

**PRELIMINARY/FINAL  
SUBDIVISION AND SITE PLANS  
BIRDSONG AT CONIFER COVE**

DWG No.	
2910-01	COVER SHEET
2910-02	SUBDIVISION PLAT
2910-03	UTILITY PLAN
2910-04	GRADING PLAN
2910-05	CONSTRUCTION EROSION CONTROL PLAN
2910-06	LATERAL PLAN
2910-07	LANDSCAPE PLAN
2910-08	PROFILE SHEET
2910-09	DETAIL SHEET (1 OF 4)
2910-10	DETAIL SHEET (2 OF 4)
2910-11	DETAIL SHEET (3 OF 4)
2910-12	DETAIL SHEET (4 OF 4)

# BIRDSONG AT CONIFER COVE

PRELIMINARY/FINAL SUBDIVISION AND SITE PLANS

TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE

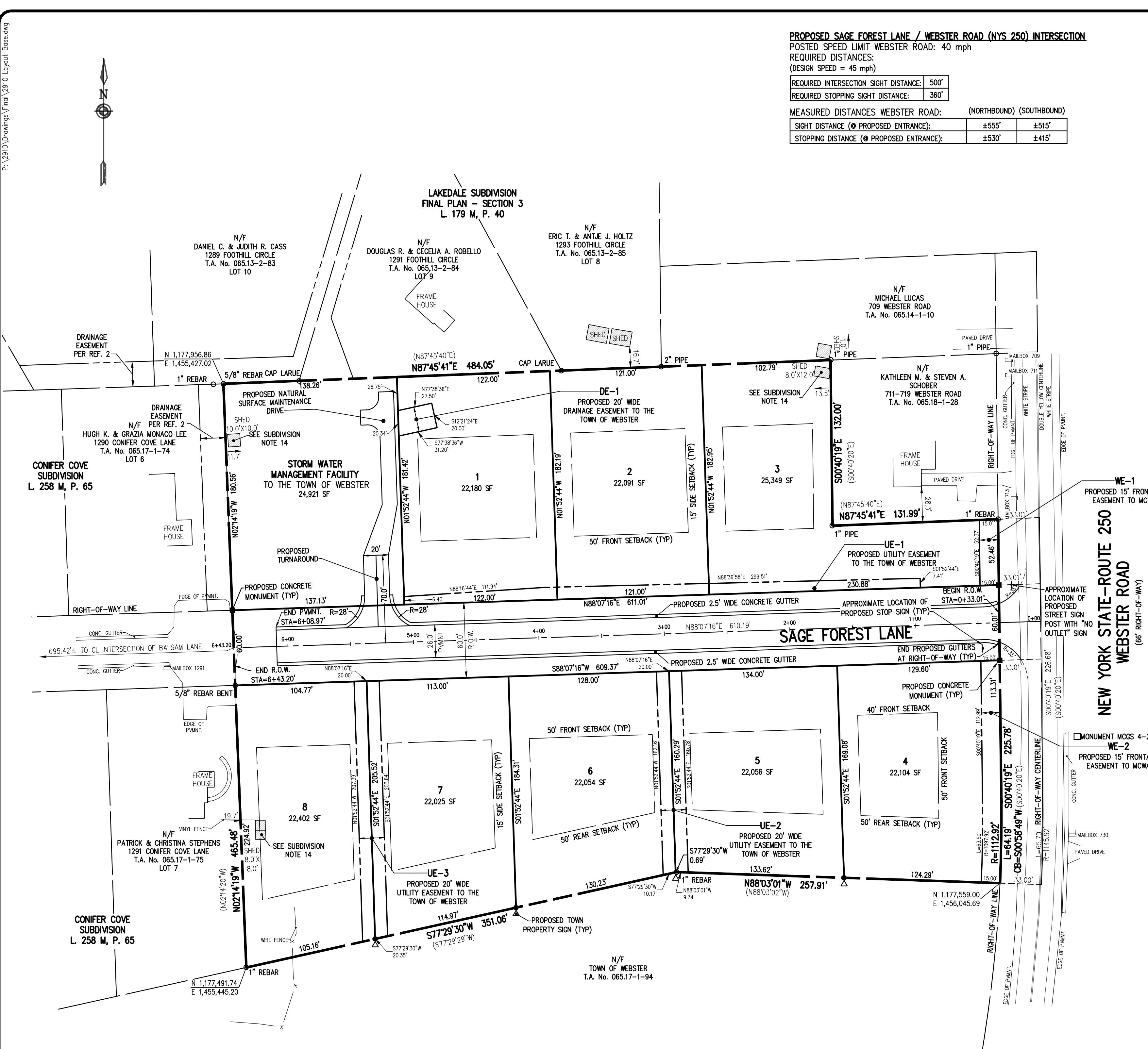
PREPARED FOR:  
**GROVE UNDERHILL PROPERTIES, LLC**

56 CLINTWOOD COURT  
ROCHESTER, NY 14620

SCALE: 1" = 50'  
DRAWING NUMBER: 2910-01  
DATED: MAY 14, 2024  
LAST REVISED: OCTOBER 22, 2024

**BME** ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
10 LIFT BRIDGE LANE EAST  
FAIRPORT, NEW YORK 14450  
WWW.BMEPC.COM  
585-377-7360



## REFERENCES:

1. A PLAN ENTITLED "LAKEDEALE SUBDIVISION, FINAL PLAN - SECTION 3," DATED OCTOBER 15, 1968, AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 179 OF MAPS, PAGE 40.
2. A PLAN ENTITLED "FINAL PLAN-BOUNDARY CONIFER COVE SUBDIVISION," DATED MARCH 10 1989, AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 258 OF MAPS, PAGE 65.
3. A PLAN ENTITLED "AN INSTRUMENT SURVEY OF LANDS TO BE CONVEYED BY MARGARET H. BORGUM," BY R. RONALD KREILING, DATED JANUARY 16, 1989, HAVING Dwg No. 89-2560-4.
4. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

## SURVEY NOTES:

1. THE PROJECT BOUNDARY SURVEY WAS MADE USING PROCEDURES NECESSARY TO ACHIEVE A HORIZONTAL ACCURACY OF 1 PART IN 20,000 (1:20,000) OR BETTER PROPORTIONAL ACCURACY AND A NETWORK POSITIONAL ACCURACY AT 95% CONFIDENCE LEVEL NOT EXCEEDING 0.05 FEET.
2. THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM OF 1983, WESTERN ZONE, TRANSVERSE MERCATOR PROJECTION, NAD 83 (2011) UTILIZING GLOBAL POSITIONING SYSTEM (GPS) (OR) GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) OBSERVATIONS FROM NYSDOT REFERENCE NETWORK CORS STATION (NYPF 0032). RECORDED BEARINGS AND DISTANCES THAT DIFFER FROM REFERENCE 3 ARE SHOWN IN PARENTHESIS.

## MONUMENTATION:

PUBLISHED NAD '27:  
4-2-84 (NYSDOT)

4-2-83 (NYSDOT)

MEASURED NAD '83:  
N= 1,177,635.83  
E= 807,749.09  
N= 1,175,808.03  
E= 807,485.98N= 1,175,848.03  
E= 1,455,844.12  
N= 1,177,675.80  
E= 1,456,107.18N= 1,175,848.03  
E= 1,455,844.12

BEARINGS SHOWN HEREON ARE GRID DISTANCES SHOWN HEREON ARE GRID COMBINED FACTOR = 1.000026

SUBDIVISION NOTES:

1. PARCEL INFORMATION:

OWNER: GROVE UNDERHILL, LLC  
T.A. NO: 065.18-1-27  
CURRENT DEED: LIBER 11742 OF DEEDS, PAGE 140

2. EXISTING ZONING: R-3: SINGLE FAMILY RESIDENTIAL DISTRICT

3. TOTAL PROJECT AREA: ±5.55 ACRES

4. PROPOSED USE: (8) SINGLE-FAMILY LOTS AND (1) SWMF PARCEL TO BE DEDICATED TO THE TOWN OF WEBSTER.

5. LOT STANDARDS

REQUIRED/PROVIDED:  
MINIMUM LOT AREA 22,000 S.F.  
MINIMUM LOT WIDTH 100'  
MAXIMUM BUILDING COVERAGE 20%  
MAXIMUM BUILDING HEIGHT 30'

SETBACKS:

FRONT 50'  
FRONT (CORNER LOT) 40'  
FRONT (CORNER LOT MAJOR HIGHWAY)\* 50'  
REAR 50'  
SIDE 15'

\*PER TOWN CODE §350-12.B.(5)(o)[2]

6. THE SETBACK LINES AND NOTES RELATING TO SETBACKS SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF WEBSTER AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.

7. IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF WEBSTER AND THE APPROPRIATE MONROE COUNTY AGENCIES, UNLESS OTHERWISE NOTED.

8. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.

9. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO MONROE COUNTY LOCAL LAW NO. 6 OF 2019 REGARDING LIABILITY INCURRED THROUGH DISTURBANCE OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS. THE CONTRACTOR SHALL LOCATE, MARK, BARRICADE, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT OF WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.

10. HIGHWAY DRAINAGE ALONG WEBSTER ROAD (NYS ROUTE 250) TO BE MAINTAINED.

11. THIS PROPERTY DOES NOT FALL WITHIN A RECOGNIZED 100-YEAR FLOODPLAIN FOR THE FLOOD INSURANCE RATE MAP, TOWN OF WEBSTER, NEW YORK, PANEL 231 OF 528, MAP NUMBER 36053C0231G, DATED AUGUST 28, 2008.

12. SEE NYSDOT ACCESS PERMIT PLANS FOR ALL WORK WITHIN NYSDOT R.O.W.

13. ALL PROPOSED ROADWAY SIGNS TO BE COORDINATED WITH THE TOWN OF WEBSTER.

14. CONTRACTOR TO COORDINATE REMOVAL OF EXISTING SHEDS.

MONROE COUNTY SURVEYORS OFFICE/DEPT. OF TRANSPORTATION  
This plat is approved in accordance with the provisions of Section 239-f, Article 12-b of the General Municipal Law and/or the Monroe County Monumentation Law. A separate approval is required for site construction.

For General Municipal Law:

County Highway Superintendent \_\_\_\_\_ Date \_\_\_\_\_

For the Monroe County Monumentation Law:

Monroe County Surveyors Office \_\_\_\_\_ Date \_\_\_\_\_

I, the undersigned Treasurer of Monroe County Pursuant to Sec 334 of the Real Property Law Certify that all Monroe County Taxes and School Taxes against the land described herein have been paid through \_\_\_\_\_

Monroe County Treasurer \_\_\_\_\_ Dated: \_\_\_\_\_

NOT APPROVED  
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

WE: BME ASSOCIATES, CERTIFY THAT THIS MAP WAS PREPARED FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON APRIL 1, 2024 AND FROM THE REFERENCES NOTED HEREON. THIS MAP OR PLAT AND THE SURVEY UPON WHICH IT WAS BASED MEETS THE 2017 MINIMUM STANDARDS FOR A SURVEY MAP.

THIS MAP IS SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY SOURCES OTHER THAN THOSE REFERENCED HEREON.

BY: GREGORY D. BELL, NYSPLS NO. 050661

APPROVALS

BY: TOWN ENGINEER \_\_\_\_\_ DATE: \_\_\_\_\_

BY: TOWN DIRECTOR OF COMMUNITY DEVELOPMENT \_\_\_\_\_ DATE: \_\_\_\_\_

BY: TOWN ASSESSOR \_\_\_\_\_ DATE: \_\_\_\_\_

BY: FIRE MARSHAL \_\_\_\_\_ DATE: \_\_\_\_\_

BY: PLANNING BOARD CHAIRMAN \_\_\_\_\_ DATE: \_\_\_\_\_

BY: WEBSTER SEWER DISTRICT \_\_\_\_\_ DATE: \_\_\_\_\_

BY: MONROE COUNTY WATER AUTHORITY \_\_\_\_\_ DATE: \_\_\_\_\_

BY: HIGHWAY SUPERINTENDENT \_\_\_\_\_ DATE: \_\_\_\_\_

APPROVALS

PROJECT: TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE

LOCATION: GROVE UNDERHILL PROPERTIES, LLC

CLIENT: 56 CLAYWOOD COURT

ROCHESTER, NY 14620

PROJECT MANAGER: PG VARS

PROJECT SURVEYOR: GO BELL

DRAWN BY: BC GOODING

SCALE: 1"=50' DATE ISSUED: MAY 14, 2024

PROJECT NO. 2910

DRAWING NO. 02

PHEPS &amp; GORHAM PURCHASE, TOWNSHIP 14, RANGE 4, TOWN LOT 3, TAX MAP NUMBER 065.18-1-27

APPROVALS

BY: GREGORY D. BELL, NYSPLS NO. 050661 DATE: \_\_\_\_\_

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BY: WEBSTER SEWER DISTRICT \_\_\_\_\_ DATE: \_\_\_\_\_

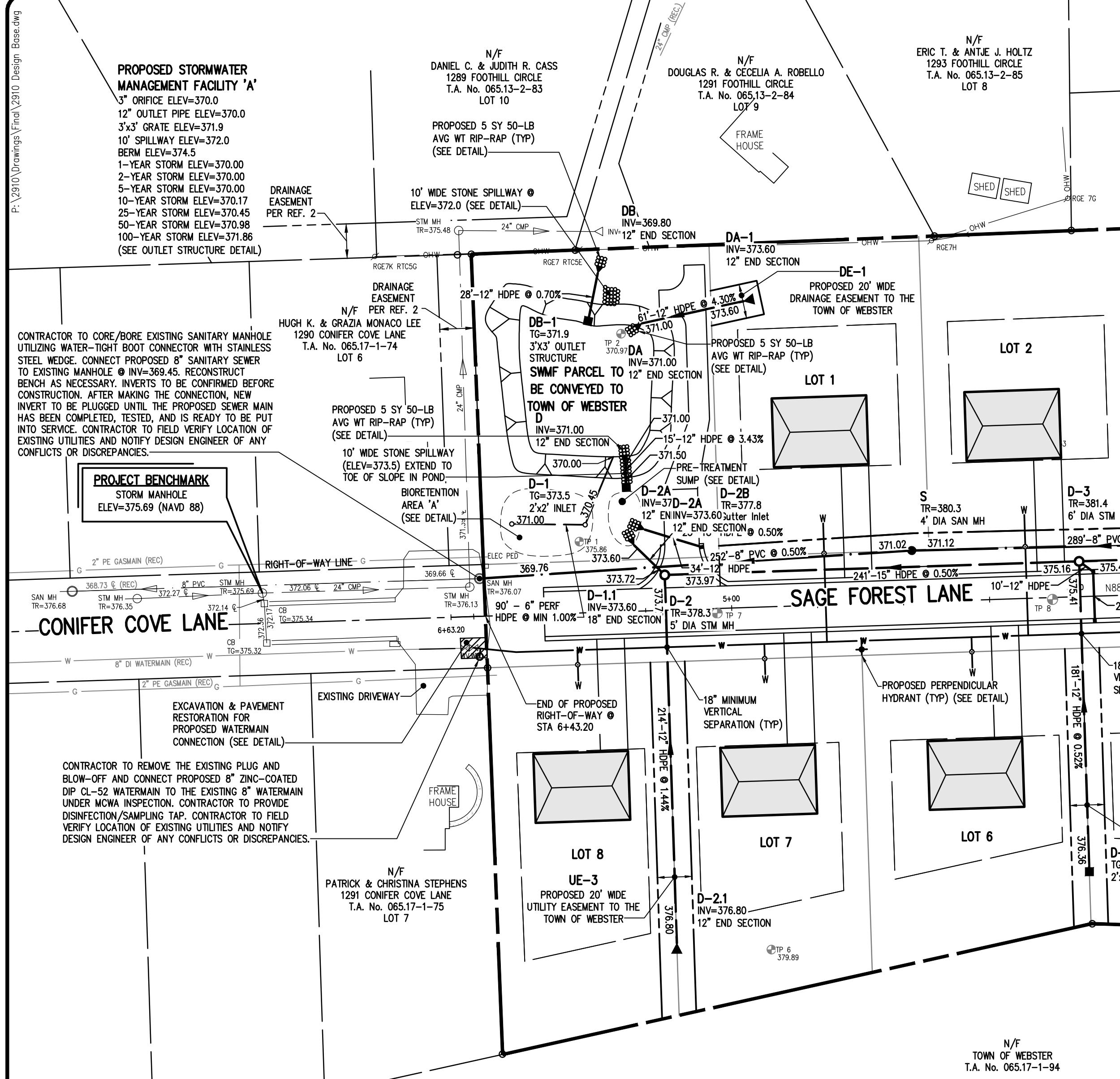
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APPROVALS

BY: GREGORY D. BELL, NYSPLS NO. 050661 DATE: \_\_\_\_\_

AP



N/F

TOWN OF WEBSTER

T.A. No. 065.17-1-94

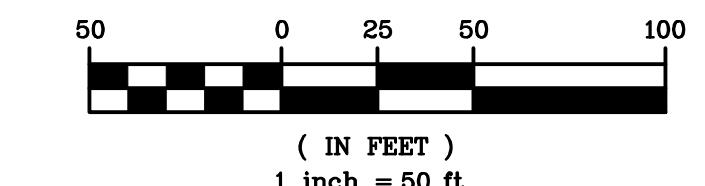
#### MONROE COUNTY DEPARTMENT OF HEALTH STANDARD SANITARY SEWER EXTENSION NOTES:

- MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION CR28-86 ENTITLED "PRACTICE FOR LOW-PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES". SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION - TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (LATEST REVISION).
- FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FLOOR DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
- DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANHOLE, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAIN PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.

#### LEGEND

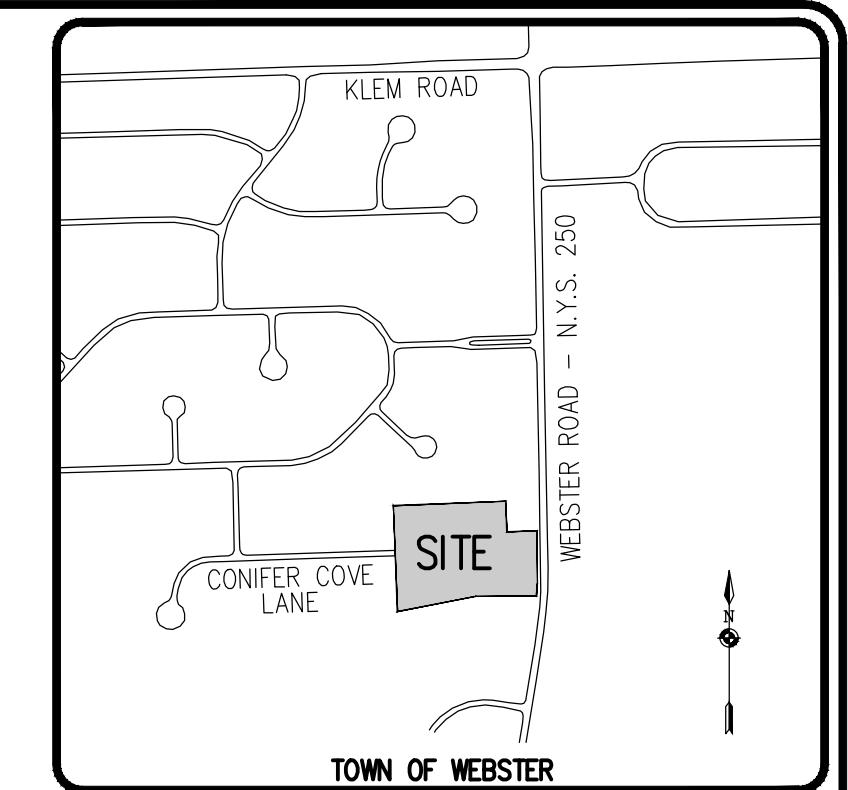
- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPERTY MARKER FOUND
- EXISTING WATERMAIN, HYDRANT, AND VALVE
- PROPOSED WATERMAIN, HYDRANT, AND VALVE
- PROPOSED WATER SERVICE AND CURBSTOP
- EXISTING STORM SEWER, MANHOLE, AND INLET
- PROPOSED STORM SEWER, MANHOLE, AND INLET
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING TEST PIT

#### GRAPHIC SCALE



(IN FEET)

1 inch = 50 ft.



#### LOCATION MAP

NOT TO SCALE

#### UTILITY NOTES:

- THE BACKLINE AND NOTES RELATING TO SETBACK SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF WEBSTER AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
- BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF WEBSTER, THE APPROPRIATE AGENCIES (IE, MONROE COUNTY WATER AUTHORITY, MONROE COUNTY DEPARTMENT OF HEALTH, AND NEW YORK STATE DEPARTMENT OF TRANSPORTATION) UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM FIELD LOCATIONS AND/OR AVAILABLE UTILITY COMPANY RECORD PLANS. EXISTING UTILITIES WHETHER FUNCTIONAL OR ABANDONED WITHIN THE PROJECT AREA MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL CALL THE UDNY-NY UFGO HOTLINE AT (800)962-7962 OR 811 FOR STAKE-OUT OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND LAYING OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
- HIGHWAY DRAINAGE ALONG NYS ROUTE 250 IS TO BE MAINTAINED. OWNER TO FURNISH AND PLACE DRIVEWAY CULVERT PIPE (IF REQUIRED) OF A SIZE AND TYPE, AT A LINE AND GRADE TO BE DETERMINED BY THE NYSDOT.
- THE INDIVIDUAL LOT UTILITY SERVICES (WATER SERVICE, SANITARY LATERALS, & STORM LATERALS) OUTSIDE OF THE PROPOSED RIGHT-OF-WAY AND/OR EASEMENTS ARE PROPOSED TO BE PRIVATELY OWNED. ALL OTHER PROPOSED UTILITIES ARE TO BE DEDICATED TO THE TOWN OF WEBSTER OR MONROE COUNTY WATER AUTHORITY UPON CONSTRUCTION.

#### WATERMAIN

- WATERMANS AND APPURTENANCES TO BE CONSTRUCTED TO THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY (MCWA). (SEE MCWA PUBLIC WATER SYSTEM NOTES).
- WATERMANS SHALL BE ZINC-COATED DUCTILE IRON CEMENT LINED CLASS 52 (DIP) OR AS NOTED ON THE PLANS.
- WATERMANS AND APPURTENANCES SHALL BE INSTALLED PER THE MOST RECENT AWWA C600 FOR DIP STANDARDS.
- ALL WATER MAIN FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.

- FLOW TEST WAS PERFORMED BY THE MONROE COUNTY WATER AUTHORITY:

LOCATION: CONIFER COVE LANE  
ELEVATION: 378  
DATE: 4/15/24  
MAIN SIZE: 8" DIP  
STATIC PRESSURE: 87 PSI  
RESIDUAL PRESSURE: 68 PSI  
OBSERVED FLOW: 1,307 GPM  
FLOW @ 20 PSI: 2,581 GPM

THE PRESSURE AND FLOW DATA PROVIDED HEREIN REPRESENTS A HYDRANT FLOW TEST AT THIS LOCATION IN THE DISTRIBUTION SYSTEM ON THIS DATE AND TIME, AND INCLUDES ADJUSTMENT BY MCWA FOR HISTORICAL LOW PRESSURES WITHIN THE PUBLIC WATERMAIN. THESE VALUES CAN VARY GREATLY DEPENDING ON DEMANDS, OPERATIONAL PARAMETERS, SYSTEM CONFIGURATIONS, SUBSEQUENT MODIFICATIONS, AND OTHER RELATED CRITERIA. PLEASE CONTACT TONY PIASK, P.E. AT 585-442-2001 EXT. 273 WITH ANY QUESTIONS OR CONCERNs.

#### SANITARY SEWER:

- ALL SANITARY SEWERS ARE IN COMPLIANCE WITH THE SPECIFICATIONS AND SEWER POLICY OF THE TOWN OF WEBSTER.
- SANITARY SEWERS, HOUSE LATERALS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF WEBSTER.
- SANITARY SEWER PIPE SHALL BE 8" PVC SDR-35 OR AS NOTED ON THE PLAN.

- INFILTRATION AND EXFILTRATION SHALL BE LIMITED TO 100 GALLONS PER MILE PER INCH DIAMETER OF PIPE PER 24 HOURS FOR SANITARY SEWERS. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM-1417, ENTITLED "STANDARD PRACTICE FOR INSTALLATION ACCEPTANCE OF PLASTIC LOW-PRESSURE AIR". SANITARY MANHOLES SHALL BE TESTED FOR EXFILTRATION.

WATER TESTING - EACH MANHOLE SHALL BE FILLED WITH A MAXIMUM OF 10 FEET OF WATER, SUBJECTED TO A 24 HOUR TEST AND SHOW A LOSS OF WATER NOT TO EXCEED 15 GALLONS/24 HOURS FOR A 4 FOOT IDMH. INFILTRATION TESTS SHALL ADHERE TO THE SAME LIMITS.

VACUUM TESTING - EACH MANHOLE SHALL BE SUBJECTED TO A VACUUM OF 10 INCHES OF HG FOR ONE MINUTE WITH AN ALLOWABLE LOSS OF 1 INCH OF HG.

- NEW SEWERS ARE TO BE PLUGGED WHEN CONNECTED TO EXISTING MANHOLES UNTIL THE NEW SEWERS ARE FLUSHED, TESTED, AND READY FOR SERVICE.

#### STORM SEWER:

- STORM SEWERS, HOUSE LATERALS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF WEBSTER.

- STORM SEWER PIPE SHALL BE HIGH-DENSITY POLYETHYLENE (HDPE) SMOOTH INTERIOR, OR AS NOTED ON THE PLAN.

- CHECK VALVES TO BE PROVIDED ON SUM PUMPS.

- REAR DOWNSPOUTS SHALL DISCHARGE ON SPLASH BLOCKS DIRECTED TO THE REAR OF EACH LOT. FRONT ROOF DRAINS & FOUNDATION DRAINS (W/ SUM PUMPS) SHALL DISCHARGE TO STORM SEWERS.

- ROOF RUNOFF LEADERS AND CELLAR INFILTRATION LINES SHALL NOT BE DISCHARGED TO THE HIGHWAY DRAINAGE DITCH.

#### APPROVALS

BY: TOWN ENGINEER DATE: \_\_\_\_\_  
BY: TOWN DIRECTOR OF COMMUNITY DEVELOPMENT DATE: \_\_\_\_\_  
BY: TOWN ASSESSOR DATE: \_\_\_\_\_  
BY: FIRE MARSHAL DATE: \_\_\_\_\_  
BY: PLANNING BOARD CHAIRMAN DATE: \_\_\_\_\_  
BY: WEBSTER SEWER DISTRICT DATE: \_\_\_\_\_  
BY: MONROE COUNTY WATER AUTHORITY DATE: \_\_\_\_\_  
BY: HIGHWAY SUPERINTENDENT DATE: \_\_\_\_\_

#### NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

Drawing Alteration  
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
It is a violation of this law for any person to alter, in any way, any item or item set forth in this drawing, after it has been filed with the appropriate engineer or land surveyor to whom it is given, unless the altering engineer or land surveyor has signed and dated the drawing and has placed his or her name and address on the drawing, and the alteration is otherwise approved by his or her signature and the date on which a specific description of the alteration is given.

Drawing Alteration

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The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
It is a violation of this law for any person to alter, in any way, any item or item set forth in this drawing, after it has been filed with the appropriate engineer or land surveyor to whom it is given, unless the altering engineer or land surveyor has signed and dated the drawing and has placed his or her name and address on the drawing, and the alteration is otherwise approved by his or her signature and the date on which a specific description of the alteration is given.

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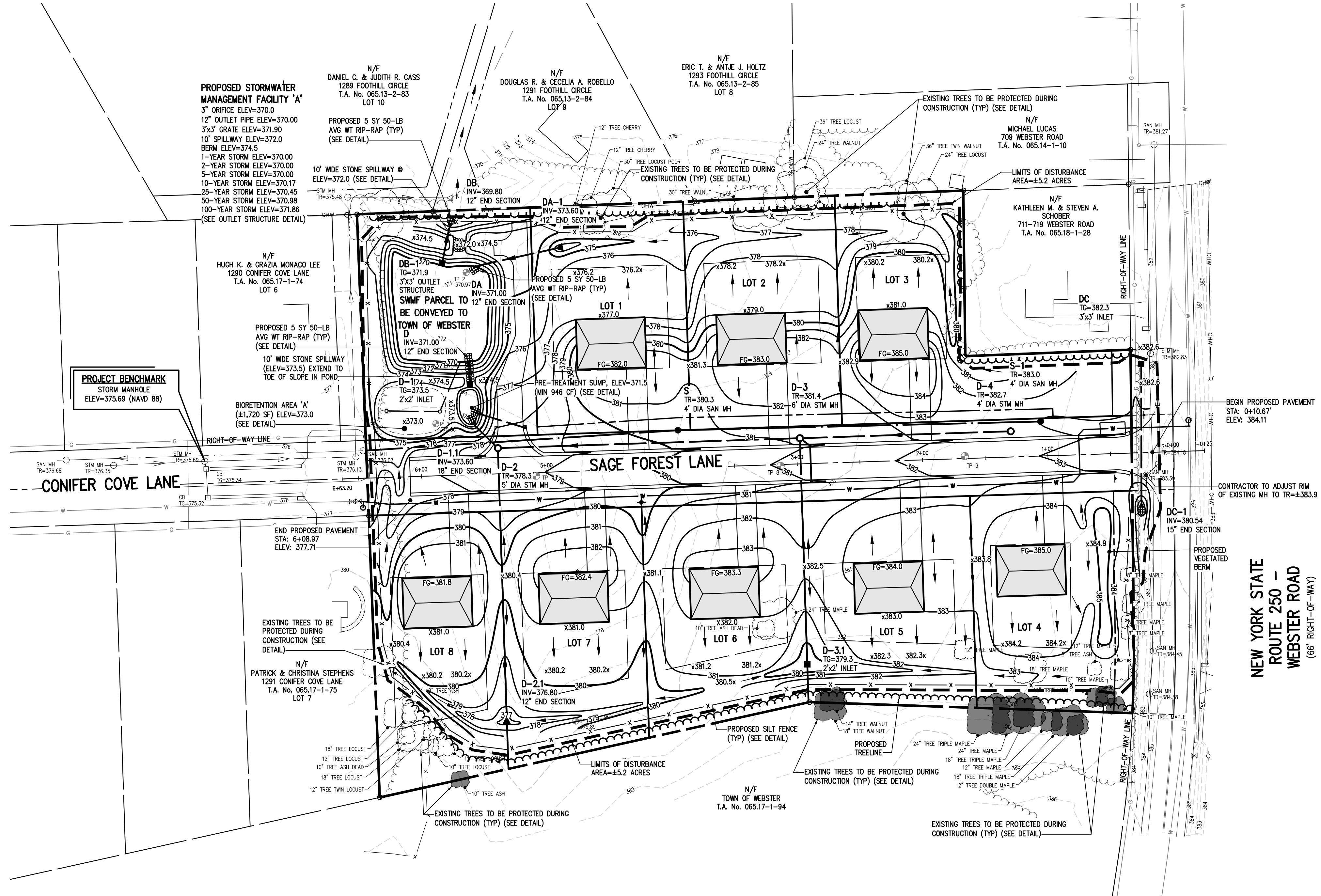
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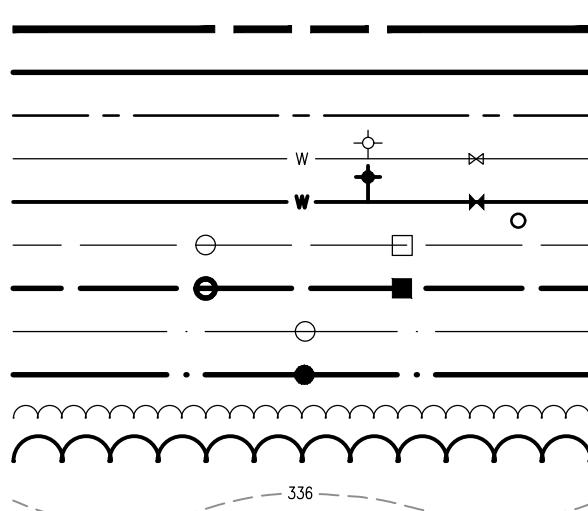
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New York State Education Law Article  
Section 7209 and applies to this  
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n, unless he is acting under the  
on of a licensed professional  
er or land surveyor to alter any  
n way. If an item bearing the  
f an engineer or land surveyor is  
d, the altering engineer or land  
or shall affix to the item his seal  
he notation "altered by" followed  
signature and the date of such  
ation, and a specific description  
e alteration."



**NEW YORK STATE  
ROUTE 250 –  
WEBSTER ROAD  
(66' RIGHT-OF-WAY)**

SEE PROFILE SHEET (BME SHEET #2910-08) FOR COMPACTION TABLE FOR CONIFER COVE LANE.

## LEGEND



BOUNDARY LINE  
PROPOSED LOT LINE  
CENTERLINE  
EXISTING WATERMAIN, HYDRANT, AND VALVE  
PROPOSED WATERMAIN, HYDRANT, AND VALVE  
EXISTING STORM SEWER, MANHOLE, AND INLET  
PROPOSED STORM SEWER, MANHOLE, AND INLET  
EXISTING SANITARY SEWER AND MANHOLE  
PROPOSED SANITARY SEWER AND MANHOLE  
EXISTING TREE LINE  
PROPOSED TREE LINE  
EXISTING CONTOUR W/ ELEVATION  
PROPOSED CONTOUR W/ ELEVATION  
EXISTING SPOT ELEVATION  
PROPOSED SPOT ELEVATION  
PROPOSED FINISHED GRADE ELEVATION

TEST PIT- WWTS SYMBOL - 		DH
TP-1	0-0.8': TOPSOIL 0.8'-6': FINE SAND	0-1': TOPSOIL TP-7 1'-2': VERY FINE SAND 2'-10': FINE SANDY LOAM
TP-2	0-0.6': TOPSOIL 0.6'-6.0': FINE SAND MINIMAL PERCHED WATER / SEEPAGE ENCOUNTERED @ 4'	0-1.5': TOPSOIL TP-8 1.5'-4.0': LOAMY FINE SAND 4.0'-10.0': VERY FINE SAND MINIMAL SEEPAGE @ 4'
TP-3	0-1.3': TOPSOIL 1.3'-6.0': FINE SAND SEEPAGE FROM 2'-3', NO SEEPAGE FROM 3'-6'	0-1.5': MUCKY TOPSOIL TP-9 1.5-10': LOAMY SAND WITH SOME COBBLES *SEASONALLY WET LOCATION WITH MUCKY TOPSOIL
TP-4	0-1': TOPSOIL 1'-6': FINE SAND MINERAL DEPOSITS OBSERVED SEEPAGE FROM 2'-6'	
TP-5	0-1': TOPSOIL 1-6': FINE SAND	<ul style="list-style-type: none"> <li>• NO BEDROCK OBSERVED</li> <li>• TEST PITS 1-6: CONDUCTED BY BME ASSOCIATES ON 1/31/24</li> <li>• TEST PITS 7-9: CONDUCTED BY BME ASSOCIATES ON 4/18/24</li> </ul>
TP-6	0-0.8': TOPSOIL 0.8'-2.5': FINE SAND 2.5'-6': FINE SAND WITH GRAVEL, SOME COBBLES	

**EXISTING TREE WITHIN 10' OF PROPERTY TO BE SAVED**

**NOT APPROVED**

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

## APPROVALS

BY: <u>TOWN ENGINEER</u>	DATE: _____
BY: <u>TOWN DIRECTOR OF COMMUNITY DEVELOPMENT</u>	DATE: _____
BY: <u>TOWN ASSESSOR</u>	DATE: _____
BY: <u>FIRE MARSHAL</u>	DATE: _____
BY: <u>PLANNING BOARD CHAIRMAN</u>	DATE: _____
BY: <u>WEBSTER SEWER DISTRICT</u>	DATE: _____
BY: <u>HIGHWAY SUPERINTENDENT</u>	DATE: _____

BIRDUSUNG AL CUNIFER TOWN OF WEBSTER WENDELL COUNTY NEW YORK

ER, MONROE COUNTY, NEW YORK  
E UNDERHILL PROPERTIES, LLC  
56 CLINTWOOD COURT  
ROCHESTER, NY 14620

**PRELIMINARY/FINAL  
TRADING PLAN**

DIME | ASSOCIATES

IVAE | ASSOCIATES  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
17 BRIDGE LANE EAST  
ORT, NEW YORK 14450  
WWW.BMMEPC.COM  
585-377-7360

**OCATION** TOWN OF WEBSTER, MONROE COUNTY, NEW YORK  
**IENT** GROVE UNDERHILL PROPERTIES, LLC  
56 CLINTWOOD COURT  
ROCHESTER, NY 14620

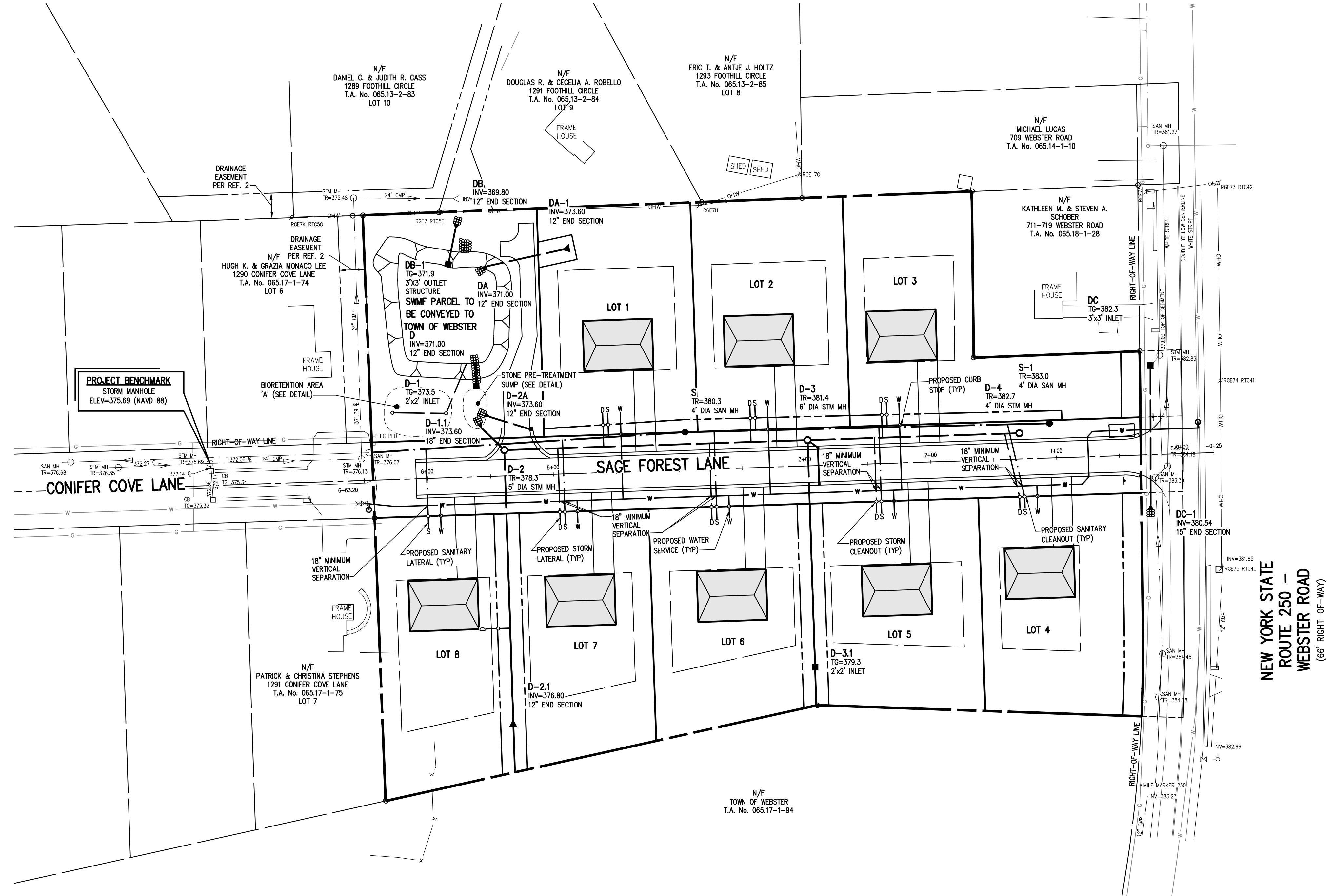
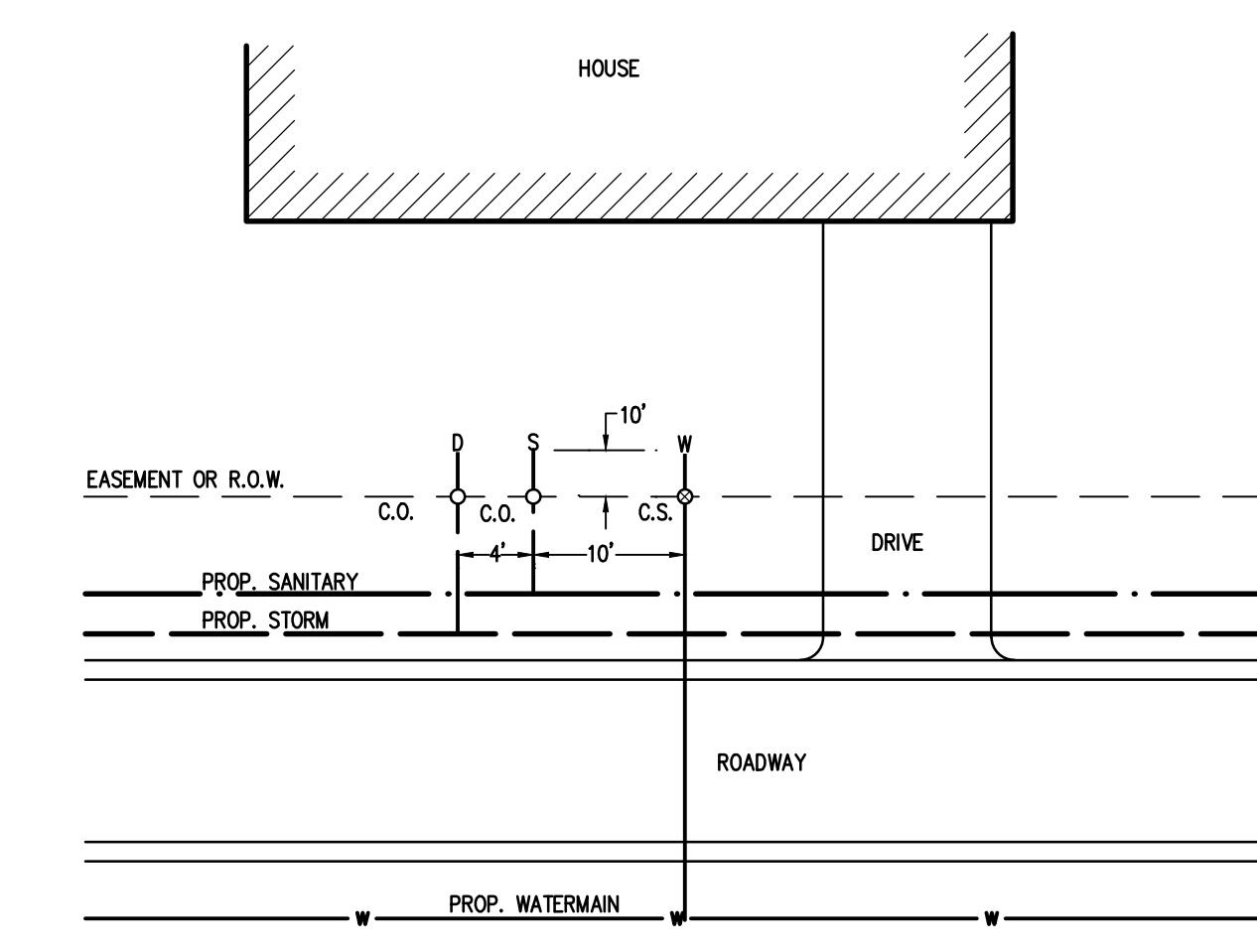
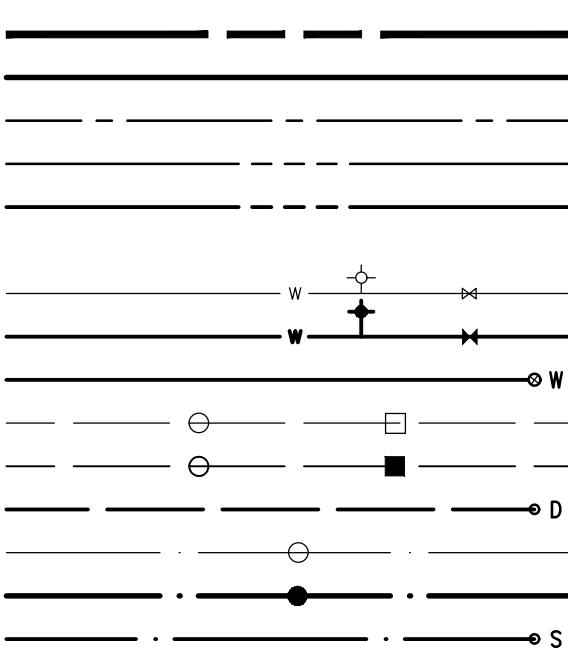
**PRELIMINARY/FINAL  
GRADING PLAN**

**RAMING TITLE**

JECT MANAGER  
RS  
JECT ENGINEER  
ELLEY  
BY  
ANGELO  
DATE ISSUED  
60' MAY 14, 2024

CT NO.  
**2910**  
ING NO.  
**04**



LEGEND

**TYPICAL LATERAL LAYOUT**  
N.T.S.

**THIS PLAN IS TO BE USED FOR LATERAL LOCATIONS ONLY. SEE UTILITY PLAN (BME DRAWING #2910-03) FOR UTILITY NOTES**

BY: <b>TOWN ENGINEER</b>	DATE: _____
BY: <b>TOWN DIRECTOR OF COMMUNITY DEVELOPMENT</b>	DATE: _____
BY: <b>TOWN ASSESSOR</b>	DATE: _____
BY: <b>FIRE MARSHAL</b>	DATE: _____
BY: <b>PLANNING BOARD CHAIRMAN</b>	DATE: _____
BY: <b>WEBSTER SEWER DISTRICT</b>	DATE: _____
BY: <b>HIGHWAY SUPERINTENDENT</b>	DATE: _____

**BIRDSONG AT CONIFER COVE**

TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE

GROVE HILL PROPERTIES, LLC  
56 CLAYWOOD COURT  
ROCHESTER, NY 14620**PRELIMINARY/FINAL LATERAL PLAN**

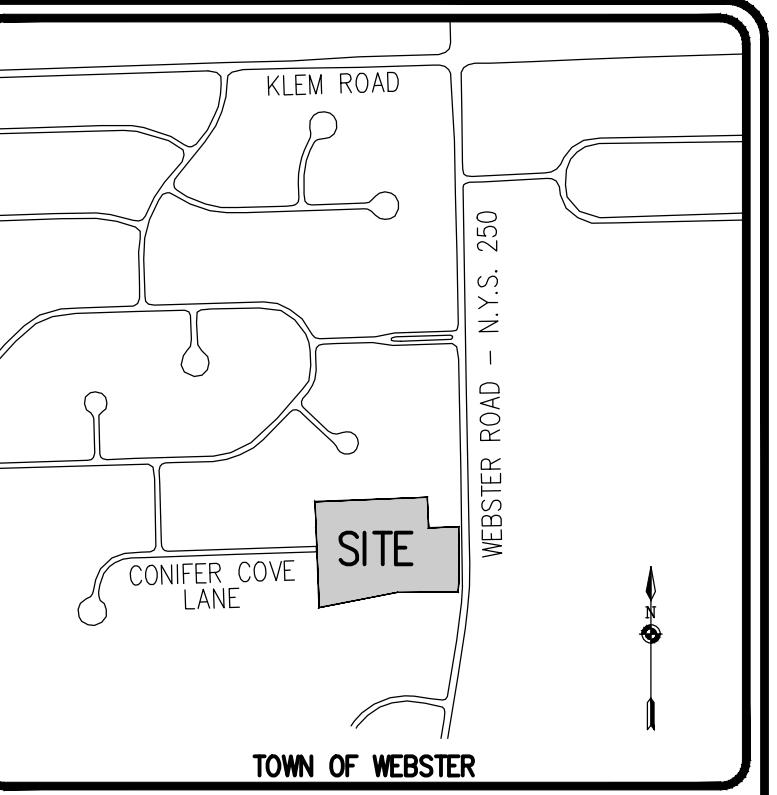
DRAFTING TITLE

**BME ASSOCIATES**

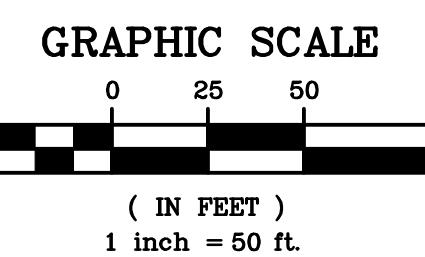
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

WWW.BMEPC.COM  
585-377-7760

Drawing Alteration  
The following is an excerpt from the  
New York State Education Law Article  
48 Section 7209 and applies to this  
drawing:  
"It is a violation of this law for any  
engineer or land surveyor to alter any  
item in any way, if on items for which the  
engineer or land surveyor is responsible,  
the offering engineer or land  
surveyor shall affix to the item his seal  
and sign and date the alteration, and  
by his signature and date, and a specific description  
of the alteration."



**LOCATION MAP**  
NOT TO SCALE

LATERAL NOTES:

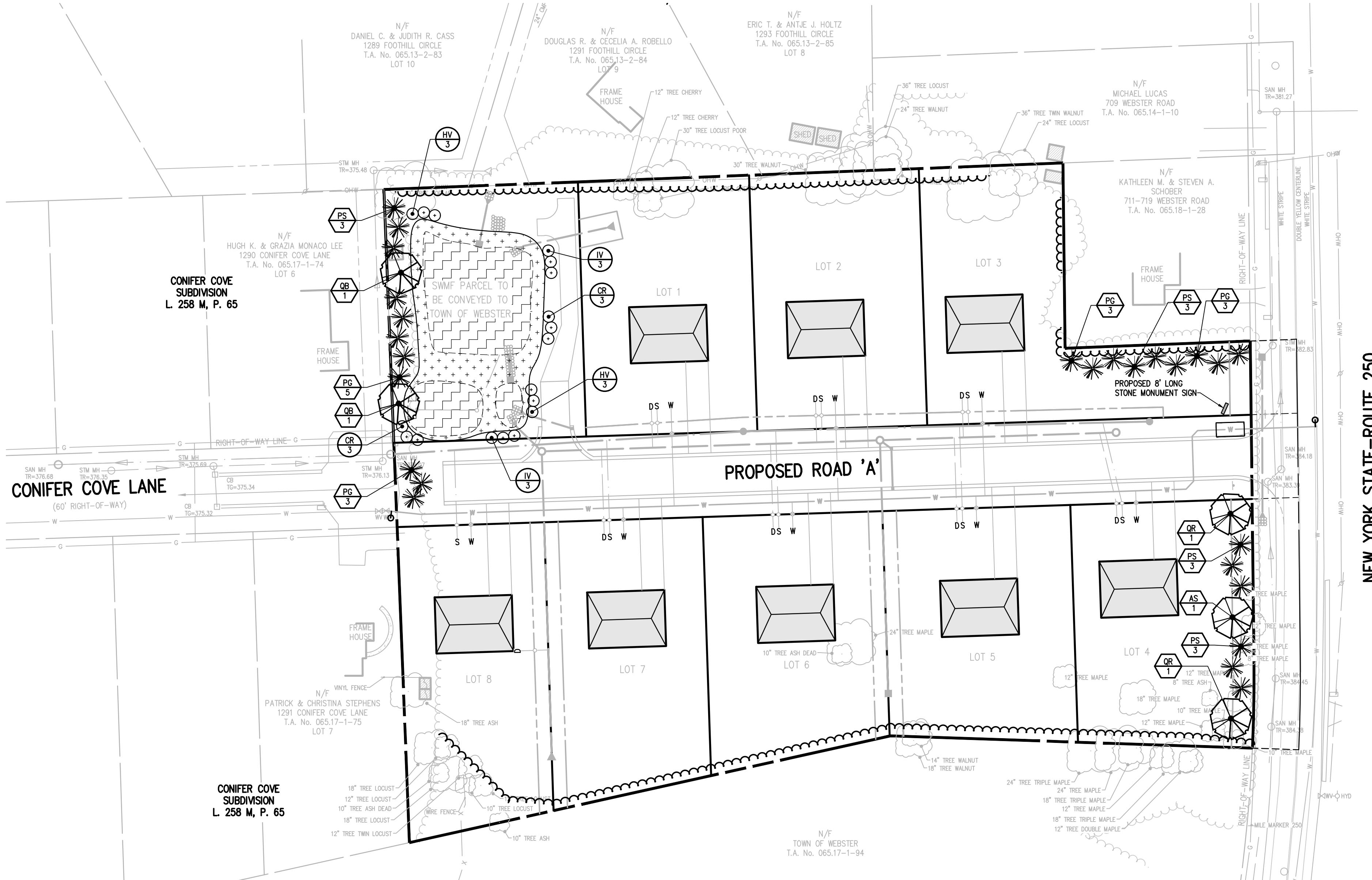
- ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS:  
WATER - 1" INCH TYPE K COPPER FROM THE WATERMAIN TO THE CURB BOX  
1" INCH PE #470 FROM THE CURB BOX TO THE METER (UNLESS NOTED OTHERWISE)  
SANITARY - 4" PVC SDR-21 INSTALLED AT 2.00% MIN SLOPE.  
STORM - 6" PVC SDR-35 INSTALLED AT 1.00% MIN SLOPE.  
EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHICHEVER IS GREATER.
- WATER METER(S) ARE TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALL(S) IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING. ON METERS SERVICES REQUIRING A 1x INCH OR LARGER METER, A BY-PASS AROUND THE METER IS REQUIRED.
- NO CURB VALVE BOXES (WATER LATERAL) ARE ALLOWED IN DRIVEWAYS. THE SERVICE OR DRIVEWAY WILL BE RELOCATED IF THIS CONFLICT ARISES.
- ALL HOMES WITH WATER PRESSURE GREATER THAN 70 PSI AT THE METER WILL REQUIRE A PRESSURE REDUCING VALVE INSTALLED AFTER THE METER.
- SANITARY LATERALS' WITNESS STAKES SHALL BE 2"x4" HARDWOOD, EXTENDED 2-3' ABOVE GRADE AND PAINTED GREEN.
- ANY LAUNDRY WASTEWATER SHALL BE DIRECTED TO THE SANITARY SEWER.
- CLEANOUTS FOR STORM LATERALS SHALL BE INSTALLED AT ALL HORIZONTAL BENDS, AND AT 100' INTERVALS ALONG THE LATERAL. CLEANOUTS FOR SANITARY LATERALS SHALL BE INSTALLED AT THE RIGHT-OF-WAY OR EASEMENT LINE, AT ALL BENDS 45° OR GREATER, AND AT 85-100 FOOT INTERVALS THEREAFTER.
- REAR DOWNSPOUTS SHALL DISCHARGE ON SPLASH BLOCKS DIRECTED TO THE REAR OF EACH LOT. FRONT ROOF DRAINS & FOUNDATION DRAINS (WA SUMP PUMPS) SHALL DISCHARGE TO STORM SEWERS.

NOT APPROVED

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The plan is subject to revisions until all approvals are obtained and  
should not be used for construction purposes.

APPROVALS

PROJECT	LOCATION	DATE
CLIENT		
PROJECT MANAGER		
PROJECT ENGINEER		
FA SHELLEY		
DRAWN BY		
AN D'ANGELO		
SCALE	DATE ISSUED	
1' = 50'	MAY 14, 2024	
PROJECT NO.		
DRAWING NO.		



## LANDSCAPE NOTES:

- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, ANSI Z60.1-2004.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFFS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE HORIZONTAL LINE OF UNDERGROUND UTILITIES TO THE PLANT BALL.
- ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE HORIZONTAL LINE OF OVERHEAD UTILITIES TO THE PLANT BALL.
- PLANTING SOIL MIXTURE SHALL HAVE A RATIO BY VOLUME OF FOUR PARTS TOPSOIL TO ONE PART PEAT. SOIL AMENDMENTS TO BE MODIFIED FOR INDIVIDUAL PLANT MATERIAL REQUIREMENTS.
- STAKE TREES IMMEDIATELY AFTER PLANTING. REFER TO DETAIL.
- SEED ALL AREAS NOT PAVED, PLANTED OR SPECIFIED OTHERWISE WITH LAWN SEED.

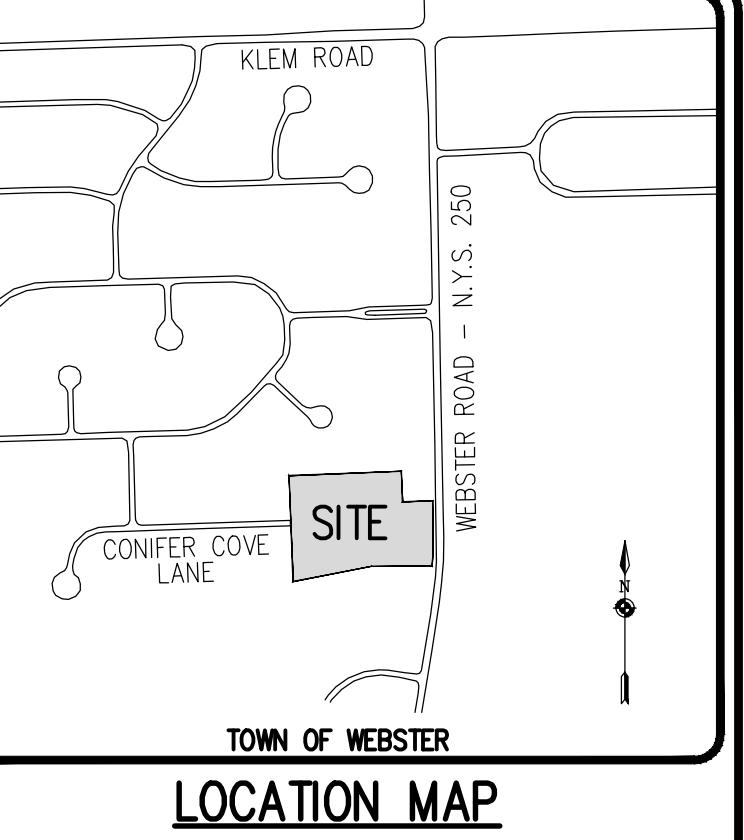
LAWN SEED MIXTURE SHALL BE PROVIDED AS FOLLOWS:  
 % BY WEIGHT % BY PURITY % GERM

'REPEL'	'STATION'	'MORNING STAR'
PERENNIAL RYE GRASS	40	85
'JAMESTOWN II', 'FORTRESS', 'ENSYLVA'	20	97
RED FESCUE		80
'BARON' & 'MIDNIGHT'	40	85
KENTUCKY BLUEGRASS		80

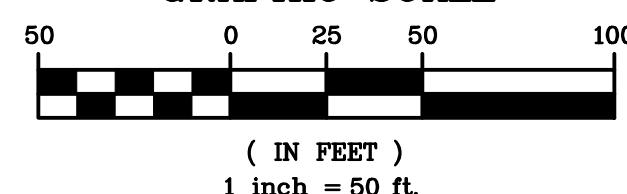
SEEDING RATE: 6.0 LBS PER 1,000 SF.  
 MULCH: 3" MULCH AT TWO TONS PER ACRE, OR WOOD FIBER MULCH  
 USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TACKIFIER.  
 STARTING FERTILIZER: 5:10:10 AT 20 LBS PER 1,000 SF.

PLEASE REFER TO BME DRAWING # 2910-05 / EROSION CONTROL PLAN FOR FURTHER SEEDING REQUIREMENTS IE.: TEMPORARY SEEDING AND SPECIALIZED SEED MIXES.

- PROPOSED PLANT MATERIALS SHALL BE FIELD LOCATED, AND THE CONTRACTOR SHALL PERFORM A ROUGH STAKEOUT OF PLANTINGS FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF PLANT MATERIALS AND SEDED AREAS UNTIL FINAL ACCEPTANCE.
- A MINIMUM 1 YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM DATE OF FINAL ACCEPTANCE.
- INDIVIDUAL LOT LANDSCAPING SHALL BE PROVIDED AT THE DISCRETION OF LOT OWNERS.



## GRAPHIC SCALE



**BME ASSOCIATES**  
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
 10 LIFT BRIDGE LANE EAST  
 FAIRPORT, NEW YORK 14450



**PHelps & Gorham Purchase, Township 14, Range 4, Town Lot 3, Tax Map Number 065.18-1-27**  
**BIRDSONG AT CONIFER COVE**

TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE  
 GROVE INN HILL PROPERTIES, LLC  
 56 CLAYWOOD COURT  
 ROCHESTER, NY 14620

**LANDSCAPE PLAN**  
 PROJECT: \_\_\_\_\_ DATE: \_\_\_\_\_  
 LOCATION: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CLIENT: \_\_\_\_\_ DATE: \_\_\_\_\_  
 PROJECT MANAGER: \_\_\_\_\_ DATE: \_\_\_\_\_  
 PG VARS: \_\_\_\_\_ PROJECT ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_  
 FA SHELLY: \_\_\_\_\_ DRAWN BY: \_\_\_\_\_  
 JR SQUIER: \_\_\_\_\_ DATE: \_\_\_\_\_  
 SCALE: \_\_\_\_\_ DATE ISSUED: \_\_\_\_\_  
 1' = 50' MAY 14, 2024  
 PROJECT NO.: \_\_\_\_\_  
 DRAWING NO.: 2910  
 DRAWING TITLE: \_\_\_\_\_

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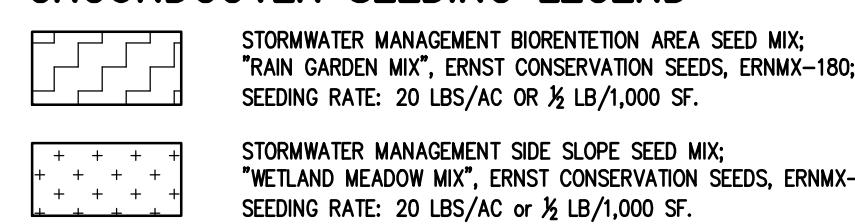
**APPROVALS**

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
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 TOWN DIRECTOR OF COMMUNITY DEVELOPMENT  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 TOWN ASSESSOR  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 FIRE MARSHAL  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 PLANNING BOARD CHAIRMAN  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 WEBSTER SEWER DISTRICT  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 HIGHWAY SUPERINTENDENT

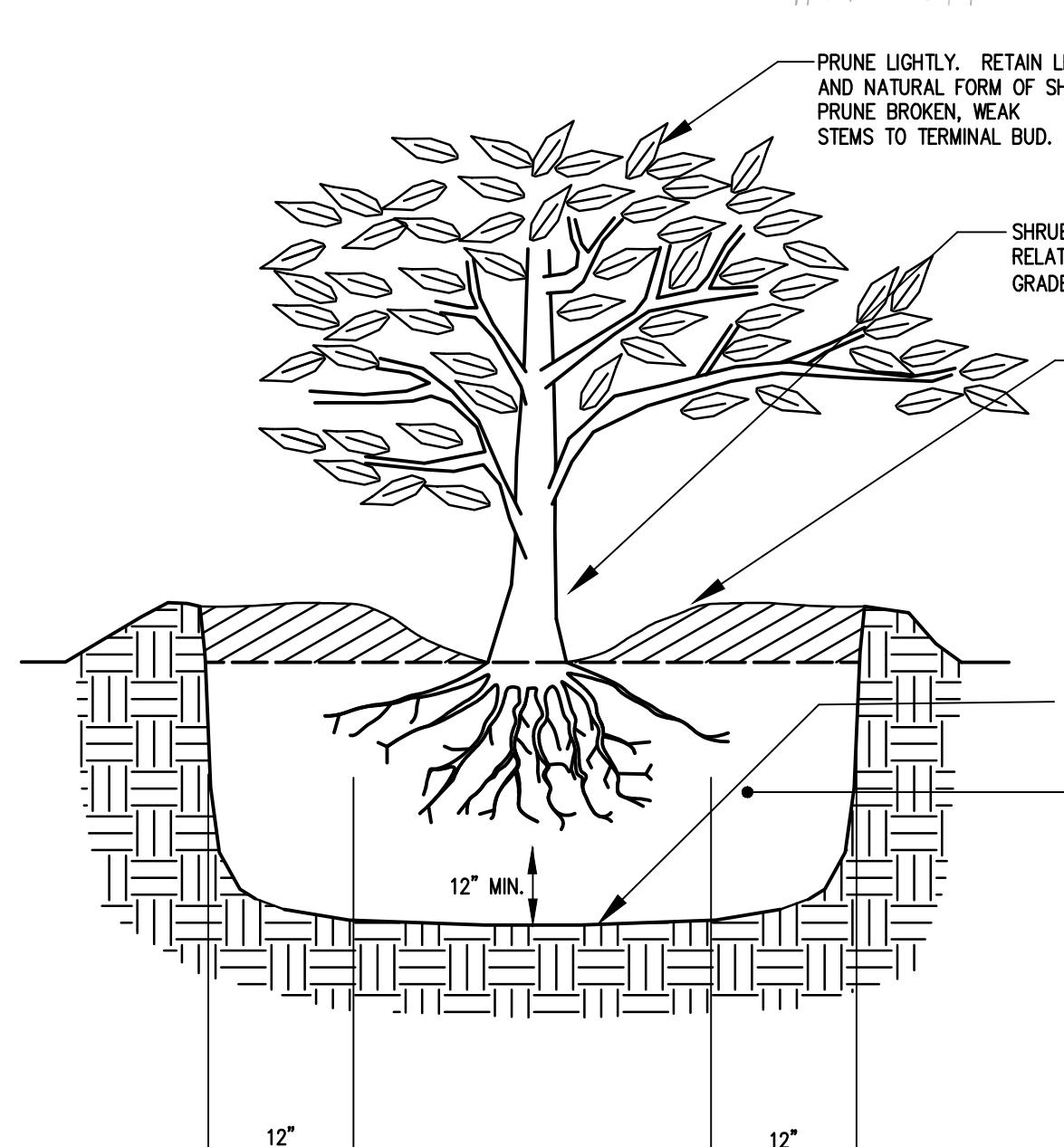
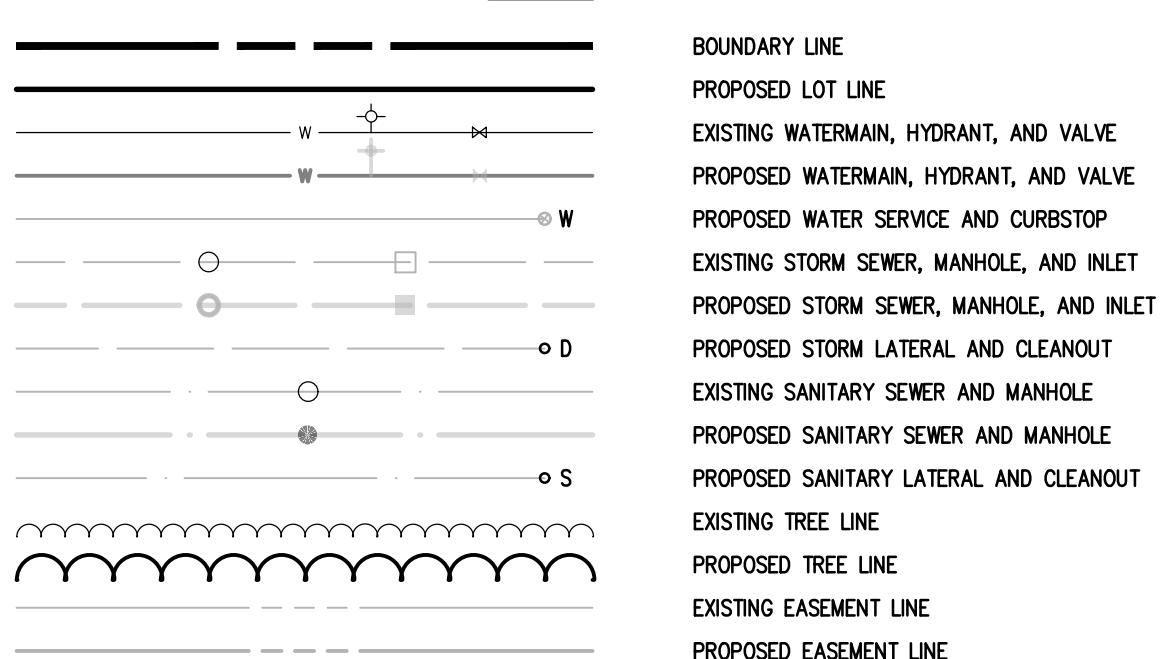
**2910**  
 DRAWING NO.  
 07

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
1	AS	Acer saccharum	Sugar Maple	2"-2.5 cal	B&B	
14	PG	Picea glauca 'Densata'	Black Hills Spruce	2"-2.5 cal	B&B	
12	PS	Pinus strobus	White Pine	2"-2.5 cal	B&B	
2	QB	Quercus bicolor	Swamp White Oak	2"-2.5 cal	B&B	
2	QR	Quercus rubra	Red Oak	2"-2.5 cal	B&B	
6	CR	Cornus racemosa	Gray Dogwood	18"	BARE	
6	HV	Hamamelis virginiana	Witch Hazel	18"	BARE	
6	IV	Ilex verticillata	Winterberry	18"	BARE	

## GROUNDCOVER SEEDING LEGEND

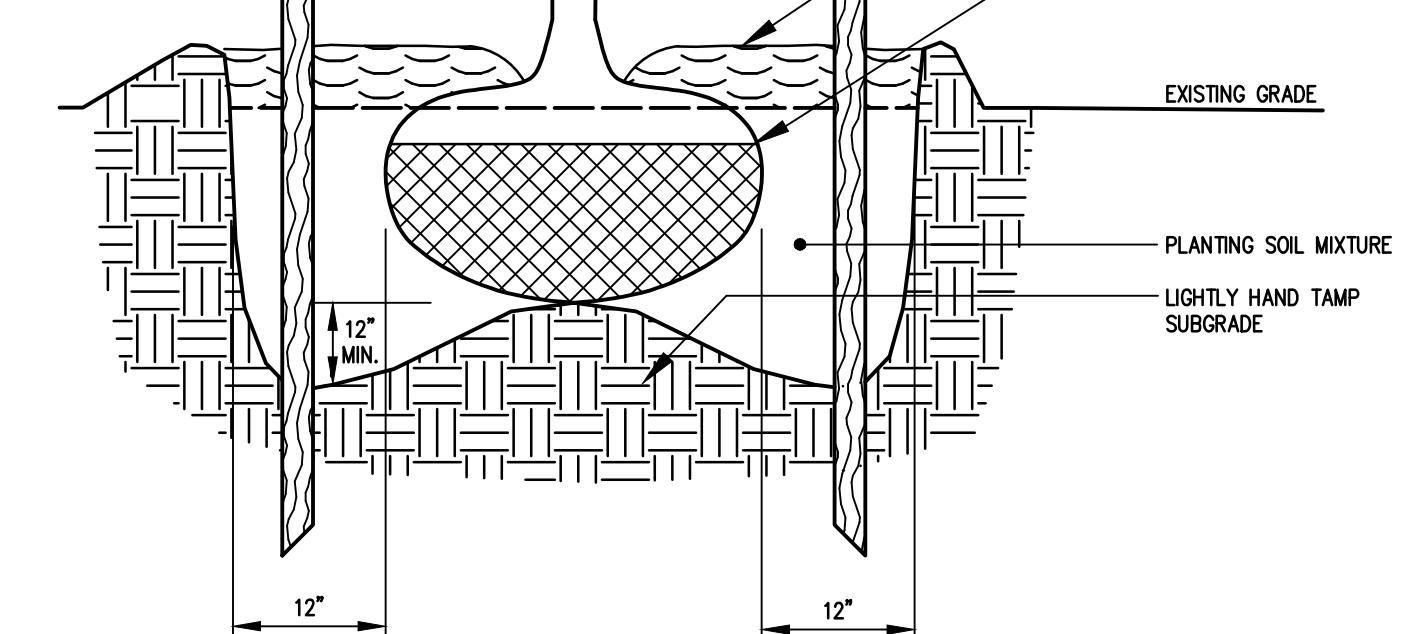


## LEGEND



## BARE ROOT SHRUB PLANTING DETAIL

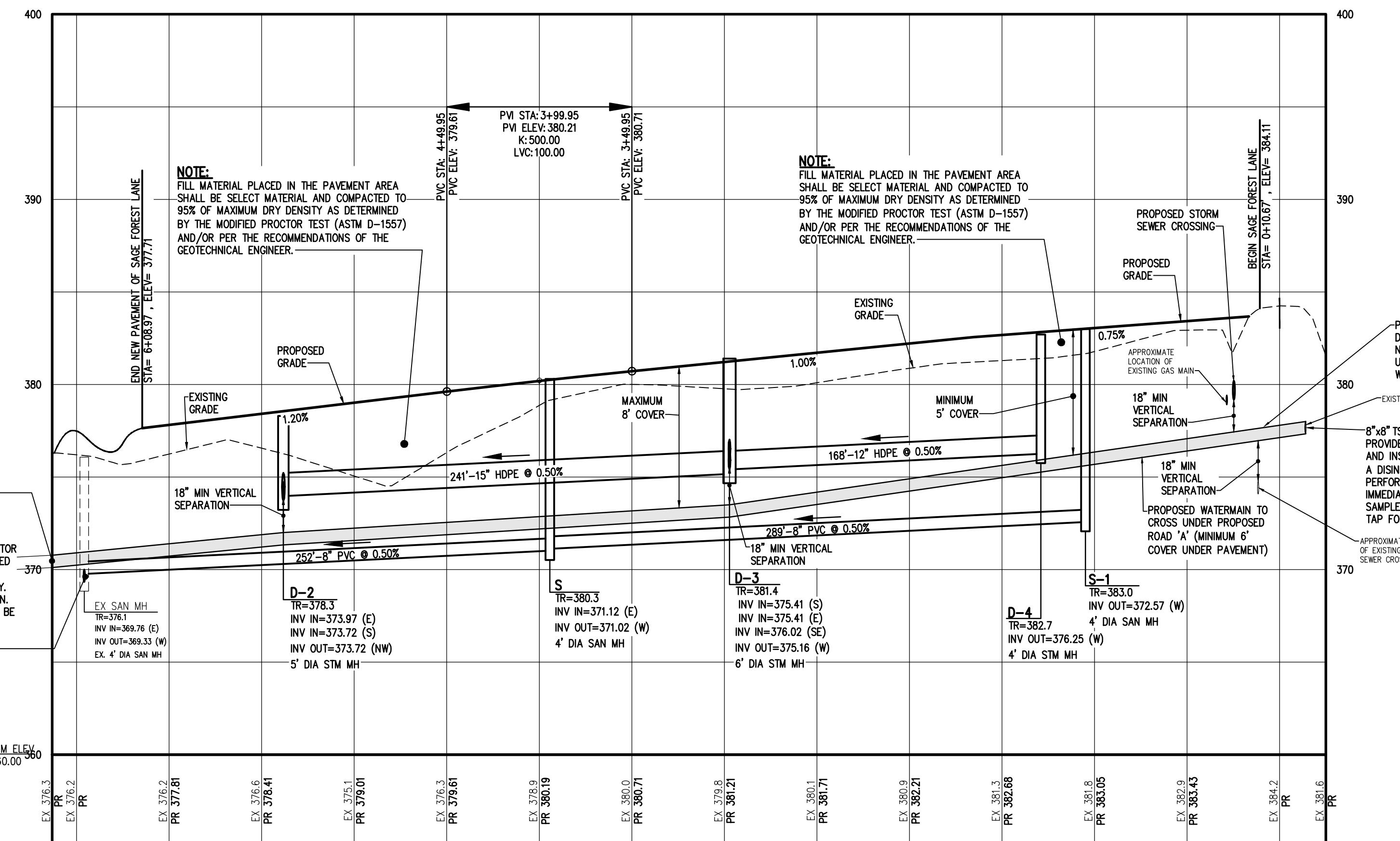
N.T.S.



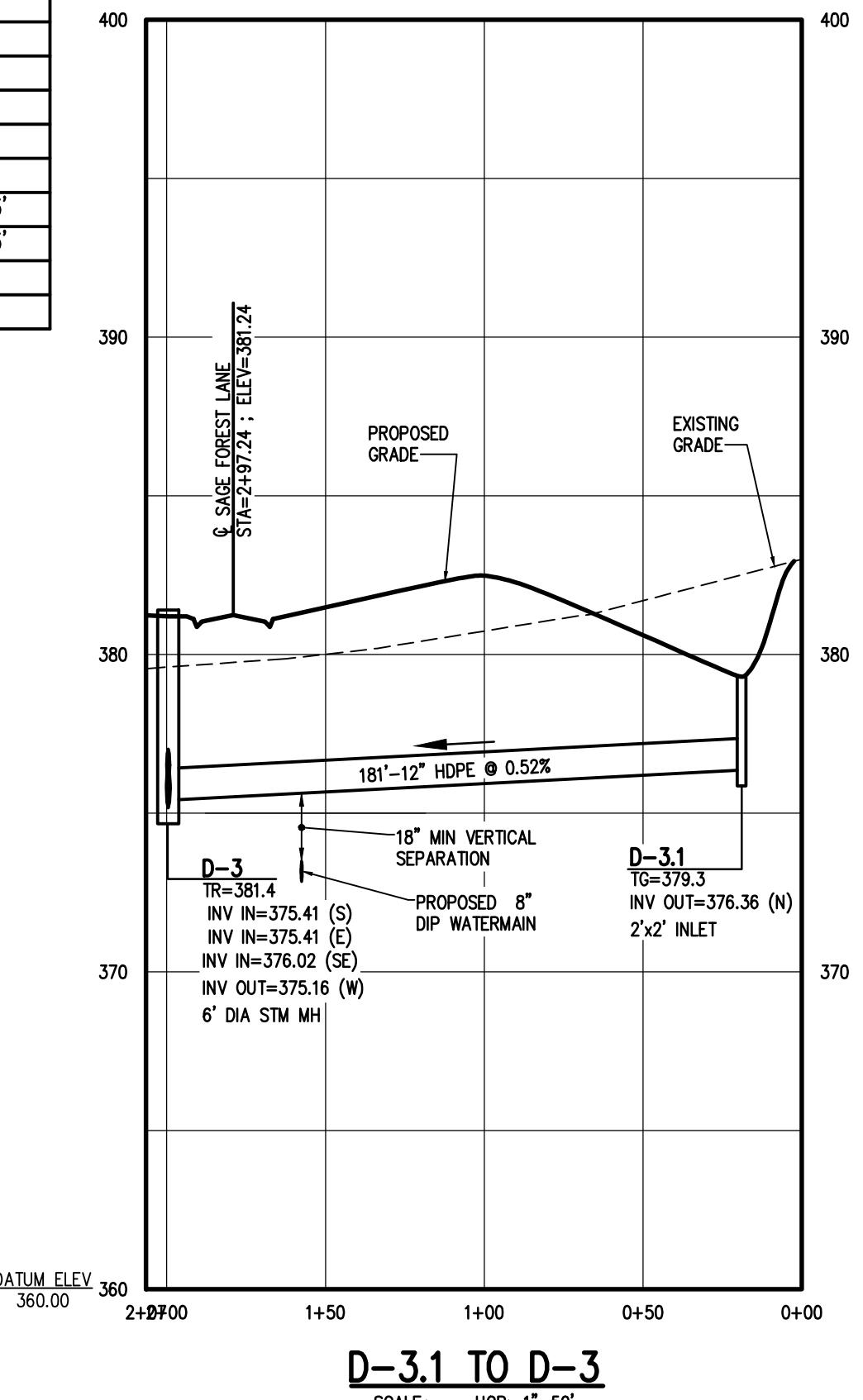
## TREE PLANTING DETAIL

N.T.S.

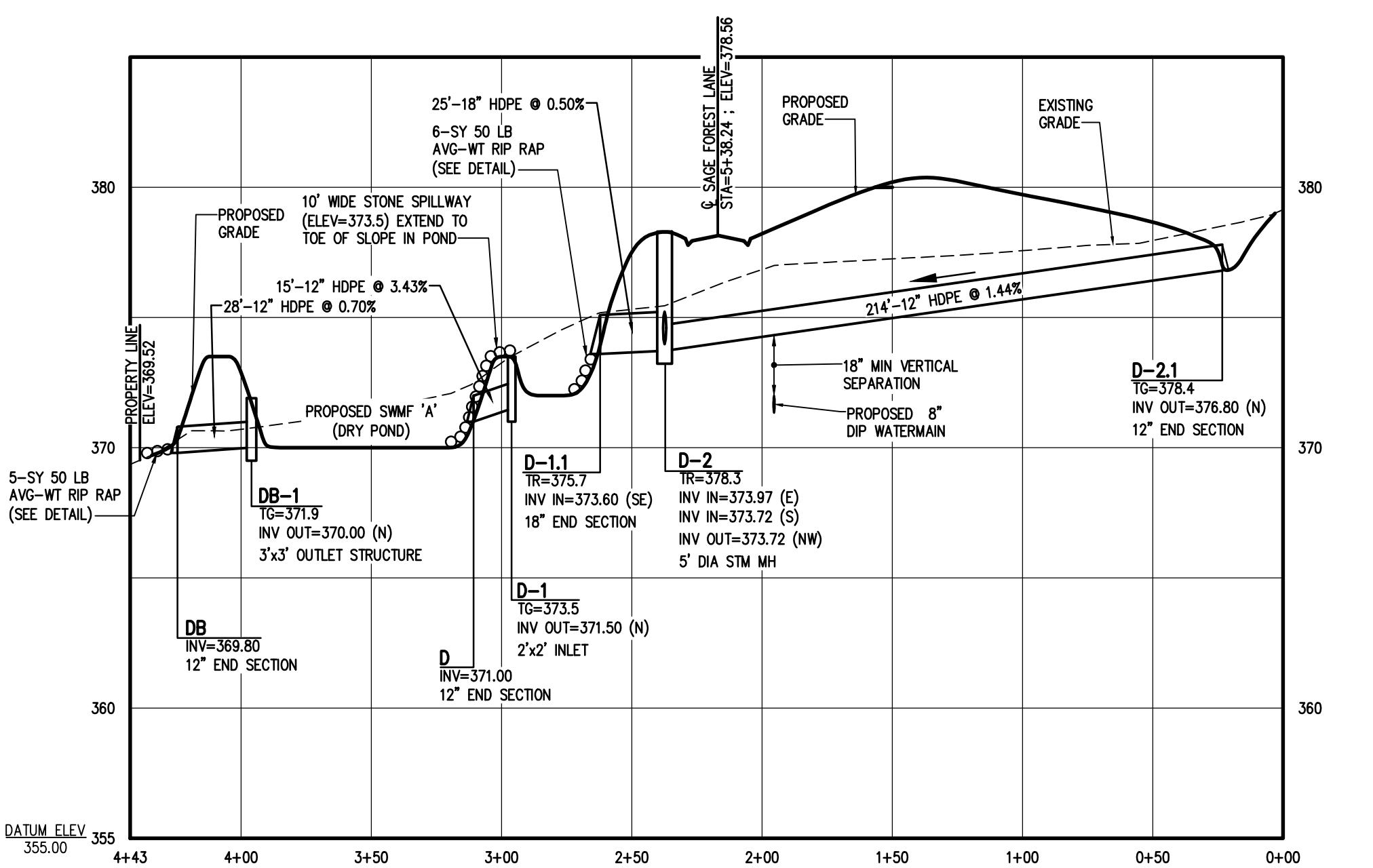
APPROVALS



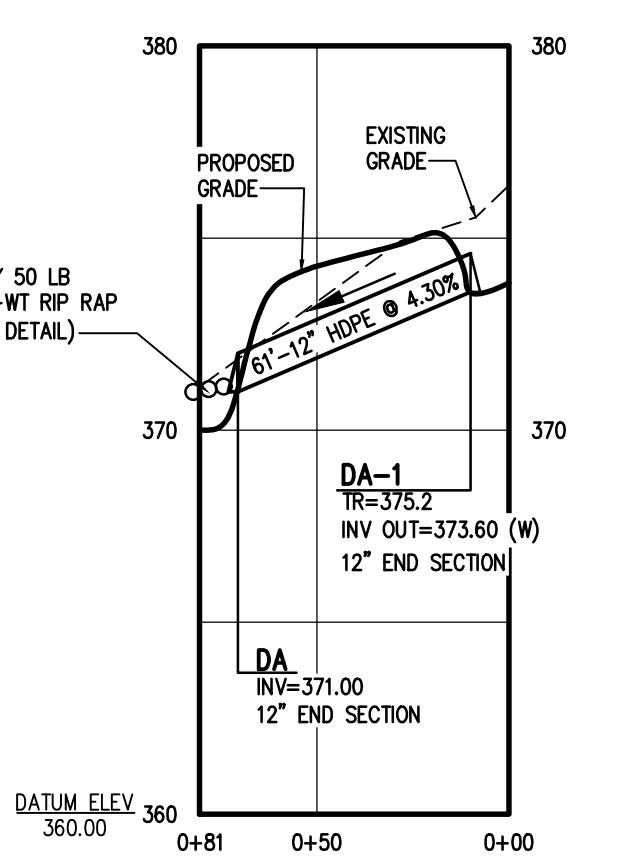
SAGE FOREST LANE COMPACTION SCHEDULE			
STATION	CENTERLINE	OFFSET	TEST DEPTH
1+00	5' RIGHT	5' LEFT	1'
1+50	5' RIGHT	5' LEFT	1'
2+00	5' RIGHT	5' LEFT	1'
2+50	5' RIGHT	5' LEFT	1'
3+00	5' RIGHT	5' LEFT	1'
4+00	5' RIGHT	5' LEFT	1'
4+50	5' RIGHT	5' LEFT	1', 2', 3'
5+00	5' RIGHT	5' LEFT	1', 2', 3'
5+50	5' RIGHT	5' LEFT	1'
6+00	5' RIGHT	5' LEFT	1'



.1 TO D-3



**D-2.1 TO D, POND, AND DB-1 TO DB**



**DA-1 TO DA**

NOT APPROVED  
plan has not received final  
oval of all reviewing agencies.  
plan is subject to revisions  
all approvals are obtained and  
ld not be used for construction

BIRDSONG AT CONIFFER

1000  
WATER, MONROE COUNTY, NEW YORK  
WE UNDERHILL PROPERTIES, LLC  
56 CLINTWOOD COURT  
ROCHESTER, NY 14620

AI S

Y: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE:

OWN DIRECTOR OF COMMUNITY DEVELOPMENT  
X: \_\_\_\_\_ DATE: \_\_\_\_\_

OWN ASSESSOR

RE MARSHAL

Y: \_\_\_\_\_ DATE: \_\_\_\_\_  
**PLANNING BOARD CHAIRMAN**

: **DATE:** \_\_\_\_\_

Y: \_\_\_\_\_ DATE: \_\_\_\_\_  
CHIMAY, SUPERINTENDENT

2910

08

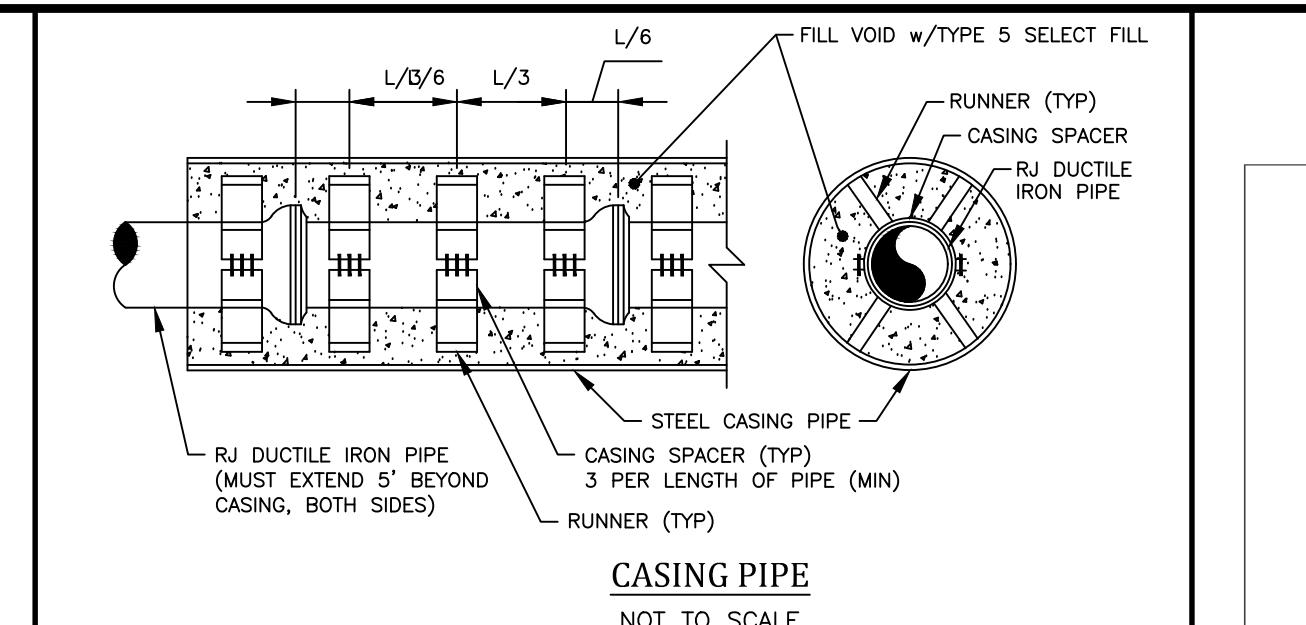
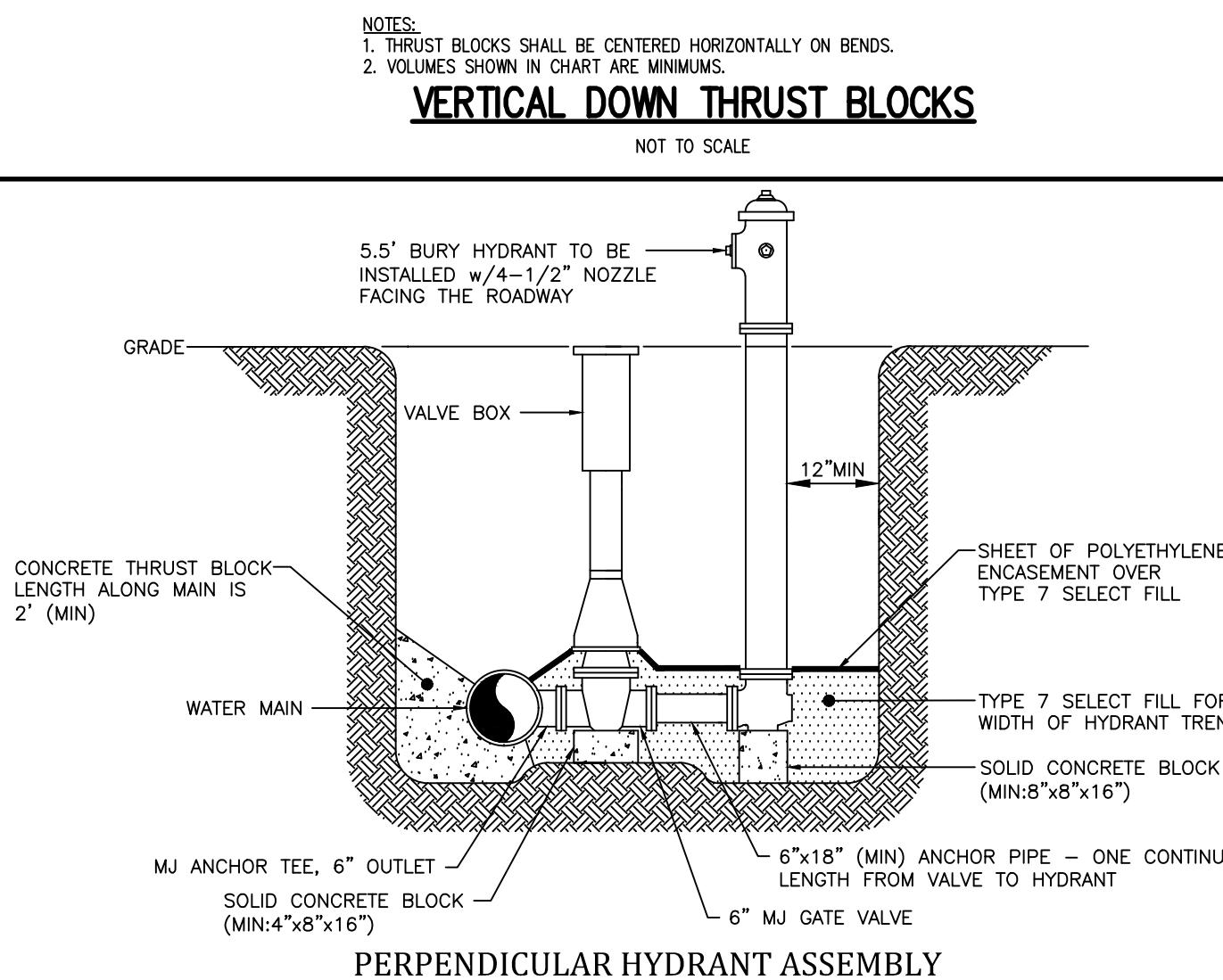
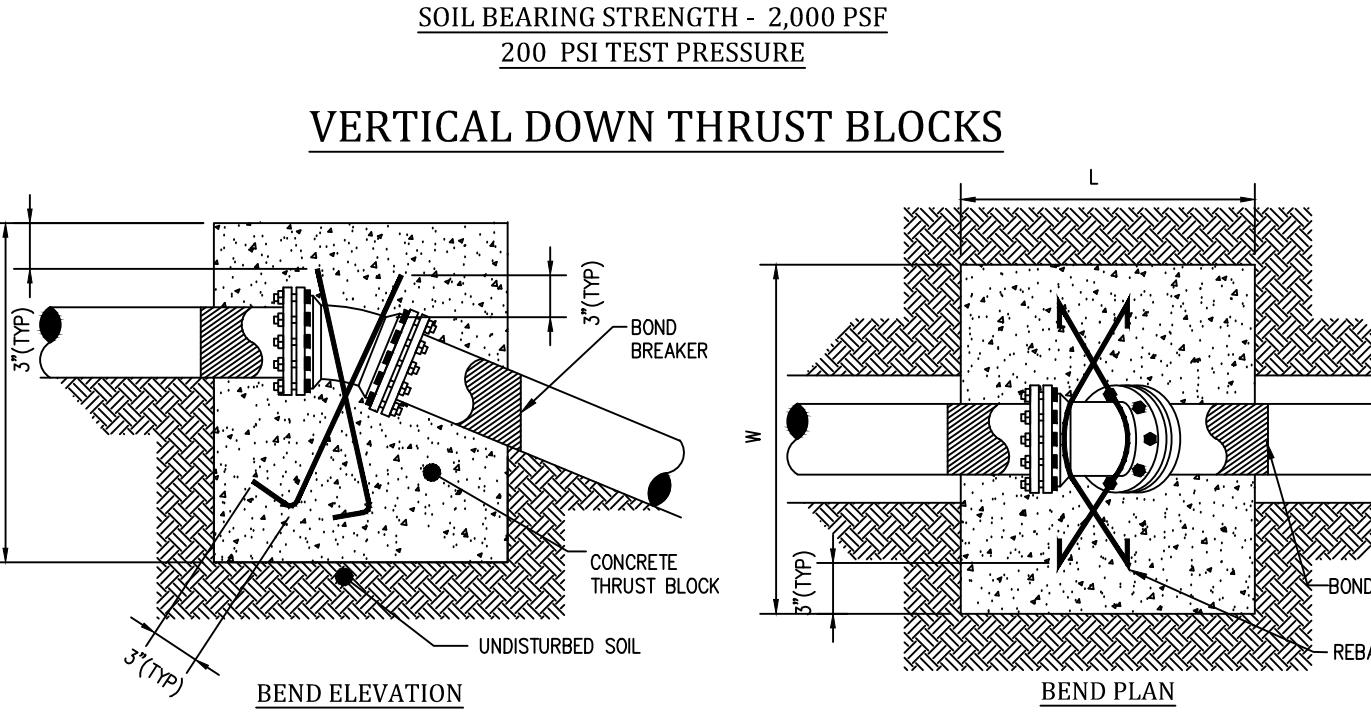
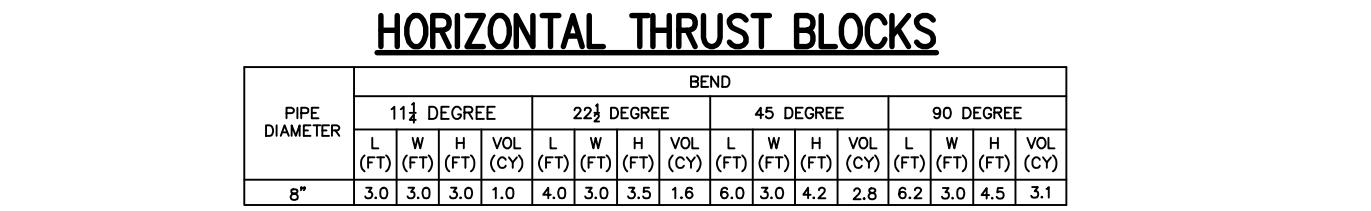
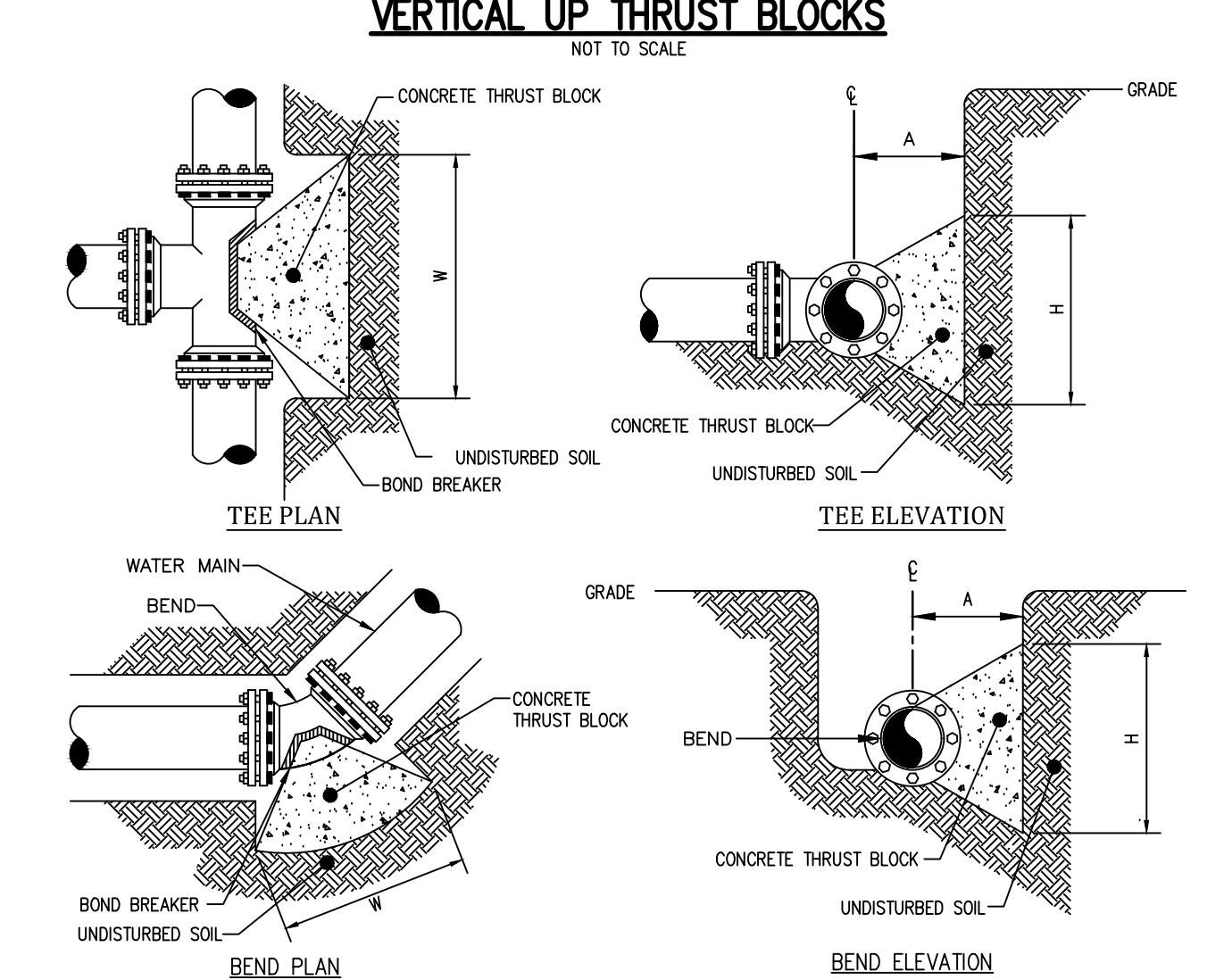
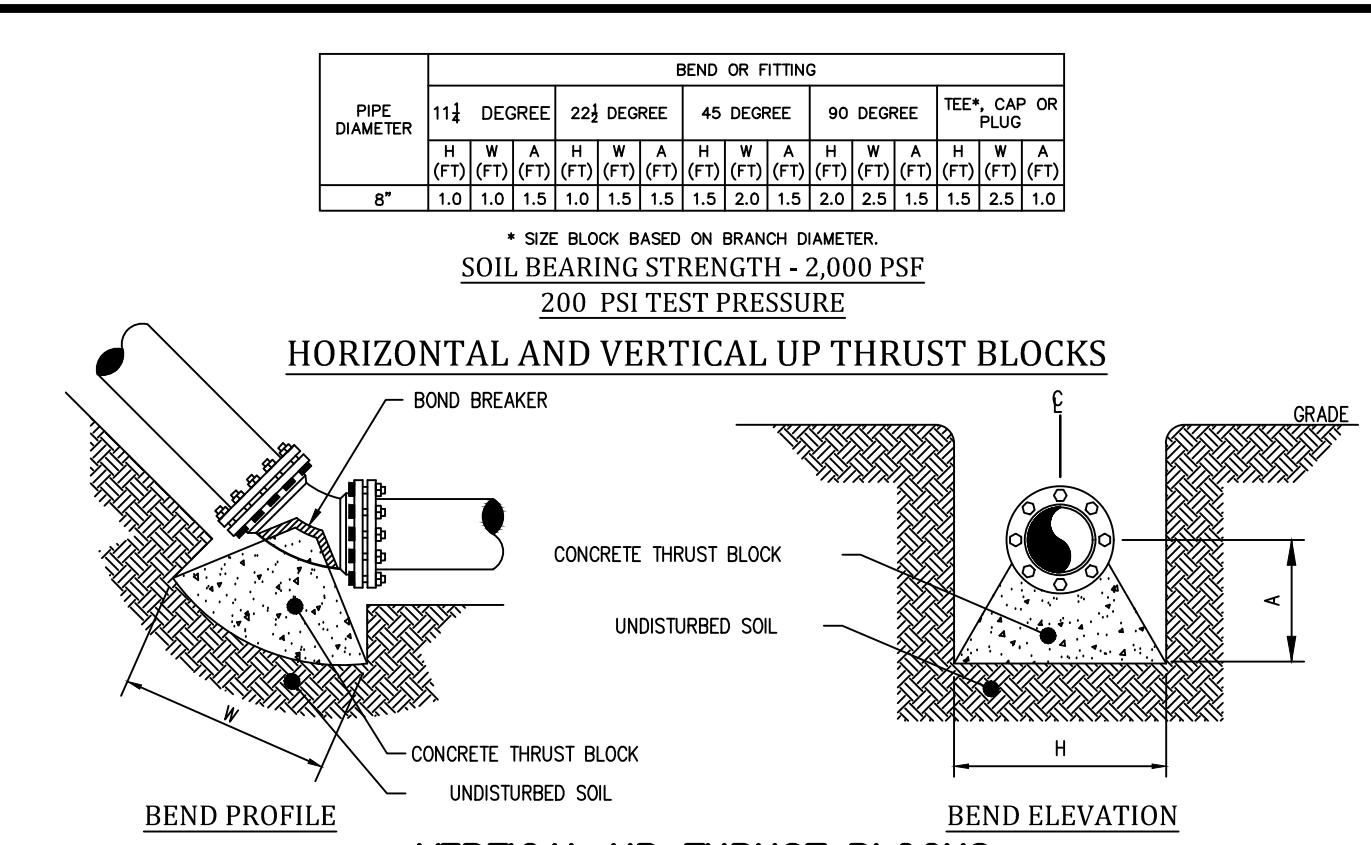
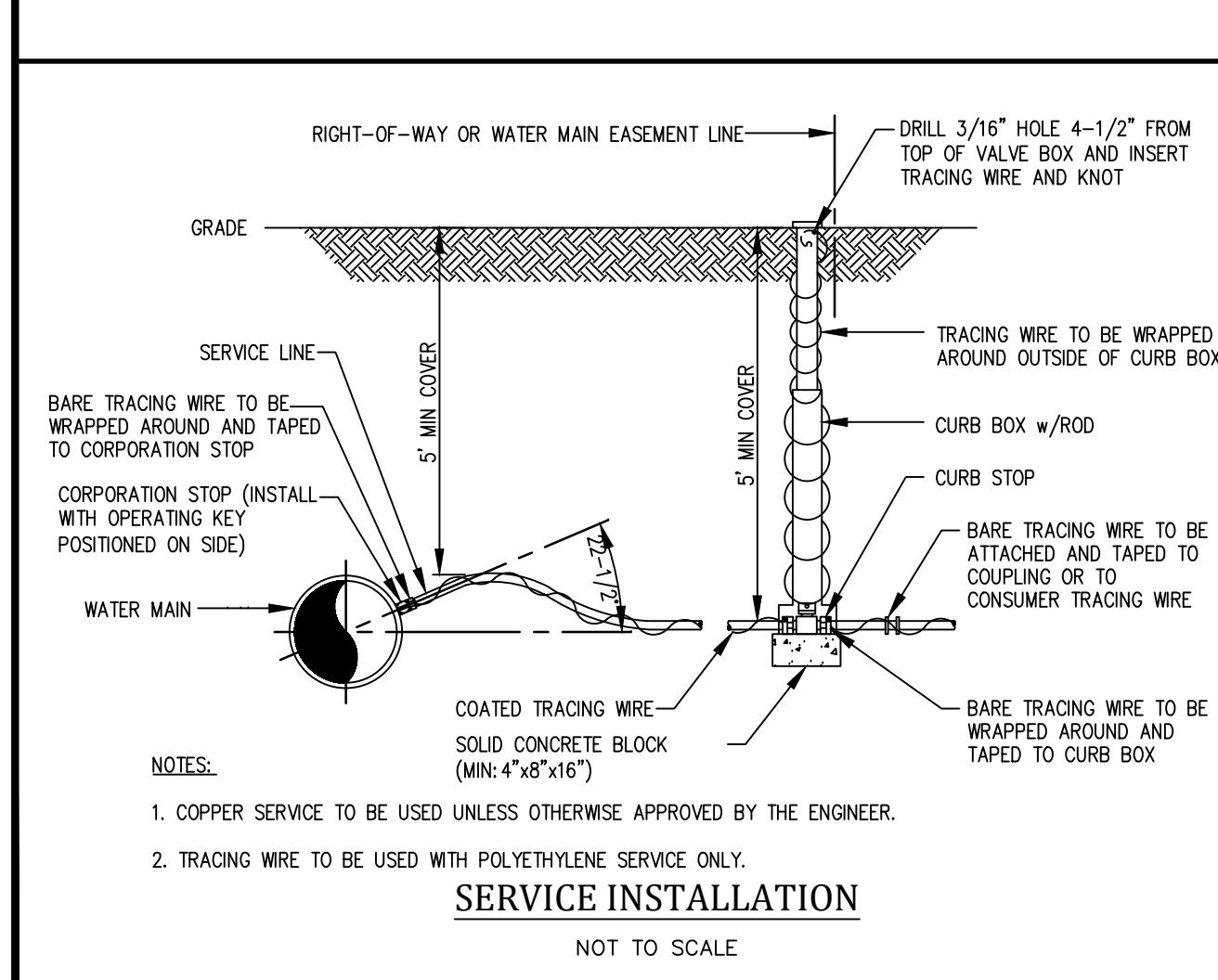
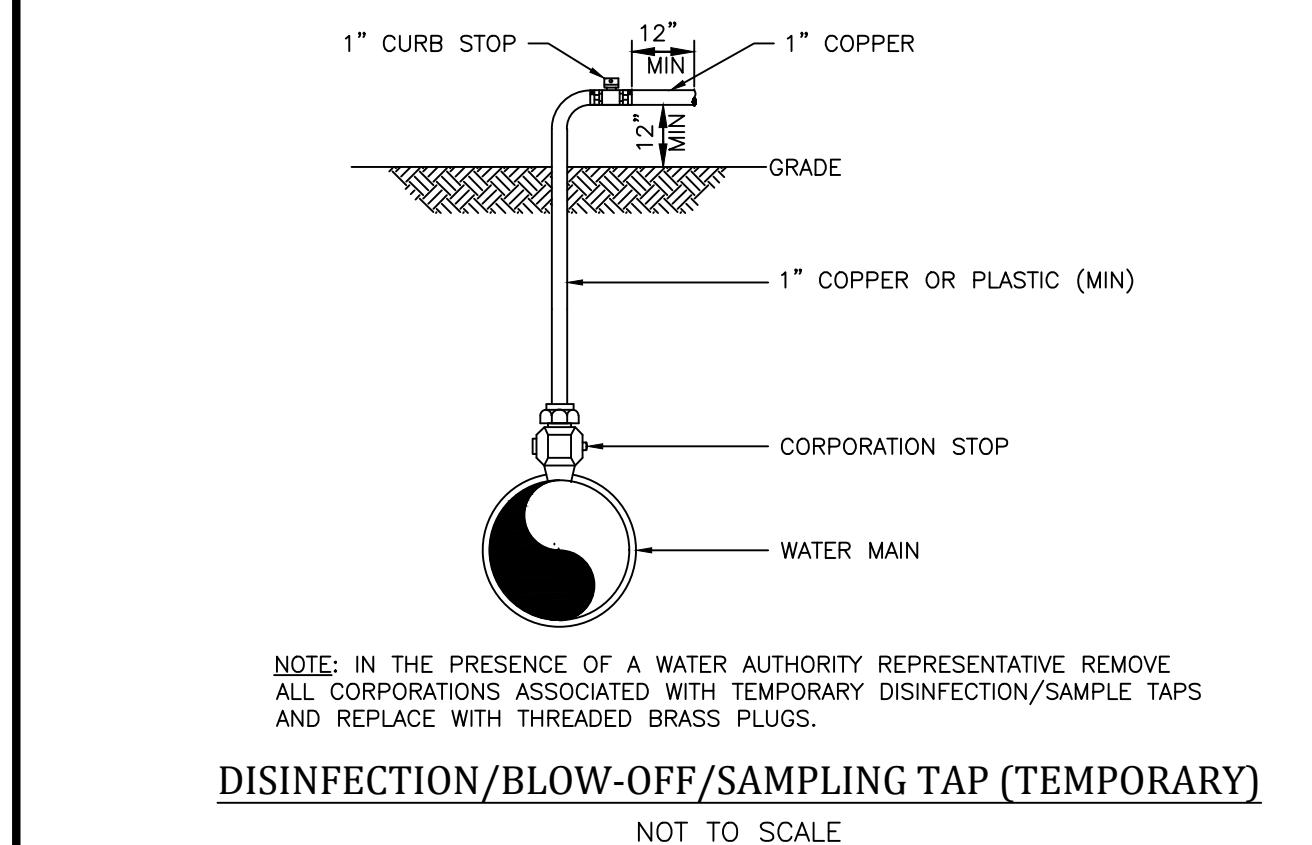
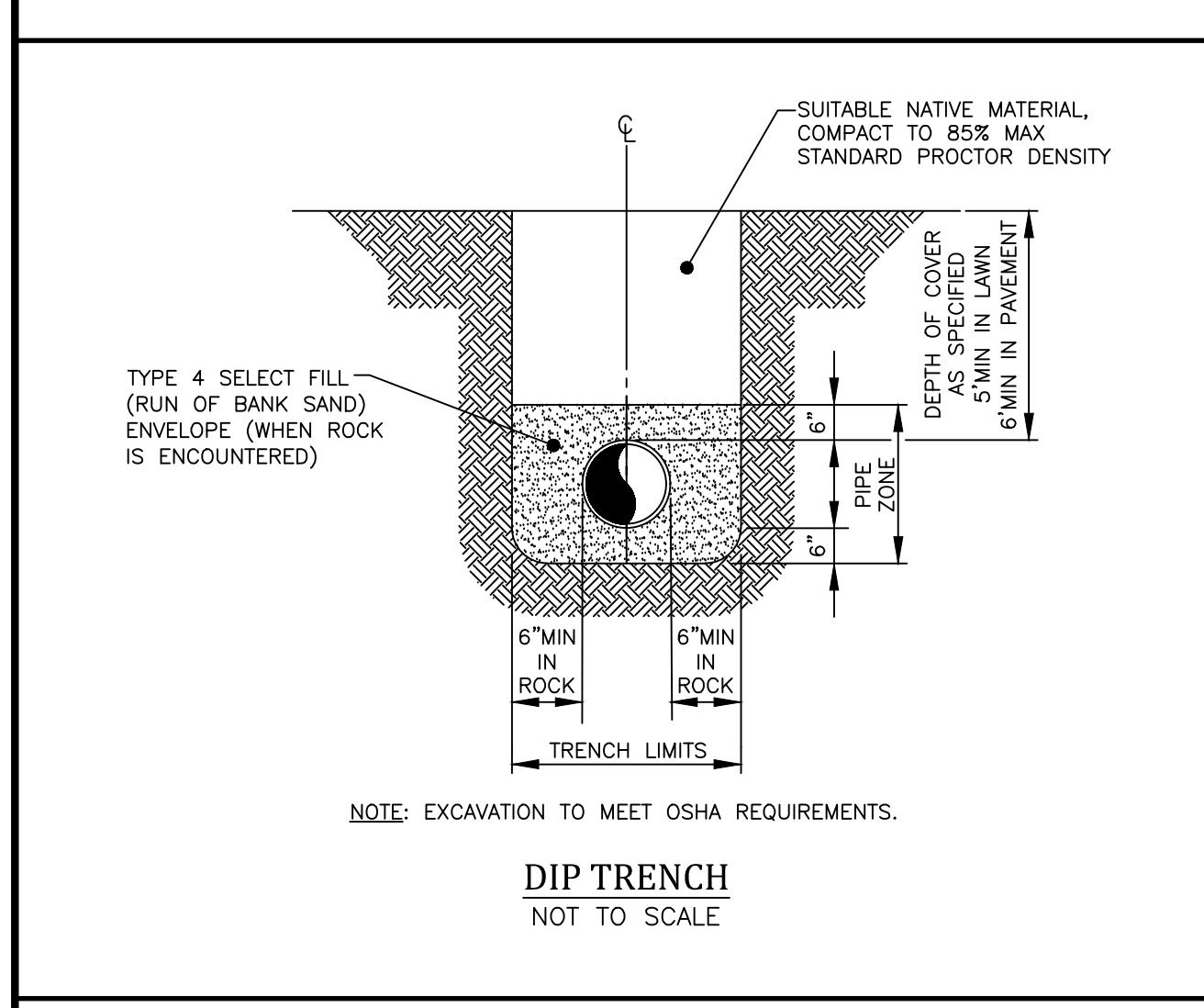
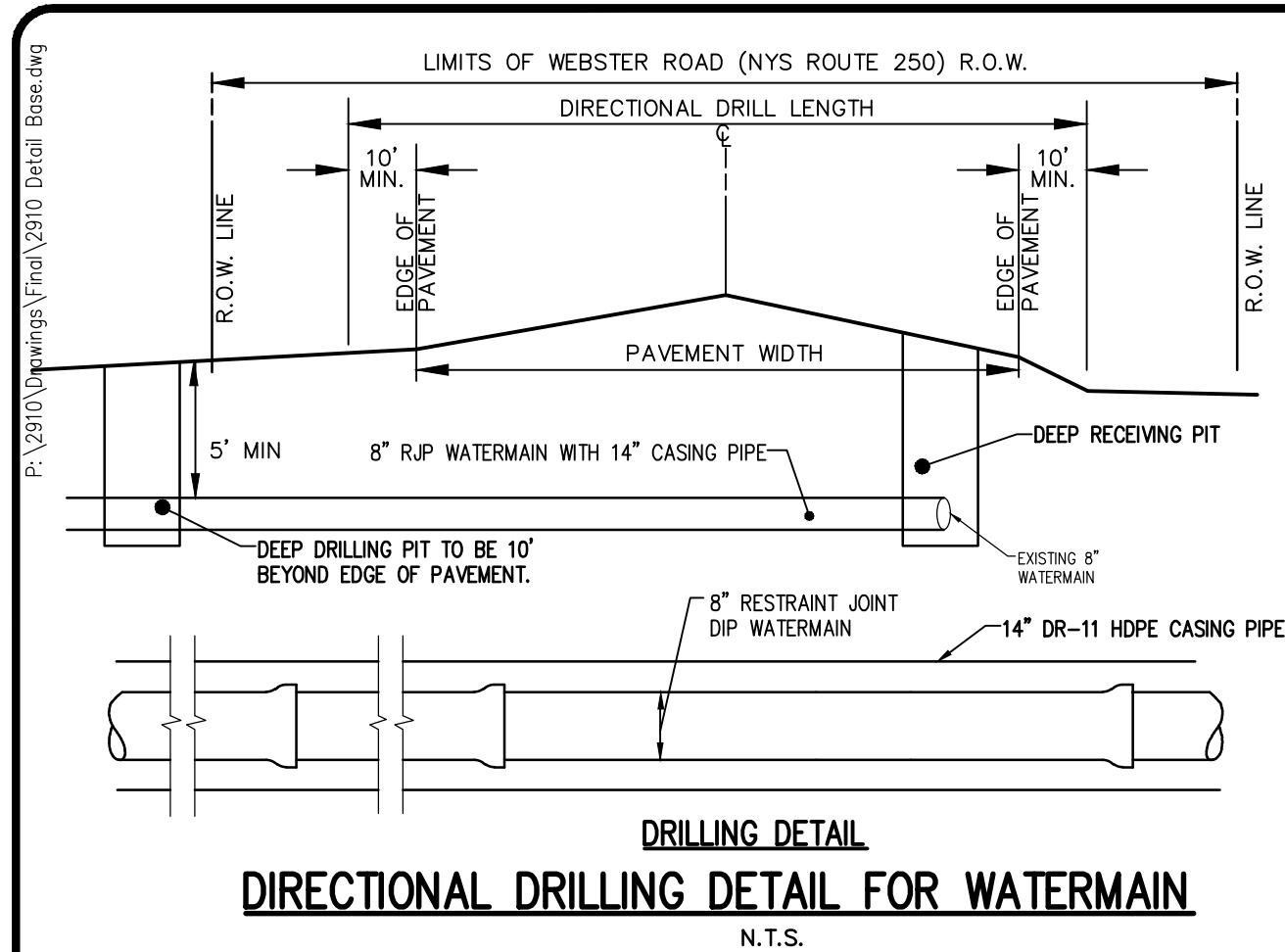
10/22/24 AND REVISIONS	7/16/24 AND REVISIONS
REvised Layout per Town & Agency Comments	REvised Layout per Town & Agency Comments
DATE	DATE

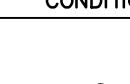
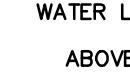
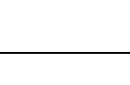
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**BIRDSONG AT CONIFER COVE**  
TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE  
GROVE INN HILL PROPERTIES, LLC  
56 CLAYWOOD COURT  
ROCHESTER, NY 14620  
PRELIMINARY/FINAL  
DETAIL SHEET

PROJECT	LOCATION	DATE:
CLIENT		
PROJECT MANAGER		
PROJECT ENGINEER		
FA SHELLEY		
DRAWN BY		
A. D'ANGELO		
SCALE	DATE ISSUED	
N.T.S.	MAY 14, 2024	
PROJECT NO.	2910	
DRAWING NO.	09	
(SHEET 1 OF 4)		



CONDITION	SCHEMATIC	REQUIREMENTS
I WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) BACKFILL WITH COMPACTED CRUSHER RUN STONE.
II WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) WHEN BOTH WATER LINE AND SEWER LINE ARE EXISTING, SLEEVE SEWER LINE WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. WHEN ONE LINE IS EXISTING, SLEEVE PIPE BEING INSTALLED WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. C) BACKFILL WITH COMPACTED CRUSHER RUN STONE.
III SEWER LINE ABOVE WATER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) SLEEVE SEWER LINE WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. C) PROVIDE CRADLE OF CONCRETE OR CRUSHER RUN STONE (SEE TRENCH DETAIL BELOW) FOR WATER LINE AND SEWER LINE FOR 10 FT. EACH SIDE OF CROSSING.
NOTES		<p>WL (WATER LINE) SL (SEWER LINE) D (OUTSIDE DIAMETER OF PIPE)</p> <p>IN NO CASE SHALL PIPES BE CLOSER THAN 1/4" APART, DIA. MEASURED BETWEEN OUTSIDES OF PIPE.</p> <p>CAREFULLY TAMPED BACKFILL CRADLE OF CONCRETE OR CRUSHER RUN STONE 1/4 D (4" MINIMUM)</p>

