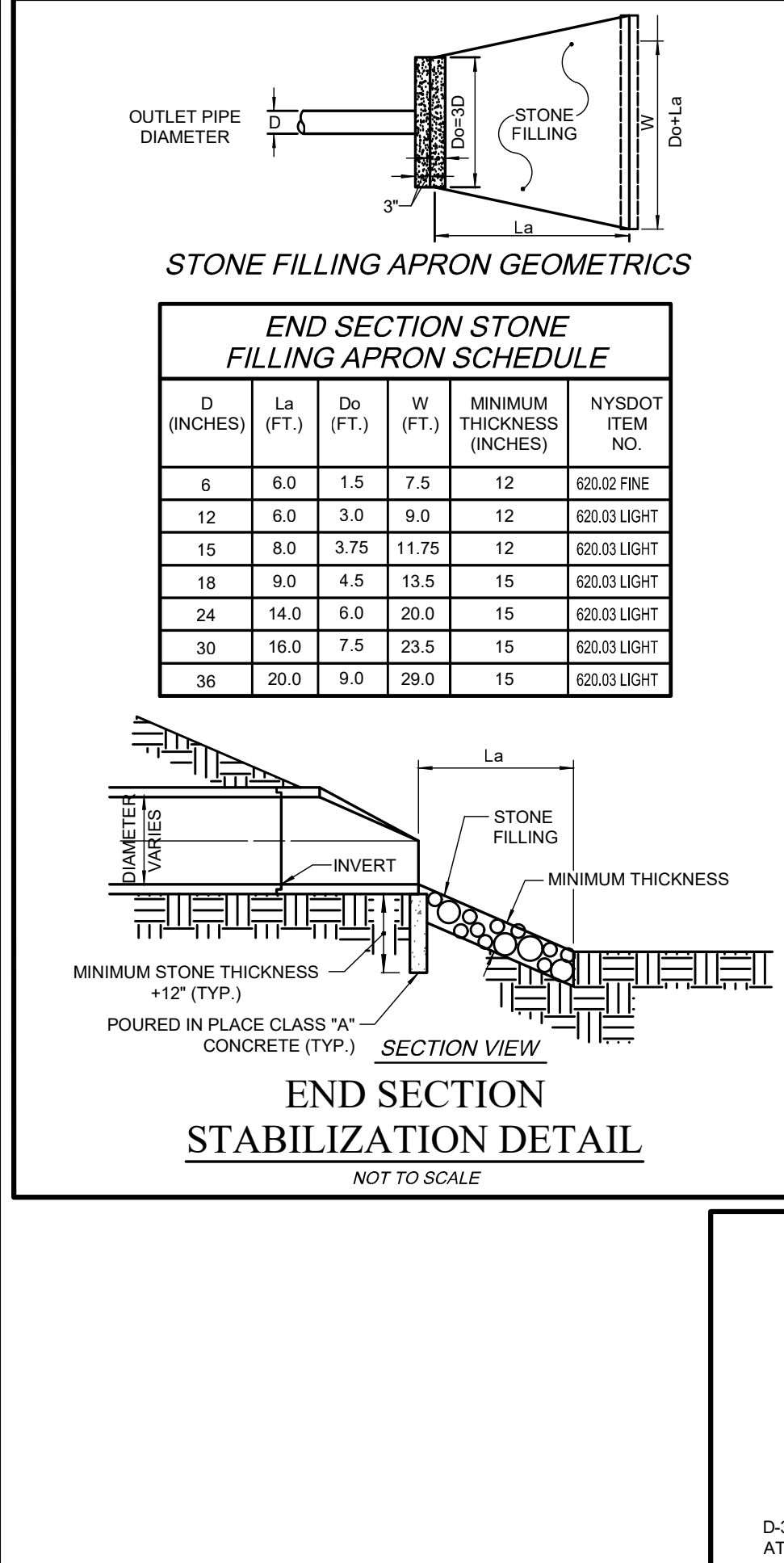


**TABLE H.2**

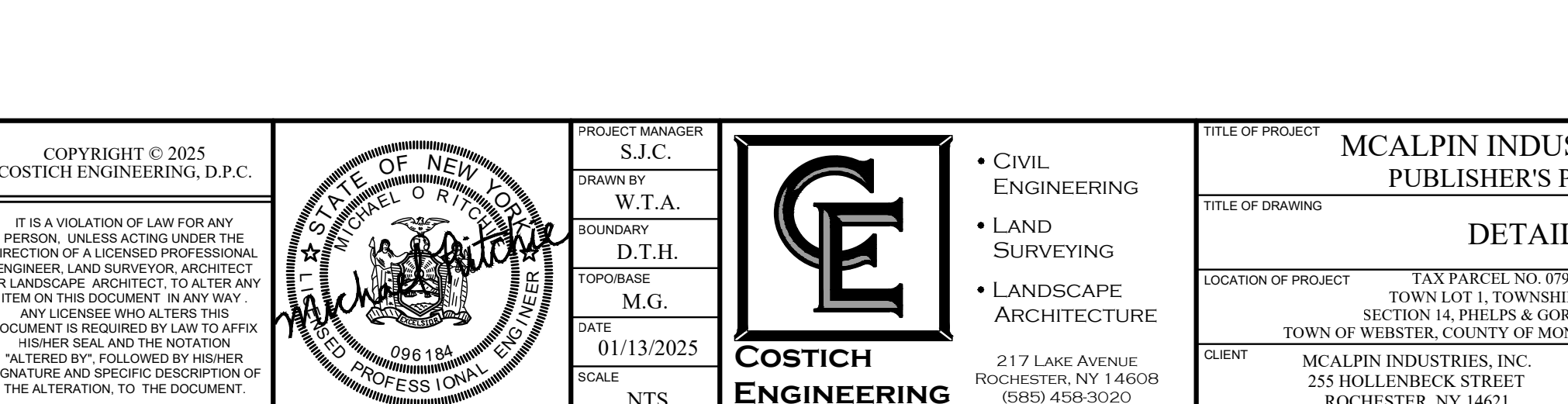
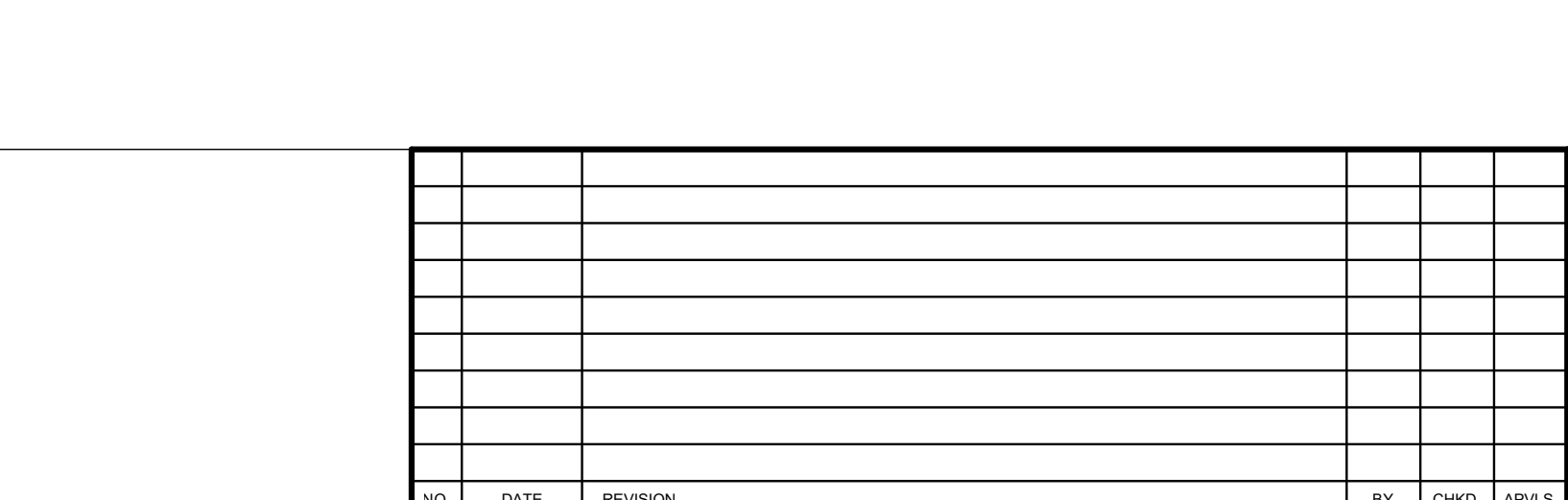
PARAMETER	VALUE
PH RANGE	5.2 TO 7.00
ORGANIC MATTER	1.5 TO 4.0%
MAGNESIUM	35 LBS. PER ACRE MINIMUM
PHOSPHORUS (P <sub>2</sub> O <sub>5</sub> )	75 LBS. PER ACRE MINIMUM
POTASSIUM (K <sub>2</sub> O)	85 LBS. PER ACRE MINIMUM
SOLUBLE SALTS	500 PPM
CLAY	10 TO 25%
SILT	30 TO 55%
SAND	35 TO 60%

**BIO RETENTION AREA**

	A (T.G.)	B	C
1	396.5	396.0	396.0



EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION, OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VANDAKE UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.





EXTERIOR FINISH LEGEND:

NOTE: ALL FINISHES ARE B.O.D. ONLY

MASONRY:

(M-1) NORSTONE, THIN STONE VENEER, FLANG, "GRAPHITE"

METALS

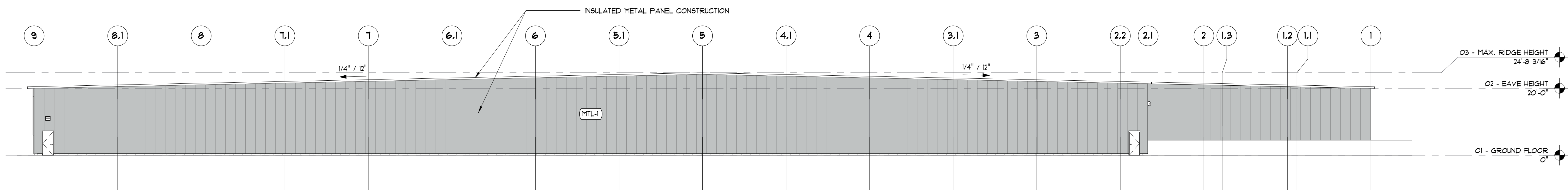
(MTL-1) INSULATED METAL PANEL, METLSPAN OF STRIATED OR SIMILAR, "SILVERSMITH"

(MTL-2) INSULATED METAL PANEL, METLSPAN OF STRIATED OR SIMILAR, "BURNISHED SLATE"

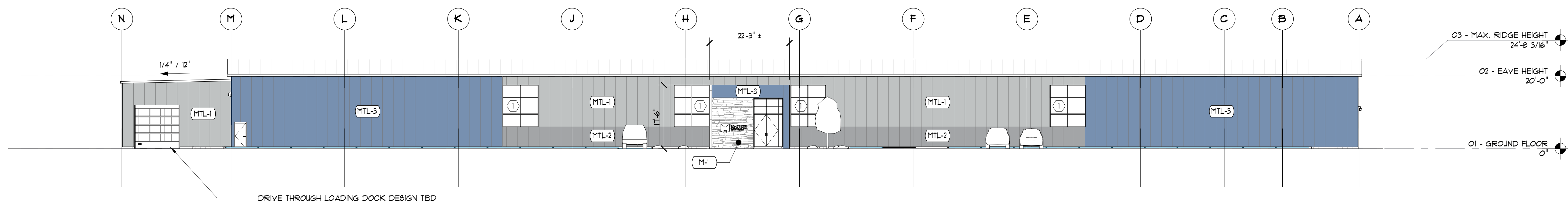
(MTL-3) INSULATED METAL PANEL, METLSPAN OF STRIATED OR SIMILAR, CUSTOM COLOR - MCALPIN BLUE

GLAZING

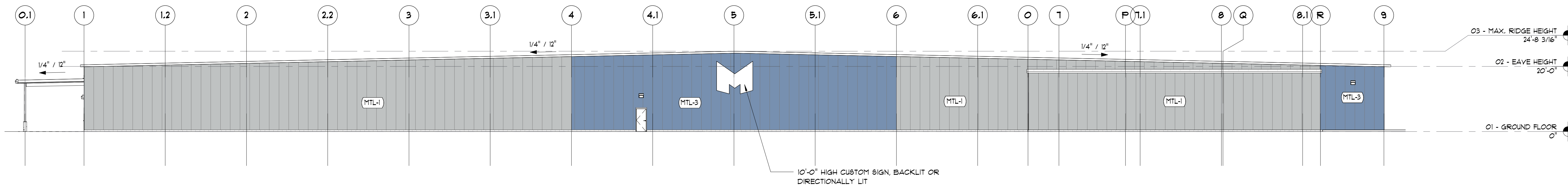
(G) THERMALLY-BROKEN, LOW-E, STOREFRONT GLAZING SYSTEM, RE: A600



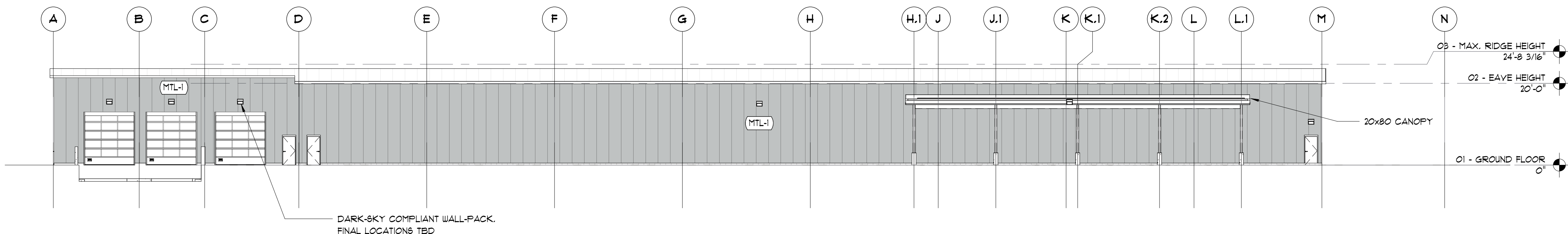
1 NORTH ELEVATION  
1/16" = 1'-0"



2 EAST ELEVATION  
1/16" = 1'-0"



3 SOUTH ELEVATION  
1/16" = 1'-0"



4 WEST ELEVATION  
1/16" = 1'-0"







