

GENERAL NOTES

- Construction shall conform to the 2020 Residential Building Code of New York State, including 2020 Energy Conservation Code of New York State.
- All work shall conform with all Local City / Town Zoning Ordinances. Contractor shall be responsible for obtaining all required permits.
- All Exterior and Interior Finish Material selections shall be made by the Owner and Contractor, unless otherwise specified.
- The Contractor shall check and verify all dimensions in the field. Do not scale any dimensions. In cases of omitted dimensions, contact the Architect for information. All materials, products and finishes shall be installed in accordance with the manufactures printed recommendations.
- This plan has been reviewed for Structural design and is not valid for permit without original "wet seal" placed in the title block area.
- Bearing capacity of soil is assumed to be 3000 PSF. Actual soil capacity of the soil shall be verified at the site prior to commencement of the work. Footings to bear on firm, level undisturbed natural soil, free of frost or loose material.
- Concrete design and construction shall conform to ACI 318-14 and ACI 301-16
- Concrete strength at 28 days:Footings: 2,500 PSI
- Concrete strength at 28 days:All other: 3,000 PSI
- General Contractor is to set all grades. Layout of building on the Site to be coordinated between the Owner and Contractor.
- At all concrete slab on grade areas, Contractor shall strip and stockpile all topsoil and unsuitable material. Subgrade to be proofrolled prior to placement and compaction of crushed stone base.
- Beam pockets are to be grouted solid with 3,000 PSI concrete.
- Structural steel shall conform to 2011 American Institute of Steel Construction[AISC] Specification and Code of Standard Practice. Structural steel to be ASTM A36. Steel pipe to be ASTM A501 or ASTM A53, Type E or S, Grade B. Bolts shall be ASTM A325 unless otherwise noted. Anchor bolts shall be ASTM A307 or ASTM A36.
- Wood construction shall conform to the National Forest Product's Association's [NFPA] 2015 NDS. Structural lumber shall be No. 2 Hem - Fir or better:

Fb = 850 psi [BASE]
E = 1,300,000 psi

DIMENSION LUMBER:

#2 HEM-FIR
Fb=850 psi
Fv=150 psi
E = 1,300 ksi

POSTS AND TIMBERS:

HEM-FIR SELECT STR
Fb=1200 psi
Fc=975 psi
E = 1,300 ksi

LAMINATED VENEER LUMBER (LVL):

Fb = 2,600 psi
Fc = 2,510 psi
Fv = 285 psi
E = 1,900 ksi

PARALLEL STRAND LUMBER (PSL):

Fb = 2,900 psi
Fc = 2,900 psi
Fv = 290 psi
E = 2,000 ksi

- Openings in exterior or interior bearing walls shall be as indicated on the drawings. In absence of header notation, provide as follows:

Up to 5'-0" [3] 2x8
Up to 6'-6" [3] 2x10
Up to 8'-0" [3] 2x12
Beyond 8'-0", consult with the Architect in cases where header size is not indicated.

- Floors shall be designed for the following loads:

Live Load - Living Areas: 40 PSF
Live Load - Sleeping Areas: 30 PSF
Dead Loads:

Structure: 7 PSF
Floor: 3 PSF
Ceiling: 3 PSF
Mechanical: 2 PSF
Total Dead Load: 15 PSF

Total Design- Living Areas: 55 PSF
Total Design- Sleeping Areas: 45 PSF

- Roof rafters / trusses shall be designed for the following loads:

Snow load: 35 PSF
Dead loads: 15 PSF
Total Design Load: 50 PSF

Note: Shop drawings for all roof trusses shall be submitted, prepared and sealed by a Professional Engineer licensed in the State of New York to the Architect for review prior to beginning fabrication.

- Plywood roof and wall sheathing shall be exterior grade, APA rated. Wood in contact with masonry, concrete or earth shall be pressure preservative treated.
- Framing anchors, joist hangers and miscellaneous connecting devices for wood framing shall be galvanized steel of at least 16 gauge thickness. Install in strict accordance with manufacturers instructions for the specific load generated at each location. Use nail size and nailing pattern supplied by or recommended by the manufacturer.
- Double all joists under parallel walls, plumbing fixtures, and at floor openings. Provide bridging at all framing midspans beyond 8'-0". Wood plates shall be secured to top flanges of steel beams at 4'-0" O.C. with Ramset or equal.
- Unless otherwise noted, Roofing shall be 25 yr. min. fiberglass shingles and roofing underlayment, installed in accordance with manufacturers printed requirements for installation. Roof venting shall equal 1 SF Net / 300 SF Attic Space.
- Design of Plumbing, Mechanical and Electrical systems is by others.
- Window unit manufacture T.B.D. Verify with Owner and Contractor actual unit types, sizes, miscellaneous window accessories (such as window grill patterns) and manufacturer prior to ordering. G.C. shall verify with owner all window unit selections and final locations.
- Smoke Detectors & Carbon Monoxide Detectors shall be provided at all living and sleeping areas per N.Y.S. Code requirements.

Ingrassia Residence
Porch Addition

693 Summit Drive
Webster, New York

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NOTES:

- THE CONTRACTOR SHALL CAREFULLY REVIEW THE CONTRACT DOCUMENTS AND INFORM THE PROJECT ARCHITECT OF ANY INCONSISTENCIES OR INADEQUATE DESCRIPTIONS OF WORK PRIOR TO THE SUBMITTAL OF BIDS.
- ALL WORK ON THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, THE STATE ENERGY CONSERVATION CODE, AND ALL OTHER APPLICABLE STATE AND FEDERAL CODES AND REGULATIONS.
- CONTRACTORS SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO LAYING OUT NEW WORK.
- NOTIFY PROJECT ARCHITECT IMMEDIATELY IF EXISTING CONDITIONS, DIMENSIONS, ETC., VARY FROM THOSE SHOWN ON THE DRAWINGS.
- MATERIALS, DETAILS AND WORK PRACTICES INDICATED ON ONE PORTION OF CONTRACT DOCUMENTS SHALL BE OF THE SAME NATURE AT SAME OR SIMILAR SITUATIONS SHOWN ON THE DRAWINGS, EXCEPT AS OTHERWISE NOTED.
- WHEN EXISTING CONSTRUCTION IS REMOVED, DISTURBED, DAMAGED, REPLACED OR RENOVATED IN ANY WAY, CONTRACTOR SHALL PROVIDE PATCHING, PAINTING AND MATERIALS OF SAME TYPE AND QUALITY AS TO MATCH EXISTING ADJACENT SURFACES, REFINISH SURFACES AS NECESSARY TO PROVIDE AN EVEN CONTIGUOUS FINISH.
- DURING CUTTING, PATCHING AND REMOVAL OF WORK, CLEAN AND PROTECT WORK IN PROGRESS, ADJOINING WORK, AND EXISTING CONSTRUCTION ON A BASIS OF CONTINUOUS MAINTENANCE.
- ALL SALVAGEABLE ITEMS NOTED ON DRAWINGS SHALL BE DELIVERED TO THE FACILITIES AREA, EXCEPT AS OTHERWISE DIRECTED BY OWNER. ITEMS THAT ARE NOTED ON THE DRAWINGS FOR REUSE SHALL BE PROTECTED, HANDLED, STORED, AND REINSTALLED IN LOCATIONS INDICATED AND OPERATE CONSISTENT WITH THAT PRIOR TO WORK.
- REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER WASTE MATERIALS RESULTING FROM WORK OF THIS PROJECT.
- PROVIDE ALL BLOCKING, FURRING, AND SHIMMING NECESSARY FOR INSTALLATION AND COMPLETION OF WORK.
- ALL NEW WORK SHALL BE PLUMB, LEVEL, AND SQUARE. SCRIBE AND MAKE FIT ALL NEW WORK TO EXISTING.
- THE CONTRACTOR SHALL INFORM THE PROJECT ARCHITECT, PRIOR TO THE SUBMISSION OF BID, OF ANY ITEMS OR QUANTITY OF ITEMS NOT SPECIFIED OR REFERENCED ON THE DRAWINGS BUT REQUIRED FOR THE COMPLETION OF THE WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR FROM PROVIDING ALL WORK AS REQUIRED TO COMPLETE PROJECT REQUIREMENTS.

ENERGY CODE COMPLIANCE:

THE ENERGY CODE COMPLIANCE IS BY PRESCRIPTIVE METHOD OF THE NY'S ENERGY CONSERVATION CODE- 2020, AND SHALL MEET OR EXCEED THE TABLED VALUES WHERE APPLICABLE:

IECC TABLE R402.1.2:

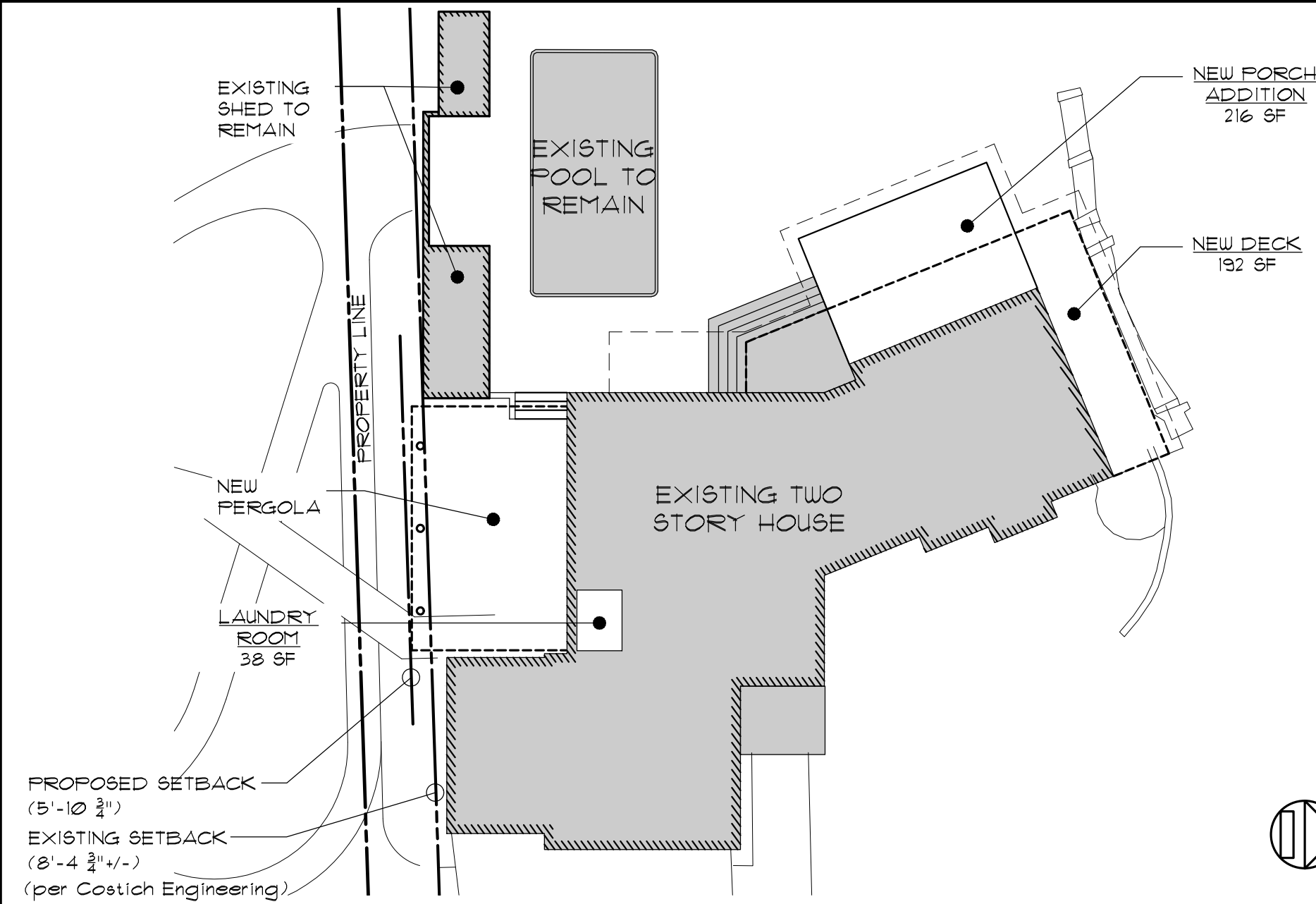
FENESTRATION- U-0.32
WOOD FRAME WALL- R-20
BASEMENT WALL- R-15 continuous
SLAB- R-10
CEILING- R-49 / R-38

IECC R402.2.2

CEILING WITHOUT ATTIC SPACES- R-30 MIN.
SHALL NOT EXCEED 500 SF. OF ROOF AREA.

DRAWING INDEX

C8	COVER SHEET
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A4	EXTERIOR ELEVATIONS
A5	SECTIONS
A6	SECTIONS



INGRASSIA RESIDENCE
PORCH ADDITION

693 SUMMIT DRIVE
WEBSTER, NEW YORK

REVISED:

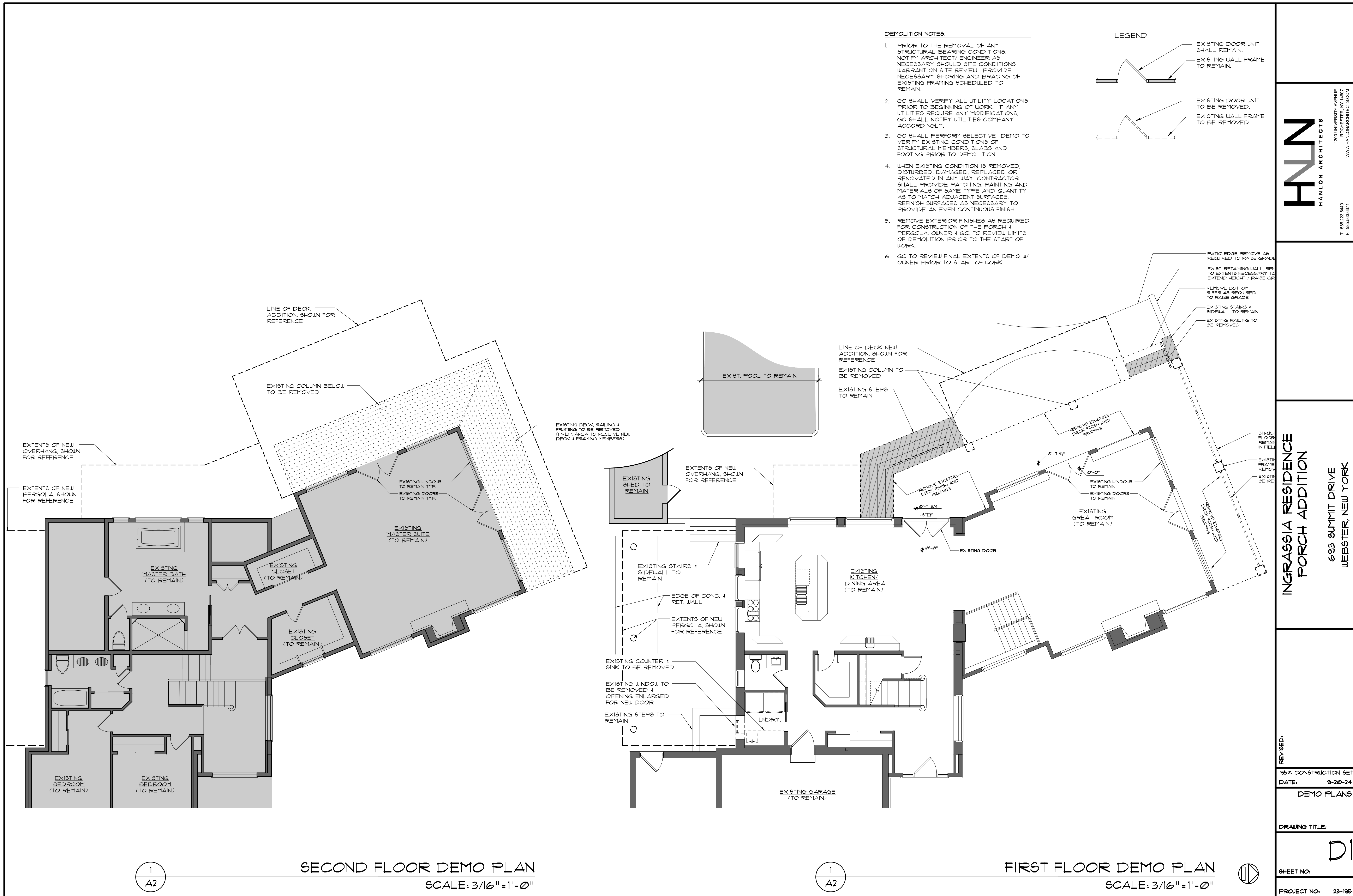
95% CONSTRUCTION SET
DATE: 9-20-24

COVER SHEET

DRAWING TITLE:

SHEET NO:

PROJECT NO: 23-195



EXISTING WALL TO REMAIN

1. 11 $\frac{1}{4}$ " LVL, AS SPEC'D ON DWG. MAY BE SUBSTITUTED FOR 11 $\frac{3}{8}$ " LVL.
2. ALL EXTERIOR HEADERS, (UNLESS NOTED OTHERWISE)
(3) 2 x 8
3. PROVIDE SIMPSON CCG, OR ECCQ CAPS @ ALL POSTS.

1. MODIFY AND CUT EXISTING STAIRS AS REQUIRED FOR NEW PORCH FOUNDATION WALL.
2. EXISTING FOUNDATION WALL 4' SLAB TO REMAIN (WHERE NOT CONFLICTING w/ NEW PORCH FLOOR ABOVE).
3. REMOVE EXISTING SLAB ABOVE AND PREP FOR NEW CONCRETE FLOOR
4. DOWEL INTO EXISTING SLAB TO CONNECT NEW SLAB. FINAL STRUCTURAL DETAILS PENDING.
5. FINAL GRILL LAYOUT 4 FIXTURES TO BE CONFIRMED w/ OWNER, CLAYD BY GC.
6. REMOVE EXISTING POST (ALONG w/ UPPER DECK AREA) AND REPLACE WITH NEW POST (SEE PLAN)


$$\frac{1}{\Delta 1}$$

FOUNDATION PLAN
SCALE: 1/4"=1'-0"



DATE: 9-20-24

FOUNDATION
PLAN

DRAWING TITLE:

A 1

SHEET NO:

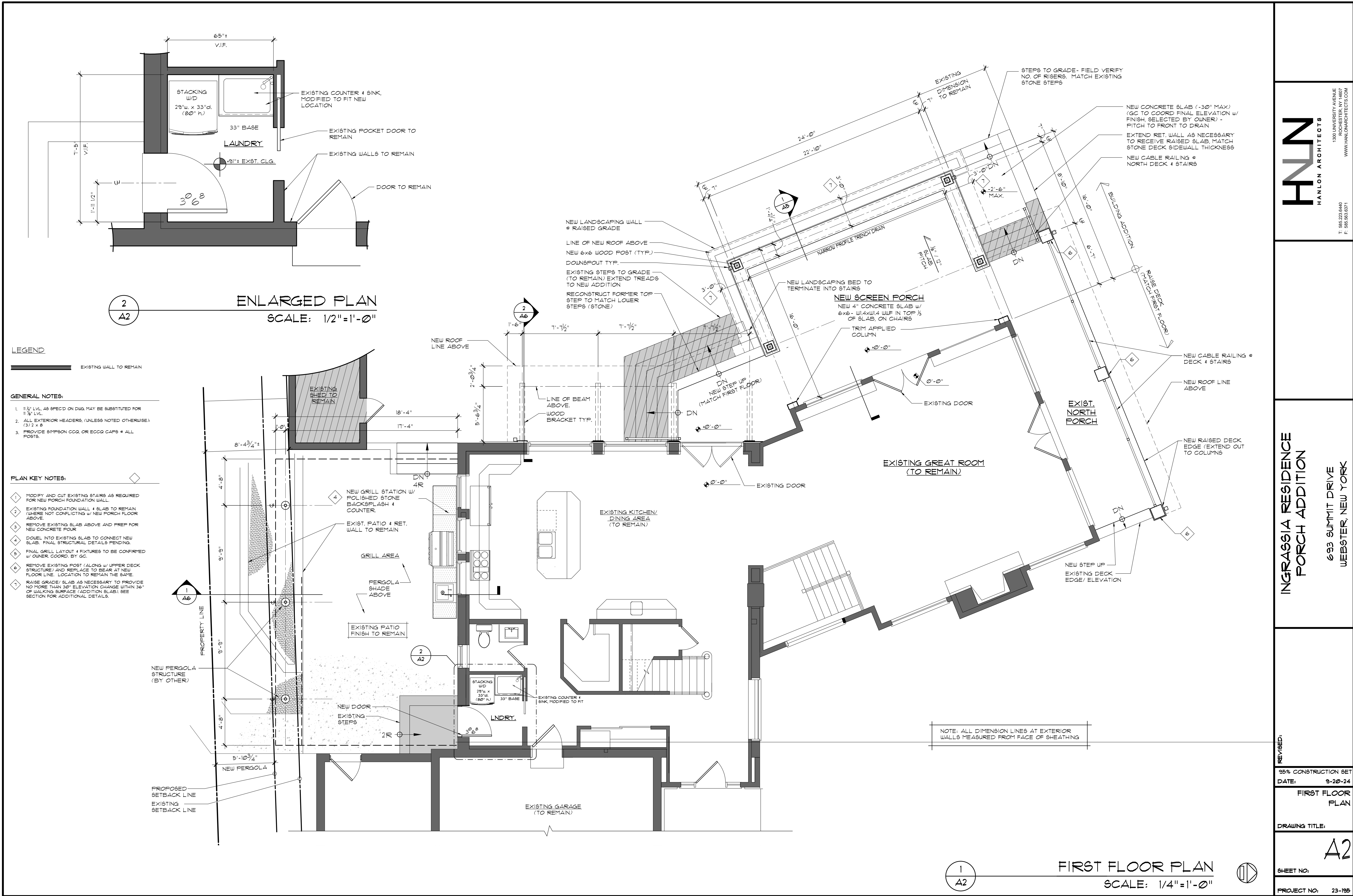
PROJECT NO: 23-195

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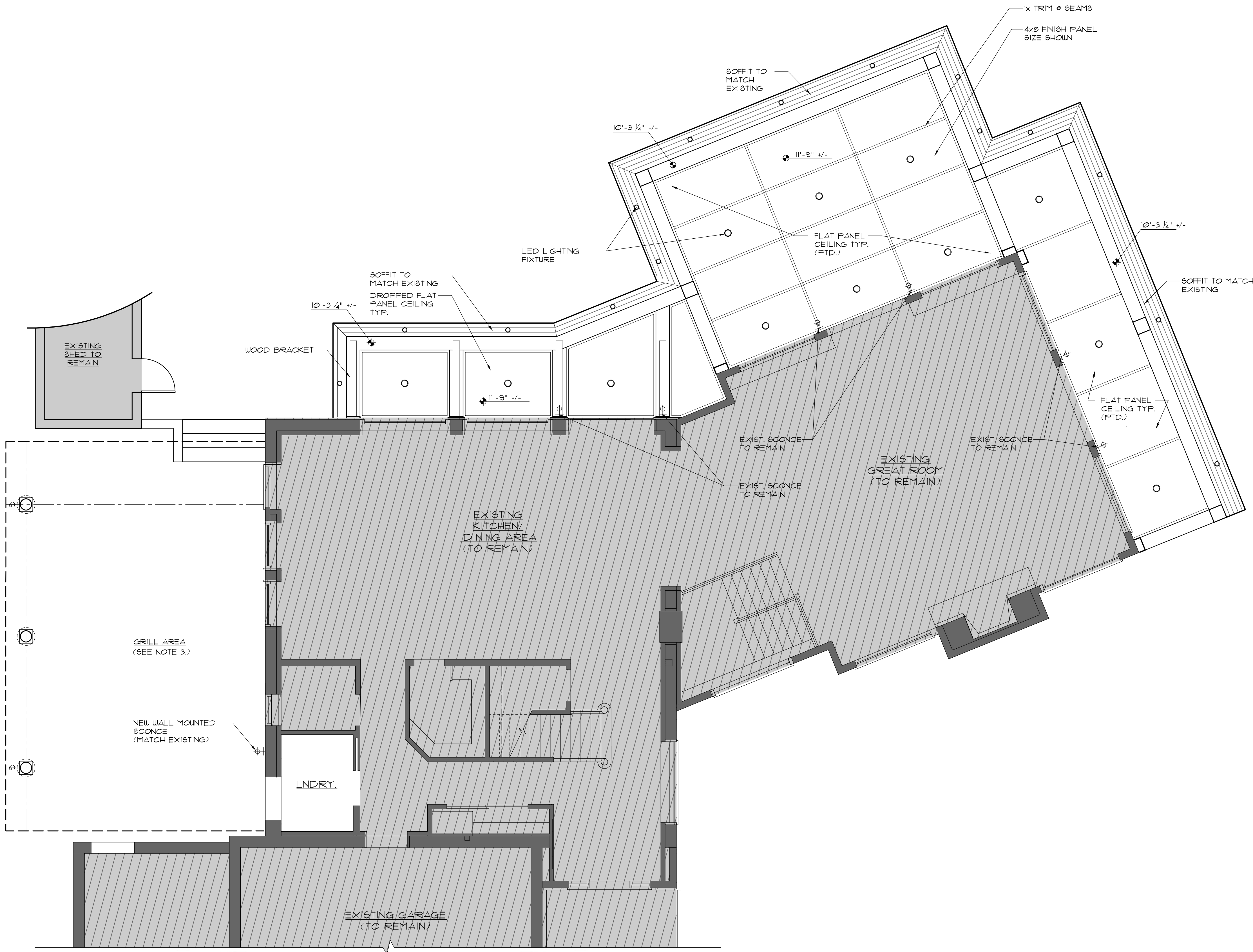
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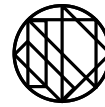
GENERAL RCP NOTES:

1. FINAL LIGHT FIXTURE SELECTIONS BY OWNER, COORDINATE WITH GC.
2. FINAL PAINT/ FINISH OF CEILING TO BE DETERMINED BY OWNER, COORDINATE BY GC.
3. FINAL LIGHTING IN PERGOLA TO BE COORDINATED WITH PERGOLA MANUFACTURER. GENERAL EXTERIOR LIGHTING TO BE PROVIDED UNDER CANOPY, WITH TASK LIGHTING TO BE PROVIDED OVER OUTDOOR KITCHEN WORK SURFACES.
4. ALL EXTERIOR FIXTURES TO BE RATED FOR OUTDOOR USE.
4. ALL ELEVATIONS ARE TAKEN FROM NEW FIRST FLOOR DECK.



1
A2.1

FIRST FLOOR RCP
SCALE: 1/4"=1'-0"



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FIRST FLOOR
RCP
DRAWING TITLE:
A2.1
SHEET NO:
PROJECT NO: 23-195

LEGEND

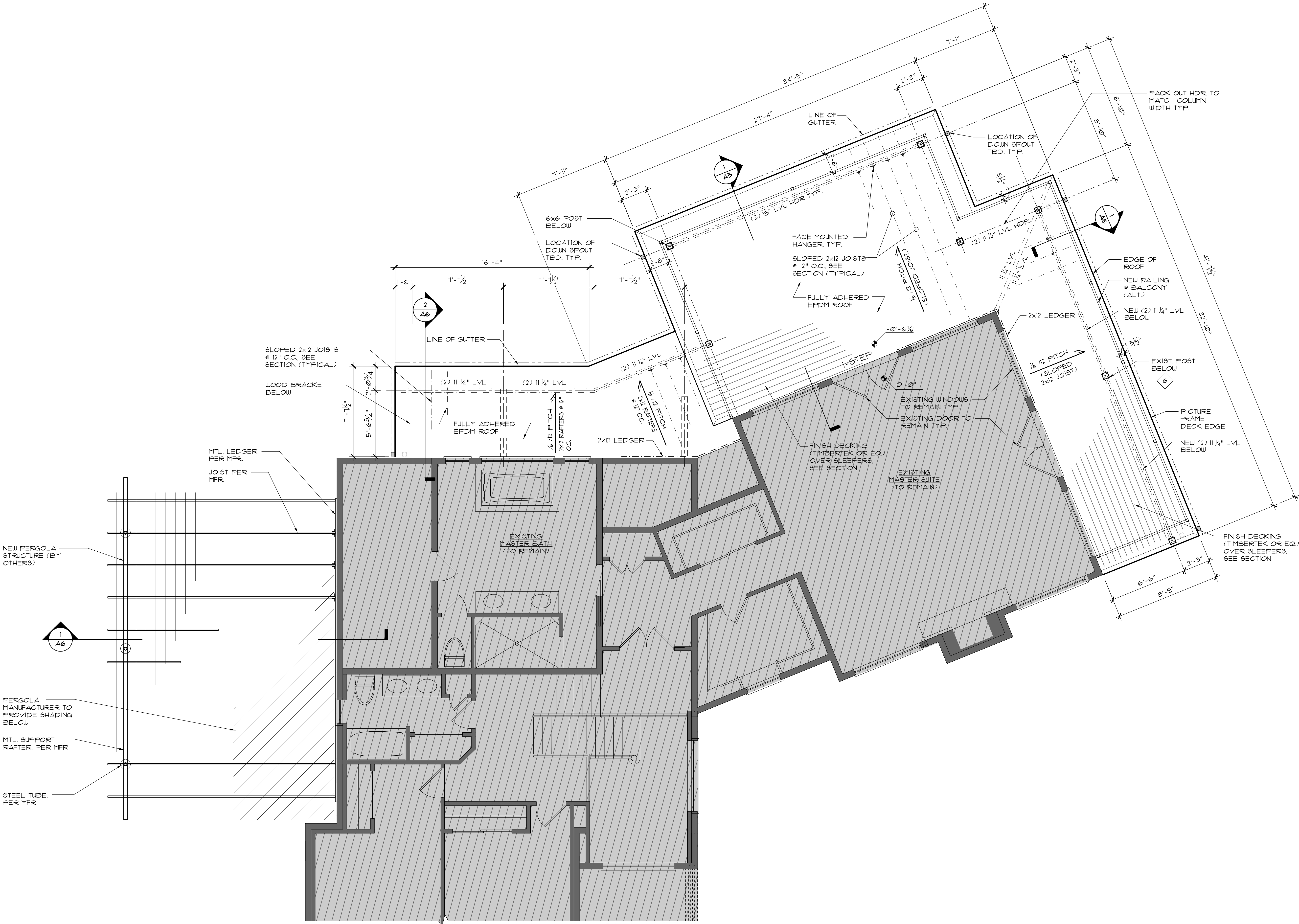
EXISTING WALL TO REMAIN

GENERAL NOTES:

1. 11 1/2" LVL, AS SPEC'D ON DWG, MAY BE SUBSTITUTED FOR 11 3/8" LVL.
2. ALL EXTERIOR HEADERS, (UNLESS NOTED OTHERWISE), (3) 2 x 8
3. PROVIDE SIMPSON CCG, OR ECCO CAPS @ ALL POSTS.

PLAN KEY NOTES:

1. MODIFY AND CUT EXISTING STAIRS AS REQUIRED FOR NEW PORCH FOUNDATION WALL.
2. EXISTING FOUNDATION WALL & SLAB TO REMAIN (WHERE NOT CONFLICTING W/ NEW PORCH FLOOR ABOVE).
3. REMOVE EXISTING SLAB ABOVE AND PREP FOR NEW CONCRETE POUR.
4. DOUEL INTO EXISTING SLAB TO CONNECT NEW SLAB. FINAL STRUCTURAL DETAILS PENDING.
5. FINAL GRILL LAYOUT & FIXTURES TO BE CONFIRMED W/ OWNER. COORD. BY GC.
6. REMOVE EXISTING POST (ALONG W/ UPPER DECK STRUCTURE) AND REPLACE TO BEAR AT NEW FLOOR LINE. LOCATION TO REMAIN THE SAME.
7. RAISE GRADE/ SLAB AS NECESSARY TO PROVIDE NO MORE THAN 30" ELEVATION CHANGE WITHIN 36" OF WALKING SURFACE (ADDITION SLAB). SEE SECTION FOR ADDITIONAL DETAILS.



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SECOND FLOOR
PLAN

DRAWING TITLE:

A3

SHEET NO:

PROJECT NO: 23-195

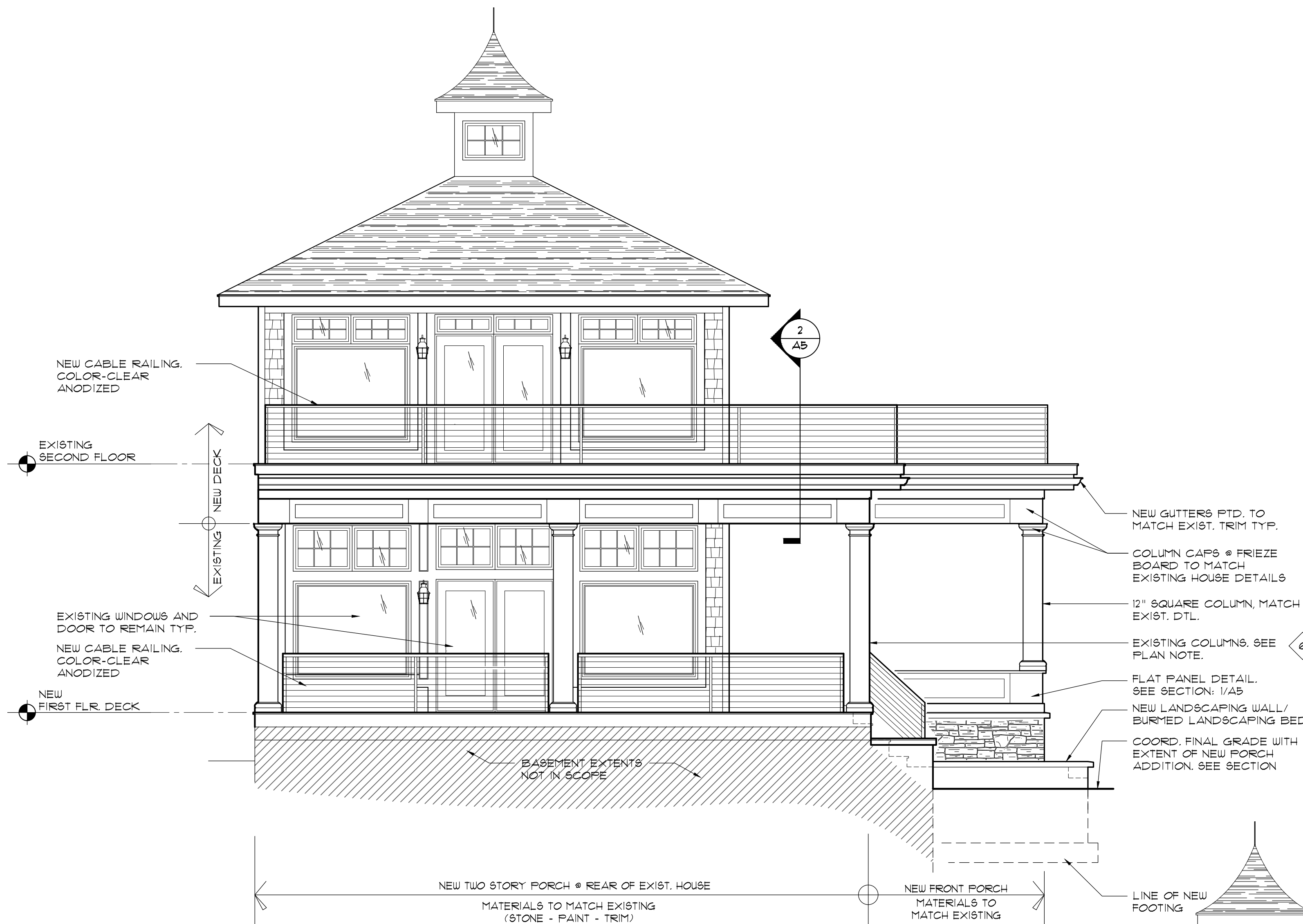
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1
A3

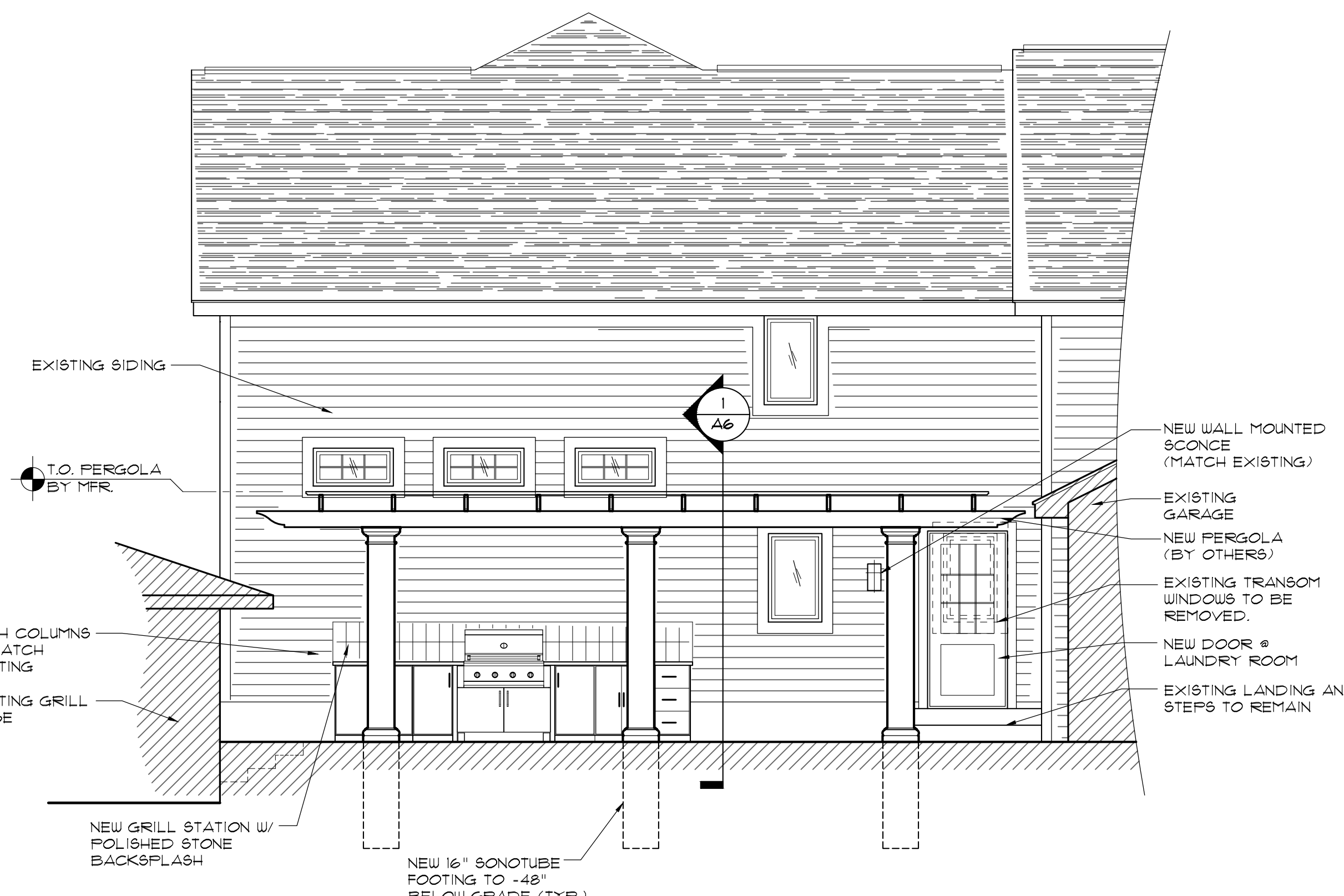
SECOND FLOOR DECK

SCALE: 1/4" = 1'-0"



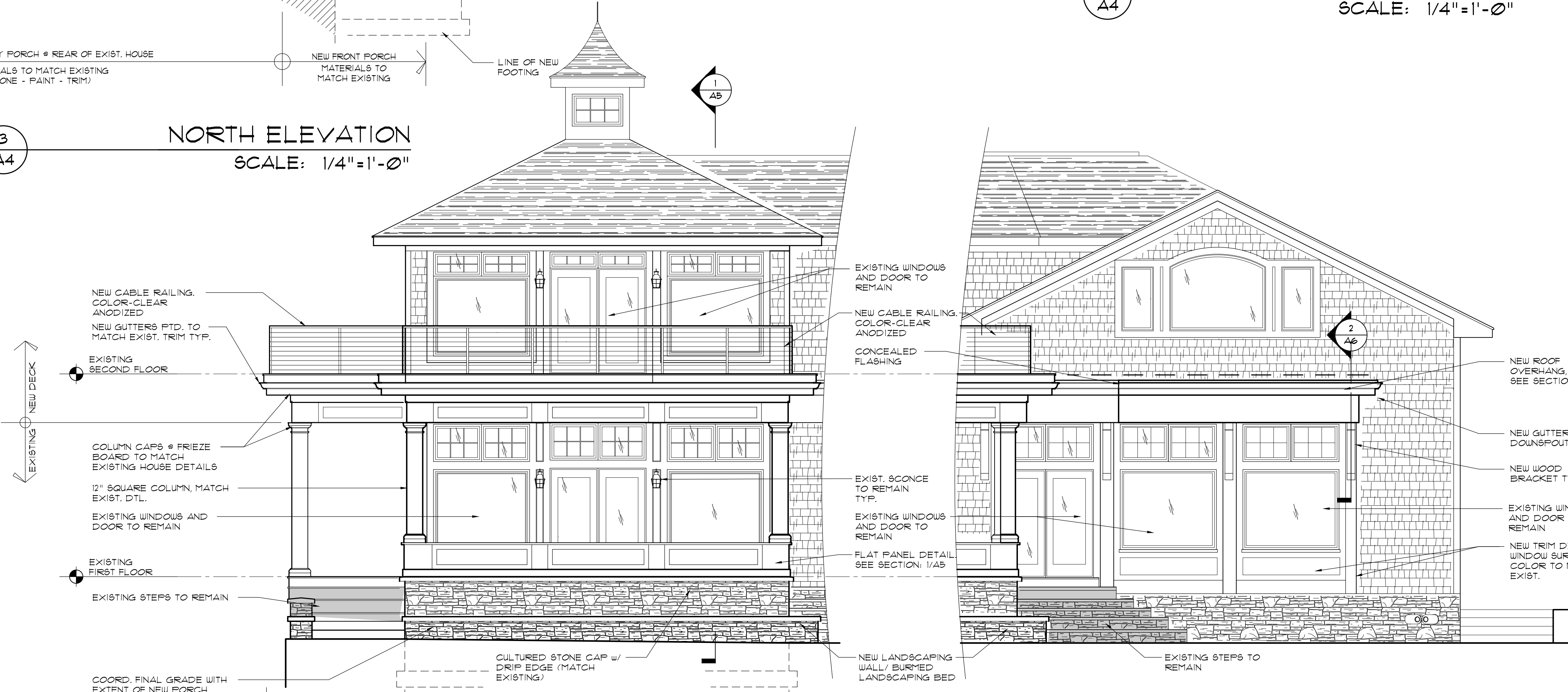
3
A4

NORTH ELEVATION
SCALE: 1/4"=1'-0"



2
A4

PERGOLA ELEVATION
SCALE: 1/4"=1'-0"



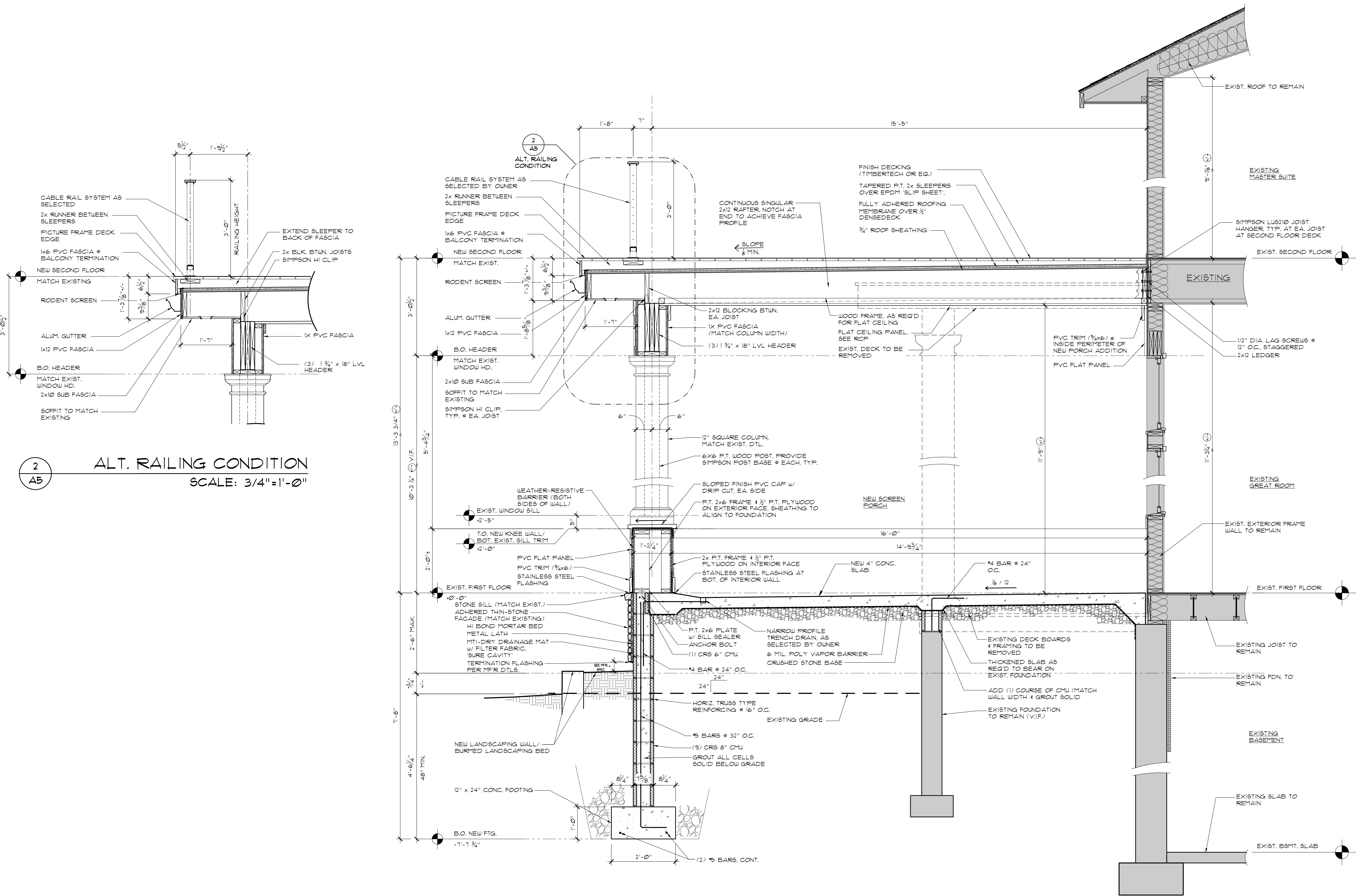
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A4

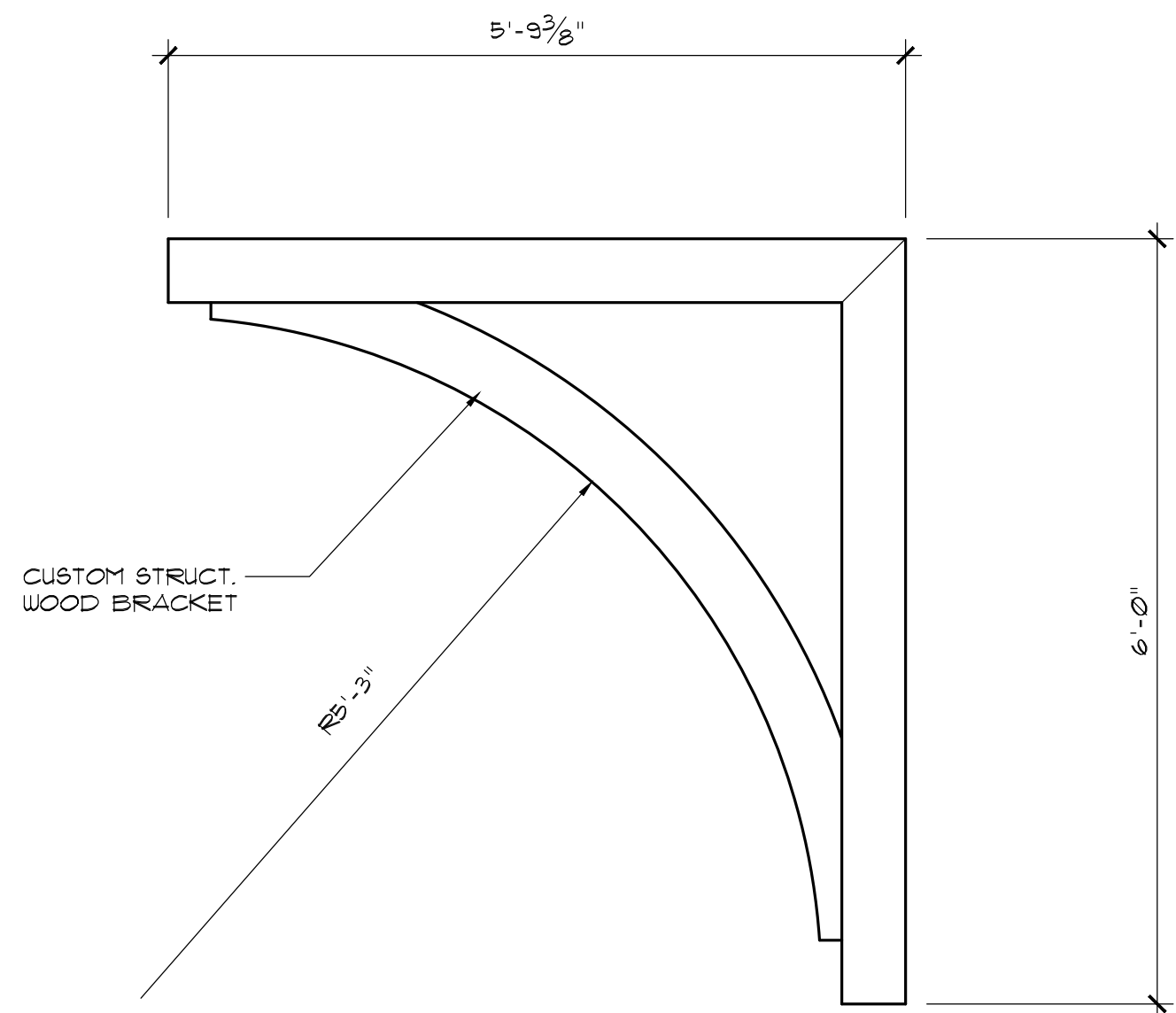
WEST ELEVATION
SCALE: 1/4"=1'-0"

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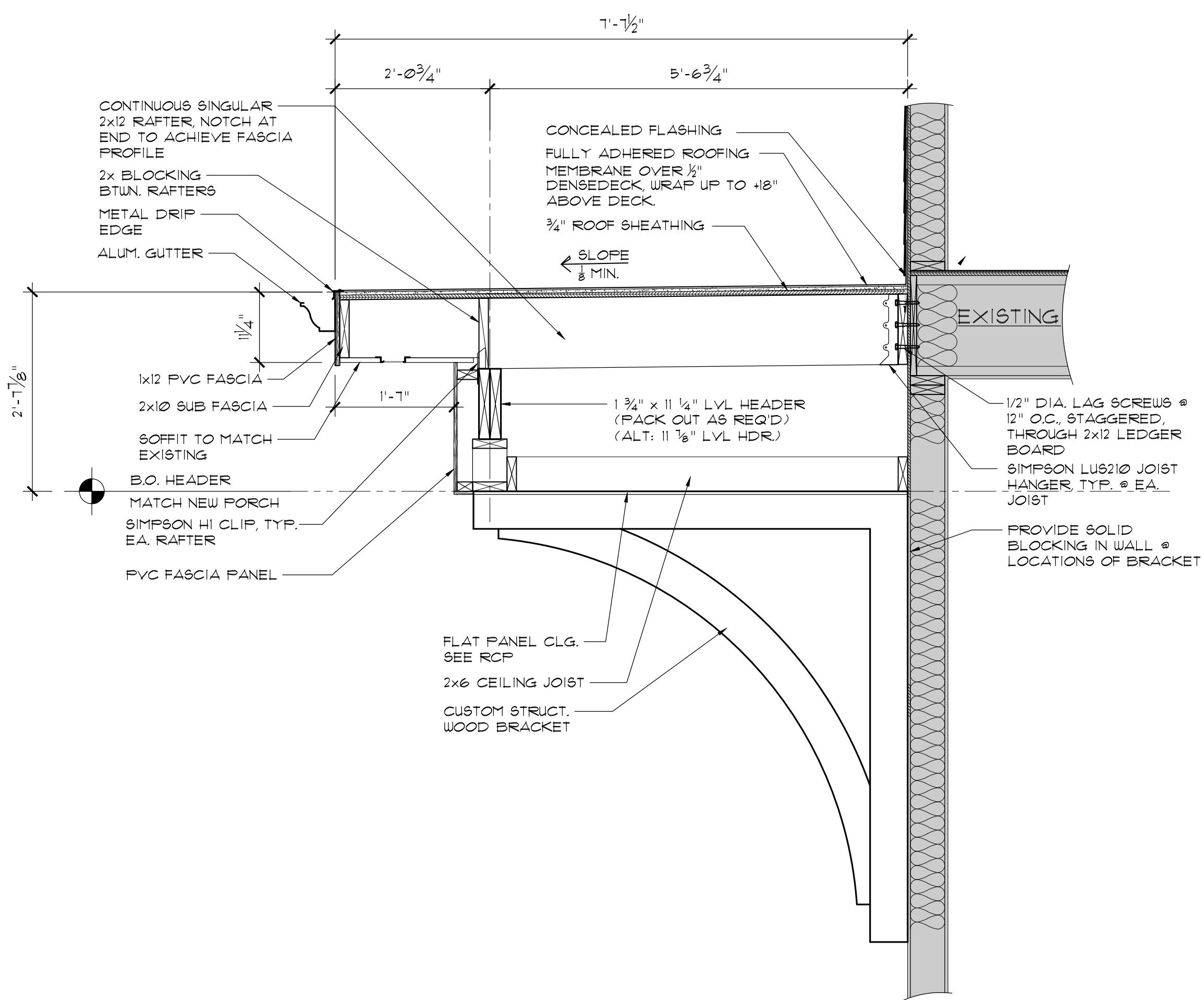
REVIEWED:
95% CONSTRUCTION SET
DATE: 9-20-24
EXTERIOR ELEVATIONS
DRAWING TITLE:
A4
SHEET NO:
PROJECT NO: 23-195





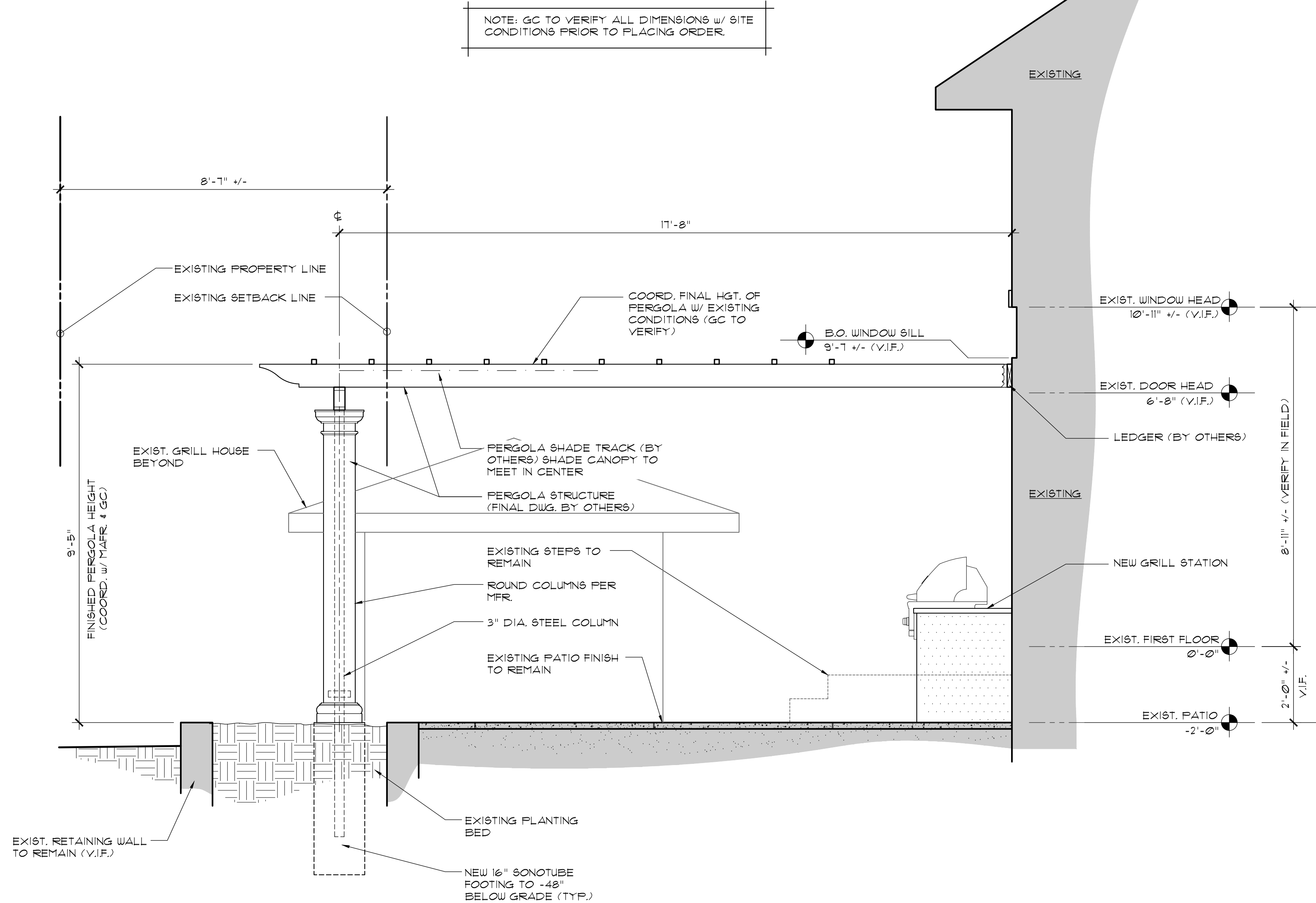
3
A6

BUCKET DESIGN
SCALE: 3/4"=1'-0"



2
A6

ROOF OVERHANG DETAIL
SCALE: 3/4"=1'-0"



1
A6

PORCH SECTION
SCALE: 1/2"=1'-0"