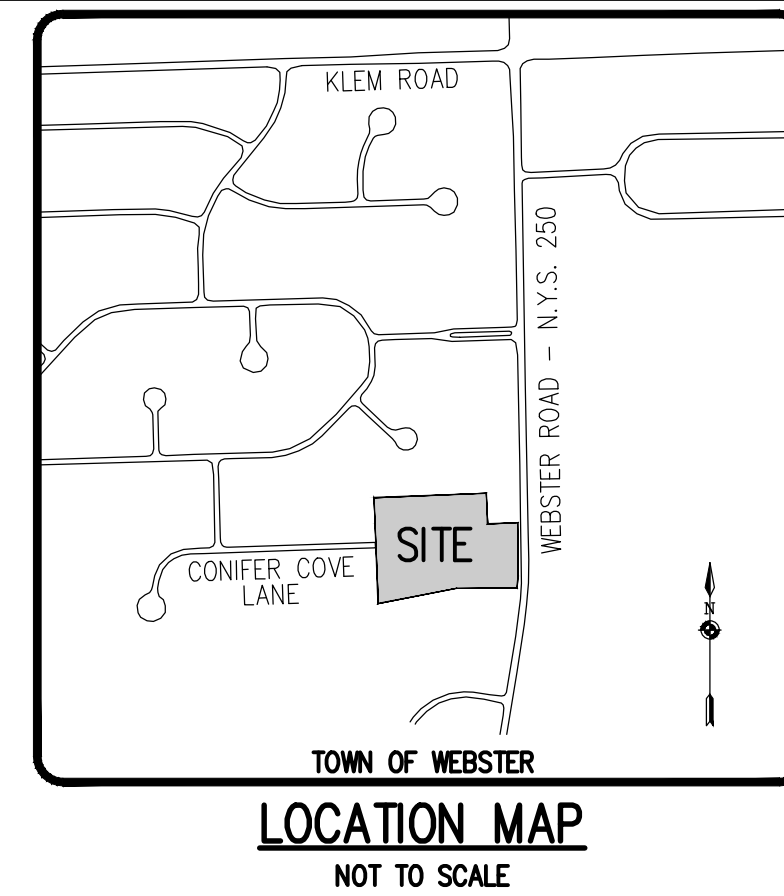
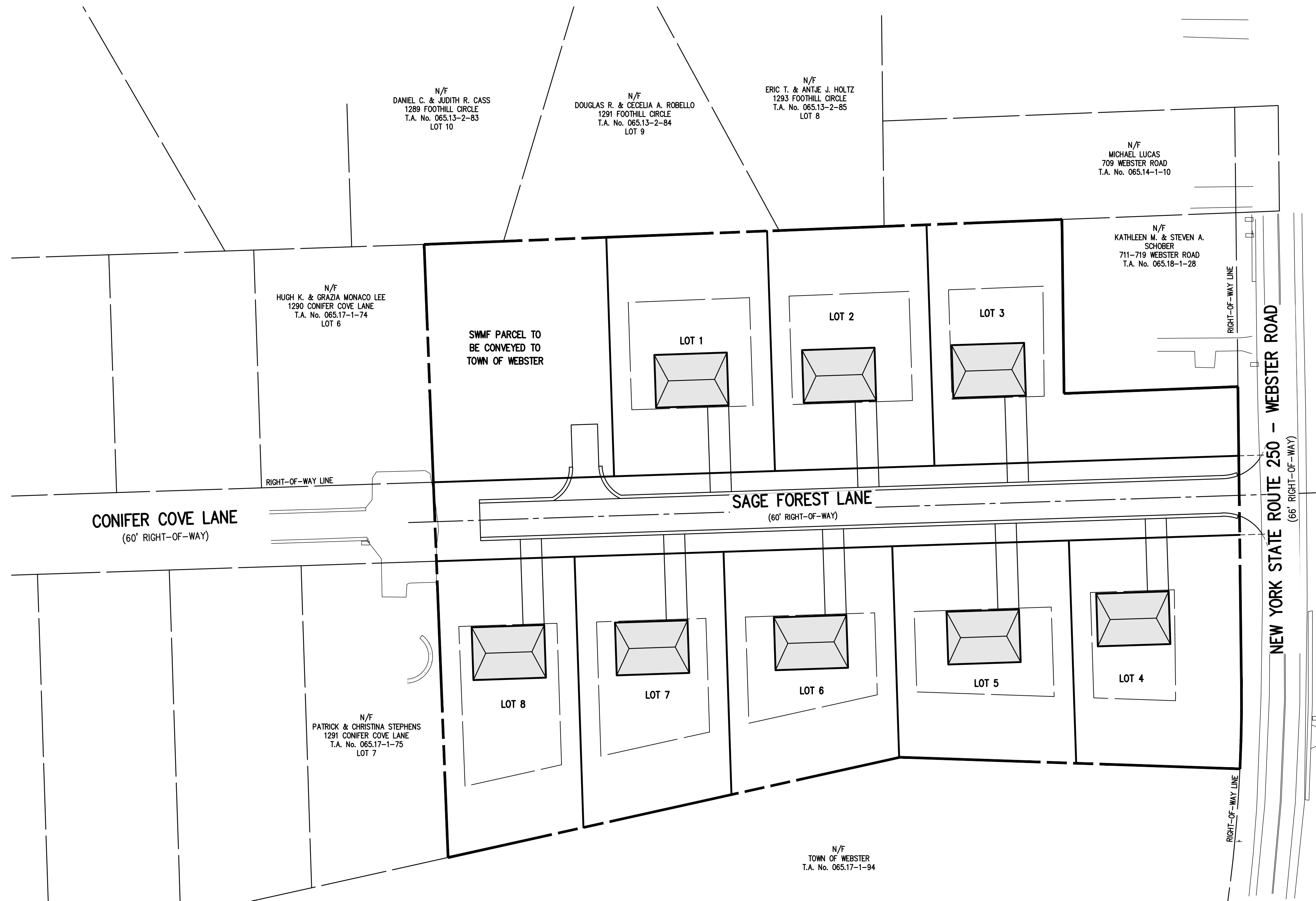


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PRELIMINARY/FINAL
SUBDIVISION AND SITE PLANS
BIRDSONG AT CONIFER COVE

DWG No.	
2910-01	COVER SHEET
2910-02	SUBDIVISION PLAT
2910-03	UTILITY PLAN
2910-04	GRADING PLAN
2910-05	CONSTRUCTION EROSION CONTROL PLAN
2910-06	LATERAL PLAN
2910-07	LANDSCAPE PLAN
2910-08	PROFILE SHEET
2910-09	DETAIL SHEET (1 OF 4)
2910-10	DETAIL SHEET (2 OF 4)
2910-11	DETAIL SHEET (3 OF 4)
2910-12	DETAIL SHEET (4 OF 4)

BIRDSONG AT CONIFER COVE

PRELIMINARY/FINAL SUBDIVISION AND SITE PLANS

TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE

PREPARED FOR:
GROVE UNDERHILL PROPERTIES, LLC

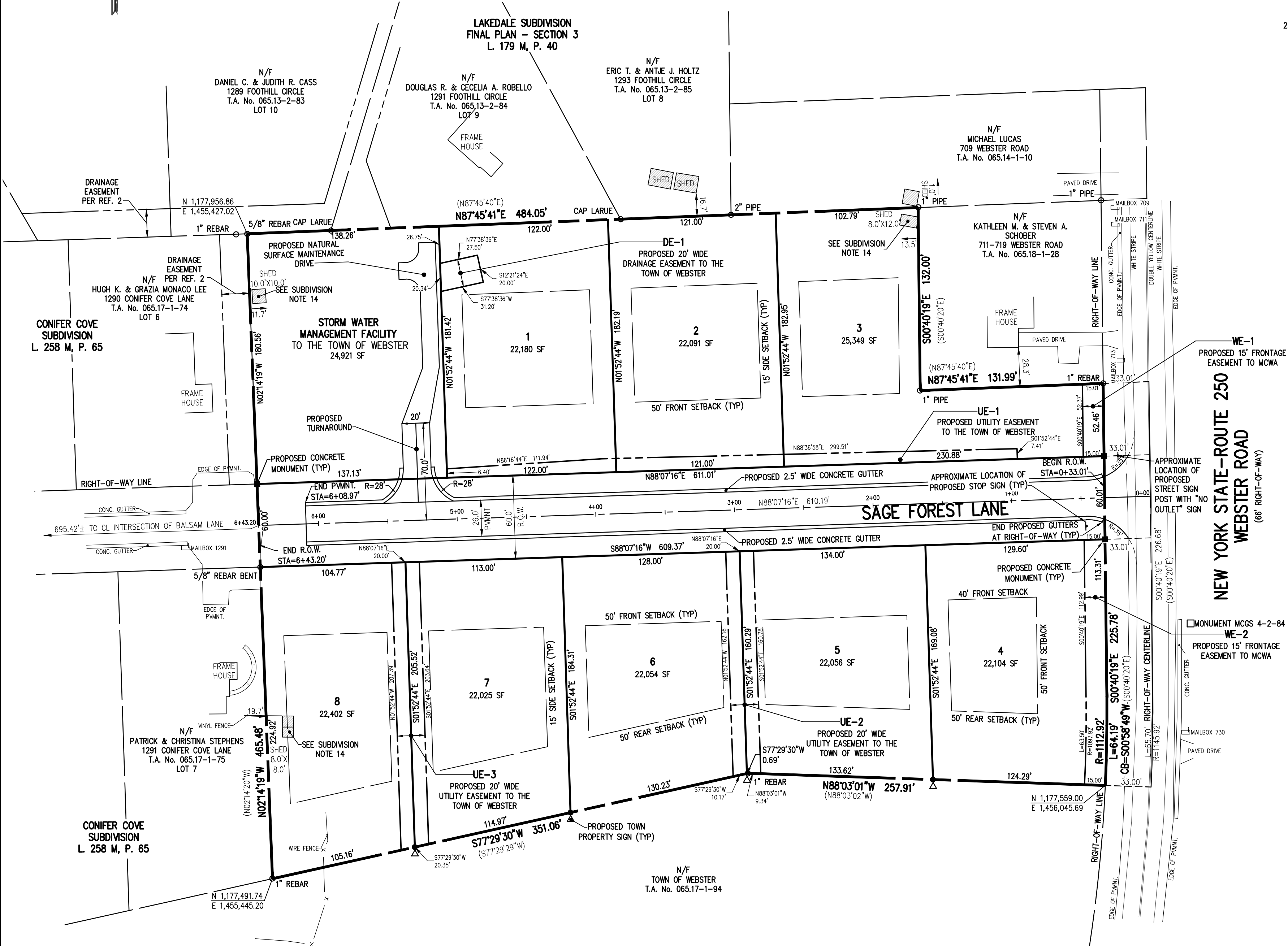
56 CLINTWOOD COURT
ROCHESTER, NY 14620

SCALE: 1" = 50'

DRAWING NUMBER: 2910-01
DATED: MAY 14, 2024
LAST REVISED: OCTOBER 22, 2024

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ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPC.COM
585-377-7360



REFERENCES:

- A PLAN ENTITLED "LAKEDALE SUBDIVISION, FINAL PLAN - SECTION 3," DATED OCTOBER 15, 1968, AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 179 OF MAPS, PAGE 40.
- A PLAN ENTITLED "FINAL PLAN-BOUNDARY CONIFER COVE SUBDIVISION," DATED MARCH 10 1989, AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 258 OF MAPS, PAGE 65.
- A PLAN ENTITLED "AN INSTRUMENT SURVEY OF LANDS TO BE CONVEYED BY MARGARET H. BORGLUM," BY R. RONALD KREILING, DATED JANUARY 16, 1989, HAVING DWG No. 89-2560-4.
- AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

SURVEY NOTES:

- THE PROJECT BOUNDARY SURVEY WAS MADE USING PROCEDURES NECESSARY TO ACHIEVE A HORIZONTAL ACCURACY OF 1 PART IN 20,000 (1:20,000) OR BETTER PROPORTIONAL ACCURACY AND A NETWORK POSITIONAL ACCURACY AT 95% CONFIDENCE LEVEL NOT EXCEEDING 0.05 FEET.
- THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM OF 1983, WESTERN ZONE, TRANSVERSE MERCATOR PROJECTION, NAD 83 (2011) UTILIZING GLOBAL POSITIONING SYSTEM (GPS) (OR) GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) OBSERVATIONS FROM NYSOD REFERENCE NETWORK CORRS STATION (NYPF 0032). RECORD BEARINGS AND DISTANCES THAT DIFFER FROM REFERENCE 3 ARE SHOWN IN PARENTHESES.

MONUMENTATION:	PUBLISHED NAD '27:	MEASURED NAD '83:
4-2-84 (NYSDOT)	N= 1,177,635.83 E= 807,749.09	N= 1,177,675.80 E= 1,456,107.18
4-2-83 (NYSDOT)	N= 1,175,808.03 E= 807,485.98	N= 1,175,848.03 E= 1,455,844.12

BEARINGS SHOWN HEREON ARE GRID
 DISTANCES SHOWN HEREON ARE GRID
 COMBINED FACTOR = 1.000026

SUBDIVISION NOTES:

- PARCEL INFORMATION:
 OWNER: GROVE UNDERHILL, LLC
 T.A. No: 065.18-1-27
 CURRENT DEED: LIBER 11742 OF DEEDS, PAGE 140
- EXISTING ZONING: R-3: SINGLE FAMILY RESIDENTIAL DISTRICT
- TOTAL PROJECT AREA: ±5.55 ACRES
- PROPOSED USE: (8) SINGLE-FAMILY LOTS AND (1) SMMF PARCEL TO BE DEDICATED TO THE TOWN OF WEBSTER.

REQUIRED/PROVIDED

MINIMUM LOT AREA	22,000 S.F.
MINIMUM LOT WIDTH	100'
MAXIMUM BUILDING COVERAGE	20%
MAXIMUM BUILDING HEIGHT	30'
SETBACKS	
FRONT	50'
FRONT (CORNER LOT)*	40'
FRONT (CORNER LOT MAJOR HIGHWAY)*	50'
REAR	50'
SIDE	15'

*PER TOWN CODE §350-12.B.(5)(c)[2]

- THE SETBACK LINES AND NOTES RELATING TO SETBACKS SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF WEBSTER AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
- IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF WEBSTER AND THE APPROPRIATE MONROE COUNTY AGENCIES, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO MONROE COUNTY LOCAL LAW NO. 6 OF 2019 REGARDING LIABILITY INCURRED THROUGH DISTURBANCE OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS. THE CONTRACTOR SHALL LOCATE, MARK, BARRICADE, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT OF WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
- HIGHWAY DRAINAGE ALONG WEBSTER ROAD (NYS ROUTE 250) TO BE MAINTAINED.
- THIS PROPERTY DOES NOT FALL WITHIN A RECOGNIZED 100-YEAR FLOODPLAIN PER THE FLOOD INSURANCE RATE MAP, TOWN OF WEBSTER, NEW YORK, PANEL 231 OF 528, MAP NUMBER 3605550231G, DATED AUGUST 28, 2008
- SEE NYSDOT ACCESS PERMIT PLANS FOR ALL WORK WITHIN NYSDOT R.O.W.
- ALL PROPOSED ROADWAY SIGNAGE TO BE COORDINATED WITH THE TOWN OF WEBSTER.
- CONTRACTOR TO COORDINATE REMOVAL OF EXISTING SHEDS.

MCDPH CONDITIONS OF APPROVAL FOR REALTY SUBDIVISIONS:

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH APPROVAL FOR THIS REALTY SUBDIVISION IS GRANTED ON CONDITION THAT:

- THE PROPOSED FACILITIES FOR WATER SUPPLY AND SEWAGE TREATMENT ARE INSTALLED IN CONFORMITY WITH THE APPROVED PLANS ON FILE WITH THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH (MCDPH).
- AN ORIGINAL REALTY SUBDIVISION MAP APPROVED THIS DATE SHALL BE FILED IN THE OFFICE OF THE CLERK OF MONROE COUNTY PRIOR TO OFFERING LOTS FOR SALE.
- THE OWNER OF THE REALTY SUBDIVISION SHALL FURNISH EACH PURCHASER OF A LOT WITH A COPY OF THE APPROVED PLAN OR, IN THE CASE OF SALE OF DEVELOPED LOTS, THE OWNER OF THE REALTY SUBDIVISIONS SHALL FURNISH EACH PURCHASER WITH AN ACCURATE "AS-BUILT" PLAN DEPICTING ALL INSTALLED FACILITIES INCLUDING SEWAGE, STORM WATER AND WATER SUPPLY.
- ADEQUATE EROSION/SILTATION CONTROL MEASURES SHALL BE EMPLOYED PRIOR TO AND DURING CONSTRUCTION. IF THE PROJECT WILL RESULT IN THE DISTURBANCE OF ONE ACRE OR MORE, COVERAGE UNDER THE NYSDEC SPDES GENERAL PERMIT GP-0-20-001 FOR STORMWATER DISCHARGES FOR CONSTRUCTION ACTIVITIES SHALL BE OBTAINED.
- NO LOT OR REMAINING LAND (IF APPLICABLE) SHALL BE SUBDIVIDED WITHOUT PLANS FOR SUCH RE-SUBDIVISION BEING SUBMITTED AND APPROVED BY THE MCDPH.
- PLAN APPROVAL IS LIMITED TO 5 YEARS. TIME EXTENSIONS FOR PLAN APPROVAL MAY BE GRANTED BY MCDPH BASED UPON DEVELOPMENT FACTS AND THE REALTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
- PRIVATE WELLS AND PRIVATE ONSITE WASTEWATER TREATMENT SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED AFTER PUBLIC FACILITIES BECOME AVAILABLE.

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH
REALTY SUBDIVISION APPROVAL

THIS IS TO CERTIFY THAT APPROVED PLANS FOR WATER SUPPLY AND SEWAGE TREATMENT FOR THIS PROJECT ARE ON FILE IN THE OFFICE OF THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH CONSENT IS HEREBY GIVEN FOR THE FILING OF THIS MAP IN THE MONROE COUNTY CLERK'S OFFICE IN ACCORDANCE WITH ARTICLE III OF THE MONROE COUNTY SANITARY CODE.

DIRECTOR OF PUBLIC HEALTH

BY _____ PUBLIC HEALTH ENGINEER DATE _____

I, the undersigned Treasurer of Monroe County Pursuant to Sec 334 of the Real Property Law, Certify that all Monroe County Taxes and School Taxes against the land described herein have been paid through

Monroe County Treasurer

BY _____ Dated: _____

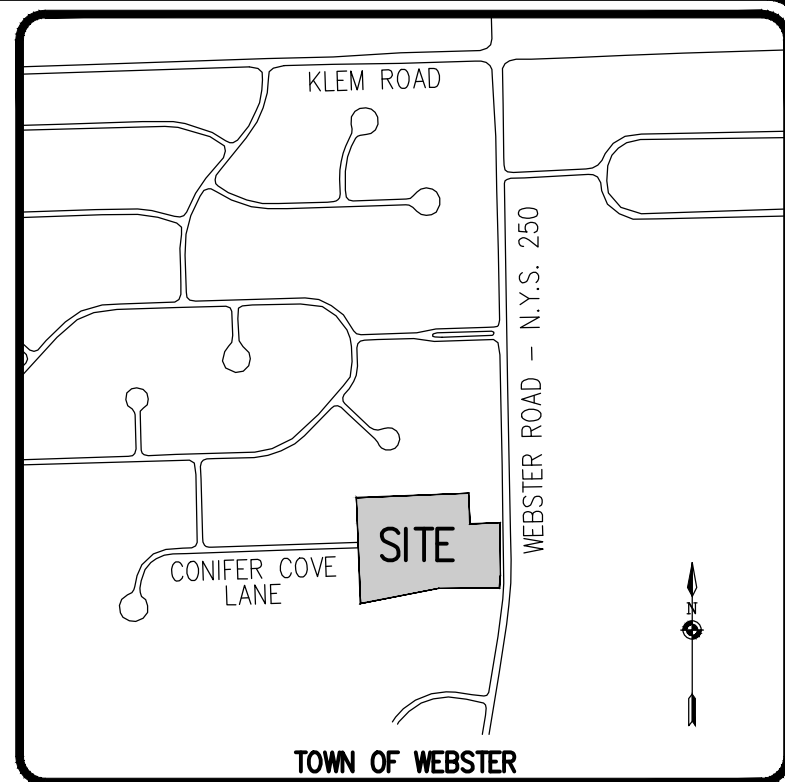
NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

WE: BME ASSOCIATES, CERTIFY THAT THIS MAP WAS PREPARED FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON APRIL 1, 2024 AND FROM THE REFERENCES NOTED HEREON. THIS MAP OR PLAT AND THE SURVEY UPON WHICH IT WAS BASED MEETS THE MSA 2017 MINIMUM STANDARDS FOR A SURVEY MAP.

THIS MAP IS SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY SOURCES OTHER THAN THOSE REFERENCED HEREON.

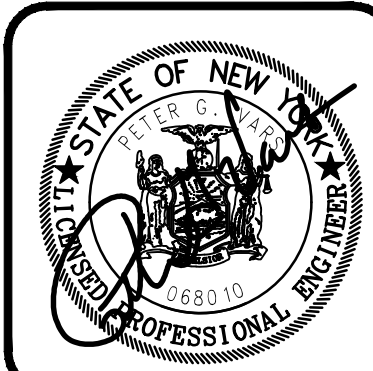
BY: Gregory D. Bell
 GREGORY D. BELL, NYSPLS No. 050661

LOCATION MAP
NOT TO SCALE

Drawing Alteration
 The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
 "It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

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 FAIRPORT, NEW YORK 14450



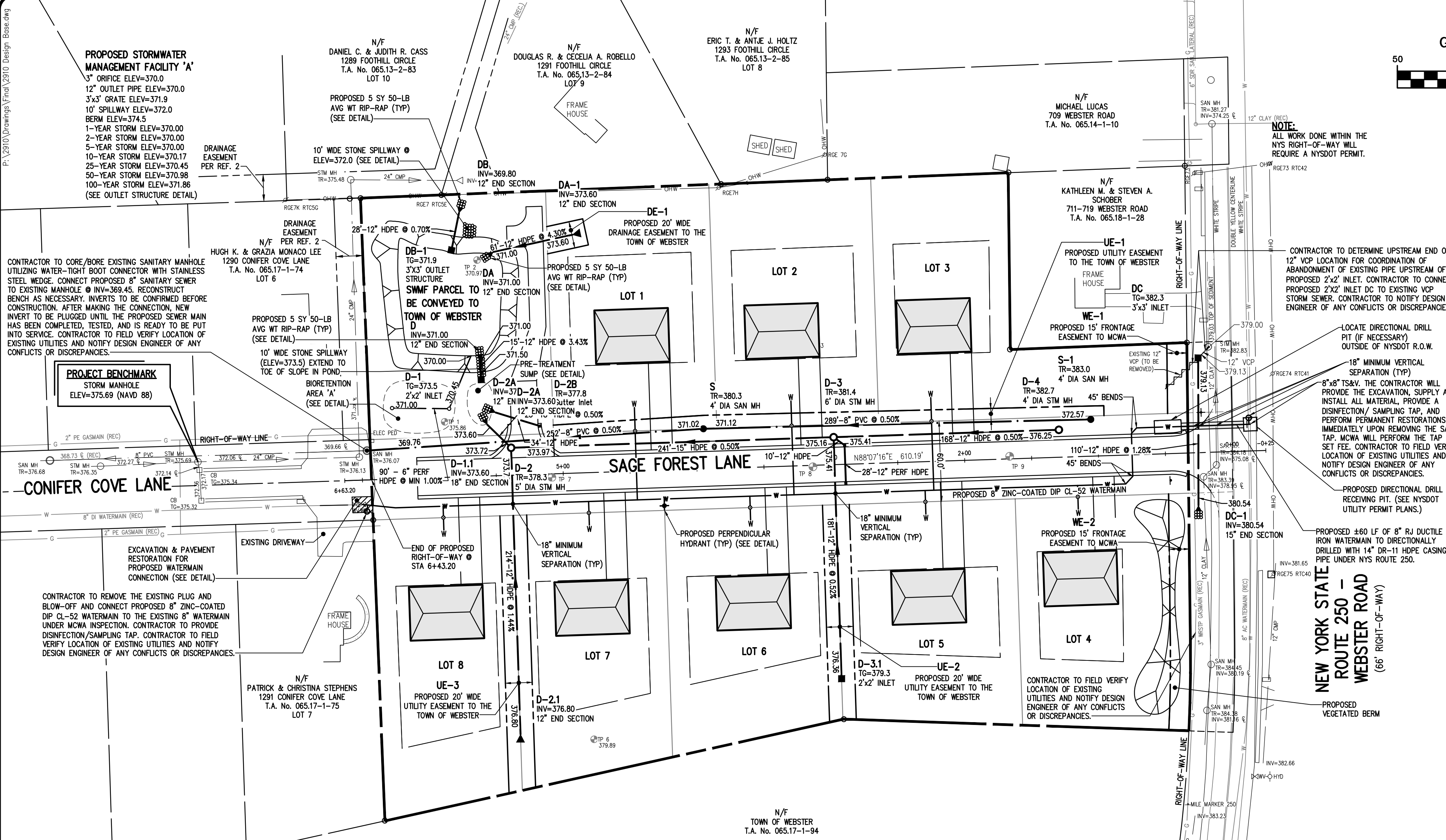
BIRDSONG AT CONIFER COVE
 TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE
 GROVE UNDERHILL PROPERTIES, LLC
 1000 W. 14TH STREET
 ROCHESTER, NY 14620
 PRELIMINARY/FINAL
 SUBDIVISION PLAT

PROJECT
 LOCATION
 CLIENT
 DRAWING TITLE

PROJECT MANAGER
 PG VARS
 PROJECT SURVEYOR
 GD BELL
 DRAWN BY
 BC GOODING
 SCALE
 1"=50'
 DATE ISSUED
 MAY 14, 2024
 PROJECT NO.

2910
 DRAWING NO.
 02

P:\2910\Drawings\Final\2910.dwg Design Base.dwg



MONROE COUNTY DEPARTMENT OF HEALTH STANDARD SANITARY SEWER EXTENSION NOTES:

- MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C828-86 ENTITLED "PRACTICE FOR LOW-PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES". SANITARY MANHOLES SHALL BE USUALLY INSPECTED AND TESTED FOR LEAKAGE UNDER VACUUM OR VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION - TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (LATEST REVISION).
- FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
- DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5% IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANOREL. IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINES PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.

LEGEND

---	BOUNDARY LINE
- - - -	PROPOSED LOT LINE
- . - . -	CENTERLINE
- - - - -	EXISTING EASEMENT LINE
- - - - -	PROPOSED EASEMENT LINE
○	PROPERTY MARKER FOUND
○	EXISTING WATERMAIN, HYDRANT, AND VALVE
○	PROPOSED WATERMAIN, HYDRANT, AND VALVE
○	PROPOSED WATER SERVICE AND CURBSTOP
○	EXISTING STORM SEWER, MANHOLE, AND INLET
○	PROPOSED STORM SEWER, MANHOLE, AND INLET
○	EXISTING SANITARY SEWER AND MANHOLE
○	PROPOSED SANITARY SEWER AND MANHOLE
○	EXISTING TEST PIT

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MONROE COUNTY DEPARTMENT OF HEALTH STANDARD WATER MAIN EXTENSION NOTES:

- THE WATER MAIN PIPELINE SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651 (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN PIPELINE SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM.

ALL WATER MAIN PIPE FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB-DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.

THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.

FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.

THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT OR LAND SURVEYOR WITH A SPECIAL EXEMPTION UNDER SECTION 7208(N) OF THE EDUCATION LAW) CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTING AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL COLIFORM, ESCHERICHIA COLI (E. COLI) AND TURBIDITY.

THE WATER MAIN PIPE AND APPURTENANCES SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN PIPELINES AND SEWER PIPELINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINES PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAIN PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.
- WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUND WATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF THE FINISHED GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED.
- THE WATER MAIN PIPELINE AND APPURTENANCES SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C600, C602, C604, OR C605 (MOST RECENT VERSION AS APPLICABLE) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE SUPPLIER OF WATER.

R:\DETAILS\DWG\2016 DME DETAILS.DWG

PUBLIC WATER SYSTEM NOTES

Water mains and appurtenances to be constructed in accordance with the regulations and specifications of the Water Authority:

Material:

- Water main(s) shall be 8" - inch ductile iron cement-lined Class 52, (ZINC-COATED)
- Water service(s) shall be 1/2" - inch Type K soft Copper or PE-80710 from the curb box to the meter.
- Water meter(s) shall be located on the interior of exterior walls immediately upon service entrance into the building(s). On metered services requiring a 1 1/2-inch or larger meter a bypass around the meter is required.
- All gate valves shall have stainless steel body and bonnet bolts.

Tests:

- Soil Test.** The contractor shall provide a soil test evaluation to determine the need for polyethylene encasement per ANSI/AWWS C105/AZI.5-82 prior to water main installation. Soil testing shall be conducted by an approved soil testing laboratory in accordance with Water Authority standards.
- Pressure Test.** Water mains to be pressure tested in accordance with the latest Water Authority specifications. A Water Authority representative must witness this test.
- Health Sample.** The water main shall be disinfected equal to AWWA Standard Specifications designation C-651, by using the continuous feed method. After flushing and disinfecting the water main, water samples shall be collected from the main by the Health Department with jurisdiction of the area. Fire hydrants are not acceptable sampling points. Approval and notification by the Health Department must be received before the main is placed in service.

Installation:

- Water mains and all water service lines shall have a minimum of five feet of cover from finished grade in lawn areas and a minimum of six feet of cover from finished grade in paved areas.
- Minimum vertical separation between water main and sewer mains shall be 18" measured from the outside of the pipes at the point of crossing. Minimum horizontal separation between water mains and sewer mains shall be ten feet measured from the outside of the pipes. One full length of water main shall be centered under or over the sewer so that both joints will be as far from the sewer as possible. Where a water main crosses under a sewer, adequate structural support (compacted selected fill) shall be provided for the sewers to prevent excessive deflection of joints and settling on and breaking the water mains.
- Fire hydrant weep holes (drains) shall be plugged when ground water is encountered within seven feet of the finished grade.
- All mechanical joint fittings (tees, bends, plugs, etc.) shall be backed with 2500 psi concrete thrust blocks of appropriate size to provide thrust restraint.

MONROE COUNTY
WATER AUTHORITY
ROCHESTER, NEW YORK

DEC 2020
DME 28

SANITARY SEWER APPROVAL

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH

THESE PLANS FOR PUBLIC SANITARY SEWER EXTENSION / IMPROVEMENT ARE HEREBY APPROVED PURSUANT TO ARTICLE 17 OF THE NYS ENVIRONMENTAL CONSERVATION LAW SUBJECT TO CONDITIONS OF APPROVAL.

DIRECTOR OF PUBLIC HEALTH

BY: PUBLIC HEALTH ENGINEER DATE:

WATERMAIN APPROVAL

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH

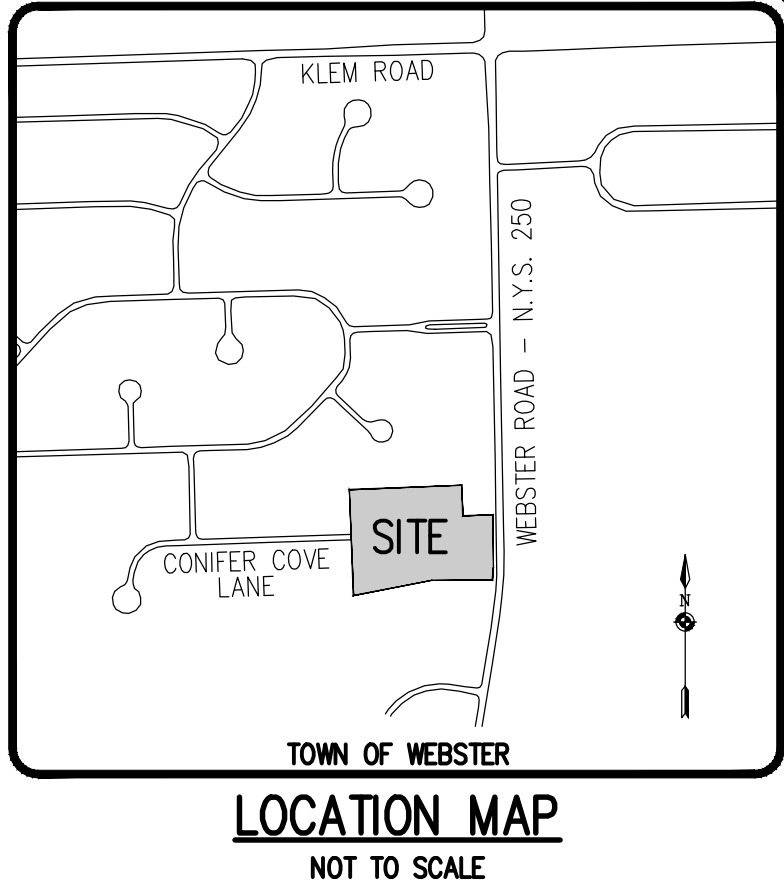
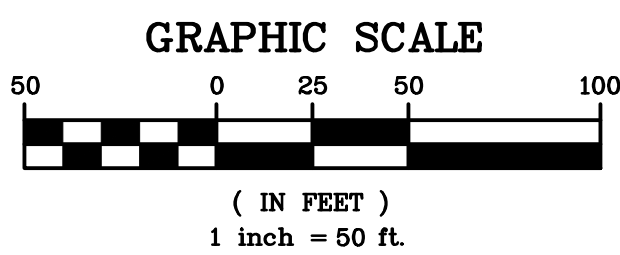
THESE PLANS FOR PUBLIC WATER SYSTEM EXTENSION / IMPROVEMENT ARE HEREBY APPROVED PURSUANT TO 10NYCORS OF THE STATE SANITARY CODE SUBJECT TO CONDITIONS OF APPROVAL.

DIRECTOR OF PUBLIC HEALTH

BY: PUBLIC HEALTH ENGINEER DATE:

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.



- UTILITY NOTES:**
- THE SETBACK LINES AND NOTES RELATING TO SETBACK SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF WEBSTER AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
 - BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY.
 - ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF WEBSTER, THE APPROPRIATE AGENCIES (IE, MONROE COUNTY WATER AUTHORITY, MONROE COUNTY DEPARTMENT OF HEALTH, AND NEW YORK STATE DEPARTMENT OF TRANSPORTATION) UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
 - THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
 - EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR AVAILABLE UTILITY COMPANY RECORD PLANS. EXISTING UTILITIES WHETHER FUNCTIONAL OR ABANDONED WITHIN THE PROJECT AREA MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL CALL THE UDIG-NY UPFO HOTLINE AT (800)962-7962 OR 811 FOR STAKE-OUT OF EXISTING UTILITIES.
 - THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
 - HIGHWAY DRAINAGE ALONG NYS ROUTE 250 IS TO BE MAINTAINED. OWNER TO FURNISH AND PLACE DRIVEWAY CULVERT PIPE (IF REQUIRED) OF A SIZE AND TYPE, AT A LINE AND GRADE TO BE DETERMINED BY THE NYSOT.
 - THE INDIVIDUAL LOT UTILITY SERVICES (WATER SERVICE, SANITARY LATERALS, & STORM LATERALS) OUTSIDE OF THE PROPOSED RIGHT-OF-WAY AND/OR EASEMENTS ARE PROPOSED TO BE PRIVATELY OWNED. ALL OTHER PROPOSED UTILITIES ARE TO BE DEDICATED TO THE TOWN OF WEBSTER OR MONROE COUNTY WATER AUTHORITY UPON CONSTRUCTION.
- WATERMAIN:**
- WATERMANS AND APPURTENANCES TO BE CONSTRUCTED TO THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY (MCWA). (SEE MCWA PUBLIC WATER SYSTEM NOTES).
 - WATERMANS SHALL BE ZINC-COATED DUCTILE IRON CEMENT LINER CLASS 52 (DIP) OR AS NOTED ON THE PLANS.
 - WATERMANS AND APPURTENANCES SHALL BE INSTALLED PER THE MOST RECENT AWWA C600 FOR DIP STANDARDS.
 - ALL WATER MAIN FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.
 - FLOW TEST WAS PERFORMED BY THE MONROE COUNTY WATER AUTHORITY:
- LOCATION: CONIFER COVE LANE
ELEVATION: 378
DATE: 4/15/24
MAIN SIZE: 8" DIP
STATIC PRESSURE: 87 PSI
RESIDUAL PRESSURE: 68 PSI
OBSERVED FLOW: 1,307 GPM
FLOW @ 20 PSI: 2,581 GPM
- THE PRESSURE AND FLOW DATA PROVIDED HEREIN REPRESENTS A HYDRANT FLOW TEST AT THIS LOCATION IN THE DISTRIBUTION SYSTEM ON THIS DATE AND TIME, AND INCLUDES ADJUSTMENT BY MCWA FOR HISTORICAL LOW PRESSURES WITHIN THE PUBLIC WATERMAIN. THESE VALUES CAN VARY GREATLY DEPENDING ON DEMANDS, OPERATIONAL PARAMETERS, SYSTEM CONFIGURATIONS, SUBSEQUENT MODIFICATIONS, AND OTHER RELATED CRITERIA. PLEASE CONTACT TONY PIAKOS, P.E. AT 585-442-2001 EXT. 273 WITH ANY QUESTIONS OR CONCERNS.

- SANITARY SEWER:**
- ALL SANITARY SEWERS ARE IN COMPLIANCE WITH THE SPECIFICATIONS AND SEWER POLICY OF THE TOWN OF WEBSTER.
 - SANITARY SEWERS, HOUSE LATERALS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF WEBSTER.
 - SANITARY SEWER PIPE SHALL BE 8" PVC SDR-35 OR AS NOTED ON THE PLAN.
 - INFILTRATION AND EXFILTRATION SHALL BE LIMITED TO 100 GALLONS PER MILE PER INCH DIAMETER OF PIPE PER 24 HOURS FOR SANITARY SEWERS. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM-1417, ENTITLED "STANDARD PRACTICE FOR INSTALLATION ACCEPTANCE OF PLASTIC NON-PRESSURE SEWER LINES USING LOW-PRESSURE AIR." SANITARY MANHOLES SHALL BE TESTED FOR EXFILTRATION.
 - WATER TESTING - EACH MANHOLE SHALL BE FILLED WITH A MAXIMUM OF 10 FEET OF WATER, SUBJECTED TO A 24 HOUR TEST AND SHOW A LOSS OF WATER NOT TO EXCEED 15 GALLONS/24 HOURS FOR A 4 FOOT DWM. INFILTRATION TESTS SHALL ADHERE TO THE SAME LIMITS.
 - VACUUM TESTING - EACH MANHOLE SHALL BE SUBJECTED TO A VACUUM OF 10 INCHES OF HG FOR ONE MINUTE WITH AN ALLOWABLE LOSS OF 1 INCH OF HG.
 - NEW SEWERS ARE TO BE PLUGGED WHEN CONNECTED TO EXISTING MANHOLES UNTIL THE NEW SEWERS ARE FLUSHED, TESTED, AND READY FOR SERVICE.
 - STORM SEWER:
 - STORM SEWERS, HOUSE LATERALS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF WEBSTER.
 - STORM SEWER PIPE SHALL BE HIGH-DENSITY POLYETHYLENE (HDPE) SMOOTH INTERIOR, OR AS NOTED ON THE PLAN.
 - CHECK VALVES TO BE PROVIDED ON SLUMP PUMPS.
 - REAR DOWNSPOUTS SHALL DISCHARGE ON SPLASH BLOCKS DIRECTED TO THE REAR OF EACH LOT. FRONT ROOF DRAINS & FOUNDATION DRAINS (VIA SLUMP PUMPS) SHALL DISCHARGE TO STORM SEWERS.
 - ROOF RUNOFF LEADERS AND CELLAR INFILTRATION LINES SHALL NOT BE DISCHARGED TO THE HIGHWAY DRAINAGE DITCH.

APPROVALS

BY:	TOWN ENGINEER	DATE:	
BY:	TOWN DIRECTOR OF COMMUNITY DEVELOPMENT	DATE:	
BY:	TOWN ASSESSOR	DATE:	
BY:	FIRE MARSHAL	DATE:	
BY:	PLANNING BOARD CHAIRMAN	DATE:	
BY:	WEBSTER SEWER DISTRICT	DATE:	
BY:	MONROE COUNTY WATER AUTHORITY	DATE:	
BY:	HIGHWAY SUPERINTENDENT	DATE:	

Drawing Alteration

The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:

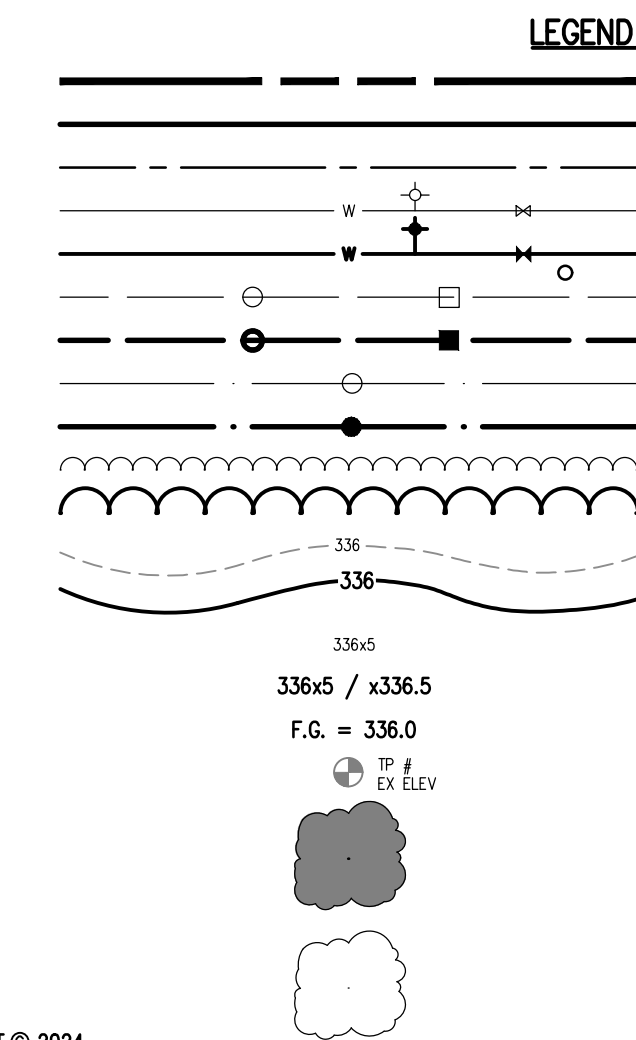
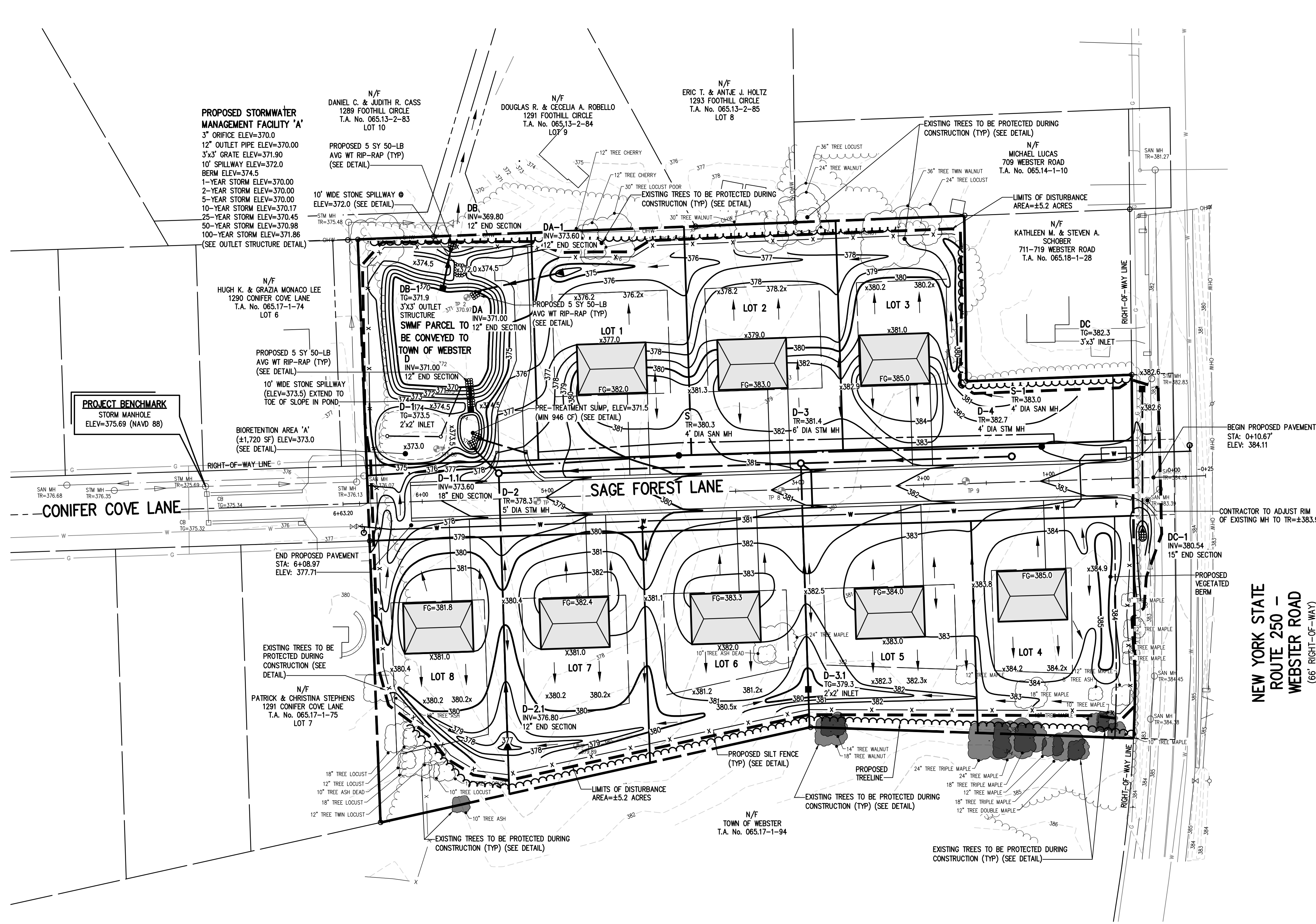
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

PROJECT	LOCATION	CLIENT	DRAWING TITLE
BIRDSONG AT CONIFER COVE	TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE	GROVE UNDERGROUND SERVICES, LLC 1000 W. MONROE COURT ROCHESTER, NY 14620	PRELIMINARY/FINAL UTILITY PLAN

REVISIONS	DATE	BY
1	7/16/24	AND
2	10/22/24	AND
3		
4		
5		
6		
7		

PHILIPS & GORHAM PURCHASE, TOWNSHIP 14, RANGE 4, TOWN LOT 3, TAX MAP NUMBER 06518-1-27

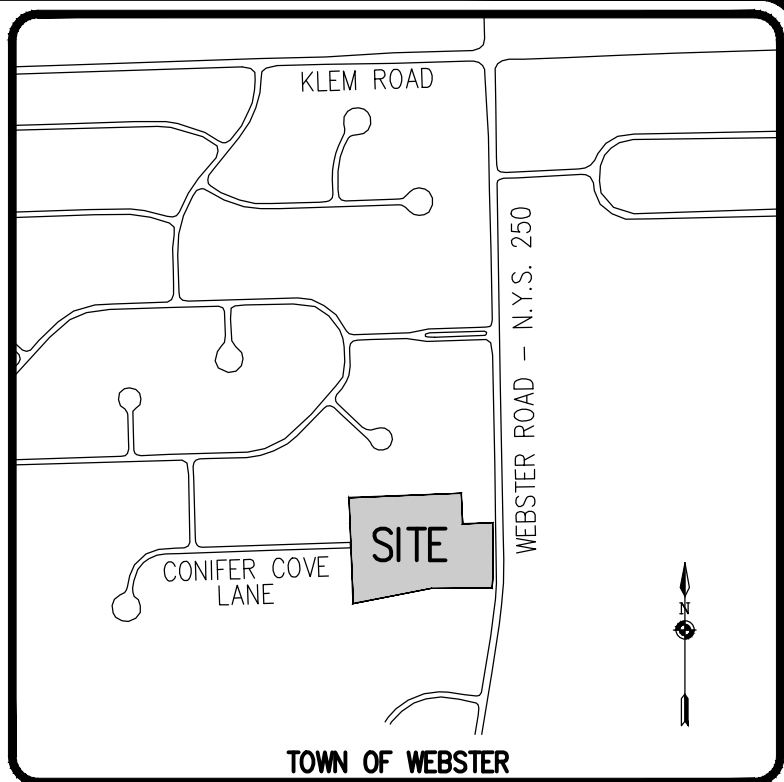
PROJECT MANAGER
PG VARS
PROJECT ENGINEER
FA SHELLEY
DRAWN BY
AN D'ANGELO
SCALE
1" = 50'
DATE ISSUED
MAY 14, 2024
PROJECT NO.
2910
DRAWING NO.
03



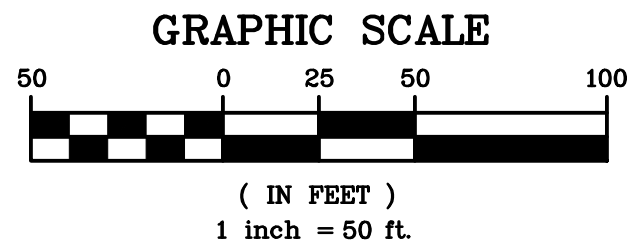
DEEP HOLE RESULTS			
TEST PIT- WWTS SYMBOL -			
TP-1	0'-0.8': TOPSOIL 0.8'-6': FINE SAND	TP-7	0'-1': TOPSOIL 1'-2': VERY FINE SAND 2'-10': FINE SANDY LOAM
TP-2	0'-0.6': TOPSOIL 0.6'-6.0': FINE SAND MINIMAL PERCHED WATER / SEEPAGE ENCOUNTERED @ 4'	TP-8	0'-1.5': TOPSOIL 1.5'-4.0': LOAMY FINE SAND 4.0'-10.0': VERY FINE SAND MINIMAL SEEPAGE @ 4'
TP-3	0'-1.3': TOPSOIL 1.3'-6.0': FINE SAND SEEPAGE FROM 2'-3', NO SEEPAGE FROM 3'-6'	TP-9	0'-1.5': MUCKY TOPSOIL 1.5'-10': LOAMY SAND WITH SOME COBBLES *SEASONALLY WET LOCATION WITH MUCKY TOPSOIL
TP-4	0'-1': TOPSOIL 1'-6': FINE SAND MINERAL DEPOSITS OBSERVED SEEPAGE FROM 2'-6'	• NO BEDROCK OBSERVED • TEST PITS 1-6: CONDUCTED BY BME ASSOCIATES ON 1/31/24 • TEST PITS 7-9: CONDUCTED BY BME ASSOCIATES ON 4/16/24	
TP-5	0'-1': TOPSOIL 1'-6': FINE SAND		
TP-6	0'-0.8': TOPSOIL 0.8'-2.5': FINE SAND 2.5'-6': FINE SAND WITH GRAVEL, SOME COBBLES		

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.



LOCATION MAP
NOT TO SCALE



GRADING NOTES:

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- THE CONTRACTOR SHALL CONTROL DUST ON SITE AS DIRECTED BY THE TOWN OF WEBSTER.
- THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE TOWN OF WEBSTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES. NO BLASTING ANTICIPATED FOR SITE DEVELOPMENT CONSTRUCTION.
- HIGHWAY DRAINAGE ALONG WEBSTER ROAD (NYS ROUTE 250) TO BE MAINTAINED AS DIRECTED BY NYSOT.
- FILL MATERIAL PLACED IN THE PAVEMENT AND BUILDING AREA SHALL BE SELECT MATERIAL AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS MEASURED BY THE MODIFIED PROCTOR TEST (ASTM D1557) AND/OR THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL SUPPLY THE ENGINEER AND THE TOWN OF WEBSTER WITH COMPACTION TEST RESULTS PRIOR TO PLACING THE STONE SUBBASE.
- CONTRACTOR SHALL INSTALL STONE SUBBASE AND THE ASPHALT CONCRETE BINDER COURSE. PRIOR TO PLACING THE BINDER COURSE, THE ROAD BASE SHALL BE REVIEWED BY THE ENGINEER AND THE TOWN.

SEE PROFILE SHEET (BME SHEET
#2910-08) FOR COMPACTION TABLE FOR
CONIFER COVE LANE.

APPROVALS

BY: TOWN ENGINEER	DATE:
BY: TOWN DIRECTOR OF COMMUNITY DEVELOPMENT	DATE:
BY: TOWN ASSESSOR	DATE:
BY: FIRE MARSHAL	DATE:
BY: PLANNING BOARD CHAIRMAN	DATE:
BY: WEBSTER SEWER DISTRICT	DATE:
BY: HIGHWAY SUPERINTENDENT	DATE:

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "Altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
1	10/22/24	AND
2	7/16/24	AND
3		
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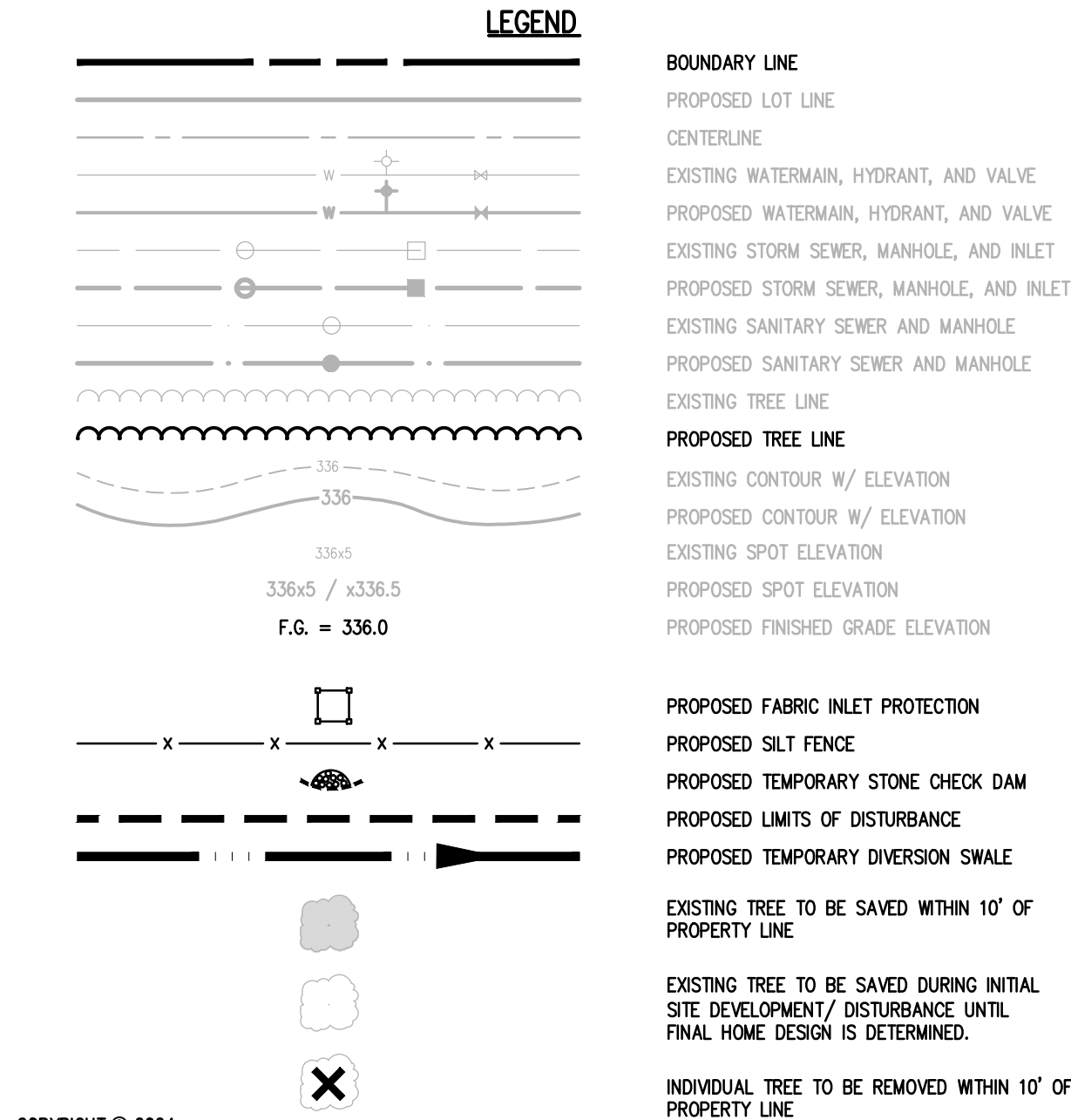
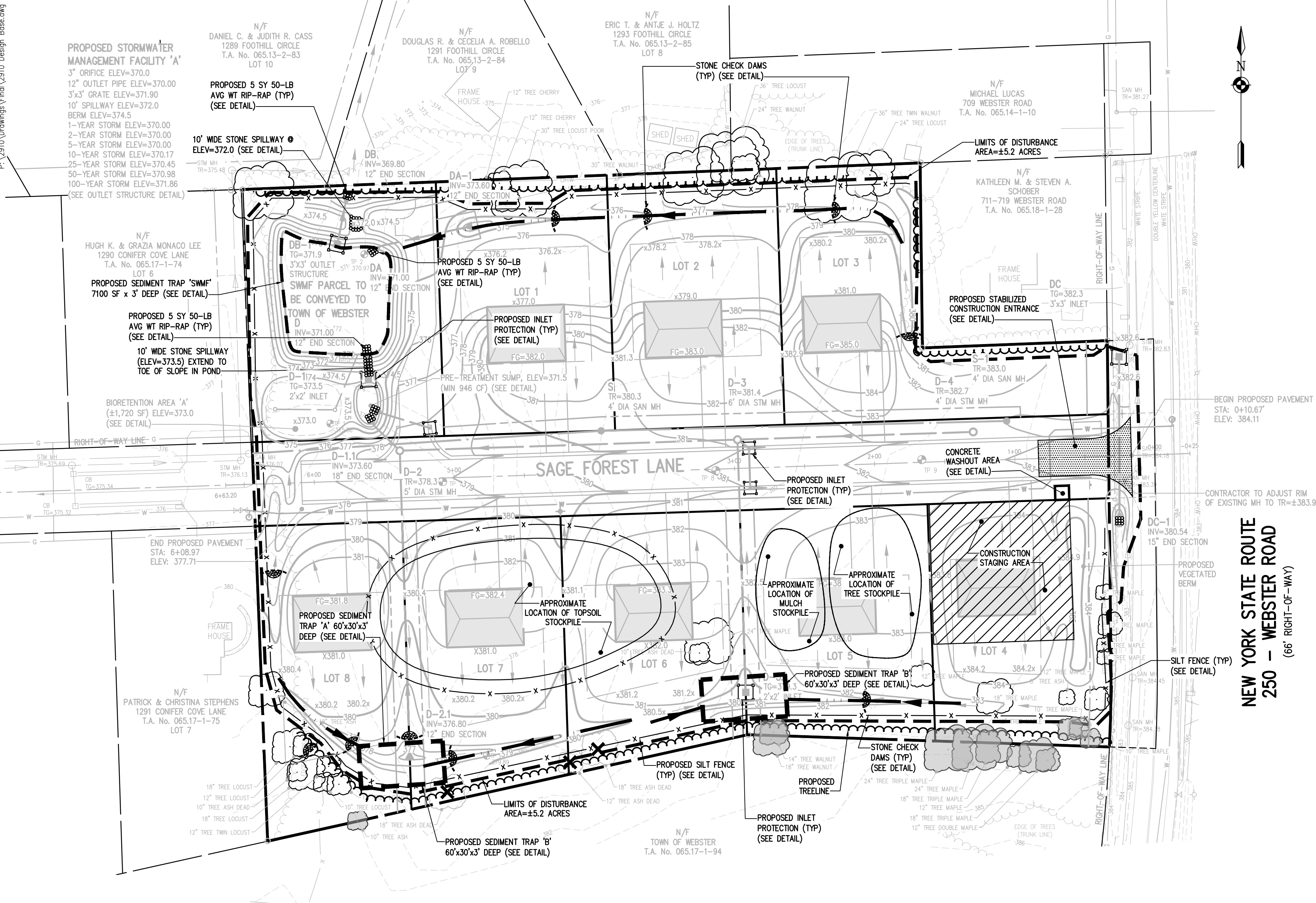
BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
WWW.BMEPC.COM
10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
585-377-7360



BIRDSONG AT CONIFER COVE
TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE
GROVE UNDERGROUND PROPERTIES, LLC
ROCHESTER, NY 14620
PRELIMINARY/FINAL
GRADING PLAN

PROJECT LOCATION CLIENT DRAWING TITLE
PROJECT MANAGER
PG VARS
PROJECT ENGINEER
FA SHELLEY
DRAWN BY
AN D'ANGELO
SCALE 1" = 50'
DATE ISSUED MAY 14, 2024
PROJECT NO.
2910
DRAWING NO.
04

P:\2910\Drawings\Final\2910 Design Base.dwg



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BME Associates

SEQUENCE OF CONSTRUCTION STEPS:

TOTAL DISTURBED ACREAGE = ±5.2 ACRES

STEP 1: (SITE PREPARATION)

- INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ENTRANCE(S) AND CONSTRUCTION STAGING AREA (SEE DETAIL).
- THE DEVELOPER SHALL COORDINATE A FIELD STAKE OUT OF THE LIMITS OF DISTURBANCE FOR REVIEW AND ACCEPTANCE BY THE TOWN PRIOR TO REMOVAL OF ANY VEGETATION ALONG THE PROJECT BOUNDARIES.
- CLEAR AND GRUB AS REQUIRED FOR SILT FENCE INSTALLATION.
- INSTALL AND MAINTAIN PERIMETER SILT FENCE, COMPLETE CLEARING AND GRUBBING OPERATIONS AS NECESSARY OR PROVIDE BRUSH HOGGING OF LANDS TO MAINTAIN GROUND COVER.

STEP 2: (CONSTRUCTION ACTIVITY)

- STRIP AND STOCKPILE TOPSOIL AS REQUIRED FOR INSTALLATION OF THE PROPOSED STORMWATER MANAGEMENT FACILITIES, COMPLETE GRADING, FINE GRADE AND SEED. STORMWATER MANAGEMENT FACILITY TO BE UTILIZED AS A SEDIMENT BASIN DURING CONSTRUCTION. CONTRACTOR TO UNDERCUT POND BOTTOM BY 1'.
- STRIP AND STOCKPILE TOPSOIL. TOPSOIL TO BE STRIPPED FROM ALL PROPOSED PAVEMENT AND BUILDING AREAS AND STOCKPILED IN DESIGNATED AREA. INSTALL SILT FENCE AROUND PERIMETER OF TOPSOIL PILE AND SEED WITH TEMPORARY SEEDING MIX. MULCH IS REQUIRED BETWEEN NOVEMBER 15TH AND APRIL 1ST.
- COMMENCE MASS GRADING OPERATIONS, COMPLETE REQUIRED CUTS AND FILLS. UPON COMPLETION OF THE MASS GRADING OPERATIONS, INSTALL ADDITIONAL EROSION CONTROL MEASURES INCLUDING STONE CHECK DAMS, INTERCEPTOR SWALES, AND TEMPORARY SEDIMENT TRAPS. SWALES TO BE STABILIZED WITHIN 2 DAYS OF COMPLETION AND SEDIMENT TRAPS TO BE STABILIZED IMMEDIATELY. MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED.
- CONTRACTOR MAY INSTALL UTILITIES DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES, INCLUDING STONE CHECK DAMS, INTERCEPTOR SWALES AND TEMPORARY SEDIMENT TRAPS SHALL BE PROVIDED AS SHOWN IN THE PLANS, OR AS DIRECTED.
- COMPLETE EARTHWORK, INCLUDING FINE GRADING OF SLOPES. SLOPES TO BE REPLACED WITH 12" OF TOPSOIL, MULCHED AND SEEDING WITHIN 2 DAYS OF COMPLETION. SILT FENCE TO BE INSTALLED AT TOE OF SLOPE (IF APPLICABLE).
- COMPLETE INSTALLATION OF UNDERGROUND UTILITIES AND ROAD BOX. RESTORE AND RE-SEED RIGHT-OF-WAY AREAS AS NEEDED. INSTALL PAVEMENT DIVERSION ONCE THE BINDER ASPHALT IS INSTALLED.

- TEMPORARY STABILIZATION SHALL BE PERFORMED IN AREAS THAT WILL NOT BE DISTURBED FOR A PERIOD OF 14 DAYS OF LONGER.
- INSTALL CONCRETE TRUCK WASHOUT PRIOR TO CONCRETE POURING ACTIVITIES (SEE DETAIL).
- INSTALL ROAD BASE, GUTTERS AND PAVEMENT WITH EROSION CONTROL MEASURES AS NECESSARY TO MINIMIZE SILT DISTRIBUTION ON EXISTING AND CONSTRUCTED ROADWAYS.
- CLEARED VEGETATION SUCH AS TREES AND MULCH SHALL BE DISPOSED OF OFFSITE. NO VEGETATION IS TO BE BURIED ON SITE.
- STEP 3: (STABILIZATION & MONITORING)**
 - SEED AND MULCH ALL DISTURBED AREAS AS REQUIRED BY GP-0-20-001. SEED WITH A SEED MIX AS INDICATED IN CONSTRUCTION EROSION CONTROL NOTES, AND MULCH.
 - SEED ALL SLOPES 3:1 OR STEEPER WITH STEEP SLOPE SEEDING MIX AND STABILIZE WITH EROSION CONTROL BLANKET – ECS-1B (EASTCOAST) OR AN APPROVED EQUIVALENT.
 - FROM NOVEMBER 15TH TO APRIL 1ST, IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE STANDARD RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE.
 - MONITOR STORMWATER MANAGEMENT FACILITY, SEDIMENT BASINS, AND SEDIMENT TRAPS DURING CONSTRUCTION OPERATIONS FOR SILT ACCUMULATION. CONTRACTOR TO CLEAN AS NECESSARY.
 - MAINTAIN PERIMETER SILT FENCE AND INLET PROTECTION UNTIL THE ADJACENT SOILS HAVE ACHIEVED 80% STABILIZATION.
 - SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND TEMPORARY/WINTER STABILIZATION METHODOLOGY.
 - DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN ENGINEER OR OWNER.
 - CONSTRUCT BIORETENTION AREAS ONCE CONTRIBUTING UPSTREAM AREAS ARE STABILIZED AND GROUND COVER IS ESTABLISHED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS, PAVED AREAS, AND CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR TOWN OF WEBSTER.

CONSTRUCTION EROSION CONTROL NOTES:

- THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) CONSISTS OF THE STORMWATER MANAGEMENT REPORT, THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE TOWN OF WEBSTER DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL. THE SWPPP FOR THIS PROJECT IS INTENDED TO CONFORM WITH THE NYSDEC GENERAL PERMIT GP-0-20-001 AND THE REQUIREMENTS OF LOCAL AND NYSDEC AUTHORITIES REGARDING THE CONTROL OF STORMWATER QUANTITY AND QUALITY.
- THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- ANY MODIFICATIONS OR DEVIATIONS FROM THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT FACILITIES, SHALL BE COMMUNICATED TO THE TOWN FOR APPROVAL BY THE MSA OFFICER PRIOR TO IMPLEMENTATION, THEN DOCUMENTED IN THE INSPECTION REPORT AND CONSIDERED PART OF THE SWPPP FOR THE PROJECT.
- THE OWNER IS RESPONSIBLE FOR FILING THE NOTICE OF INTENT (NOI) FOR CONSTRUCTION ACTIVITY WITH NYSDEC PRIOR TO COMMENCING ANY CONSTRUCTION. A COPY OF THE NOI SHALL BE KEPT ON-SITE AND PROVIDED TO THE MUNICIPALITY.
- THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING ON SITE INSPECTIONS BY A LICENSED PROFESSIONAL REGARDING EROSION CONTROL DURING CONSTRUCTION. INSPECTIONS ARE TO BE PROVIDED AT A MINIMUM OF TWICE A WEEK FOR DISTURBANCES OF 5 ACRES AND GREATER AND ONCE A WEEK FOR DISTURBANCES LESS THAN 5 ACRES. AN INSPECTION REPORT LOG AND THE SWPPP ARE TO BE KEPT ON-SITE BY THE OWNER.
- FOR SITES WHERE SOIL DISTURBANCE ACTIVITIES HAVE BEEN TEMPORARILY SUSPENDED (E.G. WINTER SHUTDOWN) AND TEMPORARY STABILIZATION MEASURES HAVE BEEN APPLIED TO ALL DISTURBED AREAS, THE OWNER/OPERATOR MAY REDUCE THE SELF-INSPECTION FREQUENCY, BUT SHALL MAINTAIN A MINIMUM OF MONTHLY INSPECTIONS. (30 CALENDAR DAYS)
- THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THE INDIVIDUAL MUST RECEIVE (4) HOURS OF NYSDEC TRAINING EVERY (3) YEARS. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
- CONTRACTOR TO MAINTAIN DISTURBANCE AREA TO LESS THAN 5 ACRES AT ANY ONE TIME. CONTRACTOR TO PROVIDE STABILIZATION MEASURES TO FINE-GRADED DISTURBED AREAS SO TO MAINTAIN A DISTURBANCE OF LESS THAN 5 ACRES.
- FOR DISTURBANCES LESS THAN 5 ACRES, IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPROPRIATE SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS. FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF EQUIPMENT GROUND COVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR TEMPORARY MATERIAL. ADDITIONAL TIME FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND USE MSA.
- THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
- THE BIORETENTION FACILITY MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.
- ALL DISTURBED AREAS TO BE RESTORED PER TABLE 5.3 SOIL RESTORATION REQUIREMENTS FOUND IN CHAPTER 5: GREEN INFRASTRUCTURE PRACTICES OF THE NYS STORMWATER MANAGEMENT DESIGN MANUAL.
- ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 12" TOPSOIL.
- AREAS OR EMBANKMENTS REQUIRING AN EROSION CONTROL BLANKET SHALL UTILIZE ECS-1B (EASTCOAST) OR AN APPROVED EQUIVALENT.
- TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

	LBS./ACRE	LBS./1,000 SQ. FT.
ANNUAL RYEGRASS	1	1
PERENNIAL RYEGRASS	40	1
RED FESCUE	35	85
WHITE CLOVER (+ INOCULANT)	4	0.1

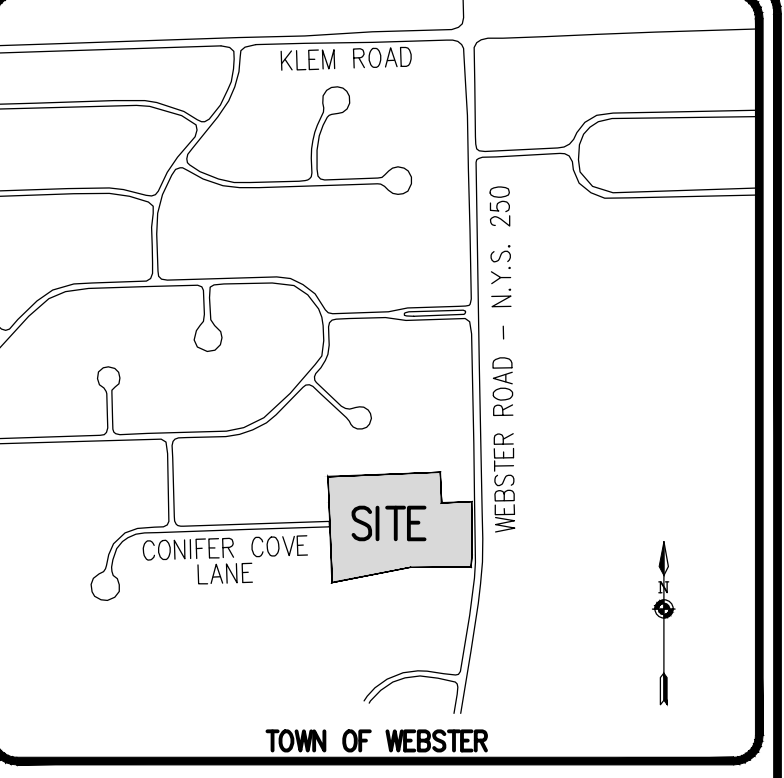
SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.
- DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LBS./ACRE	% BY PURITY	% GERM
PERENNIAL RYE GRASS	35	85	85
RED FESCUE	35	97	80
KENTUCKY BLUEGRASS	30	85	80

SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER 1,000 SQ. FT.

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LOCATION MAP
NOT TO SCALE

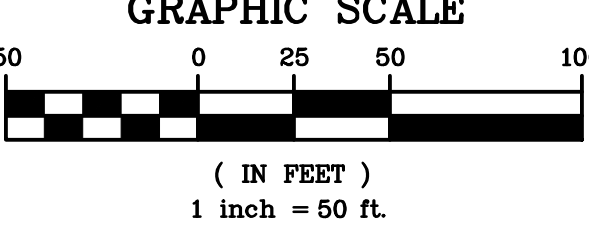


Table 5.3: Soil Restoration Requirements		
Type of Soil Disturbance	Soil Restoration Requirement	Comments/Examples
No soil disturbance	Restoration not permitted	Preservation of Natural Features
Minimal soil disturbance	Restoration not required	Clearing and grubbing
Areas where topsoil is stripped only - no change in grade	HSG A & B Apply 6 inches of topsoil	HSG C&D Aerate* and apply 6 inches of topsoil
Areas of cut or fill	HSG A & B Aerate and apply 6 inches of topsoil	Apply full Soil Restoration **
Heavy traffic areas on site (especially in a zone 5-25 feet around buildings but not within a foot perimeter around foundation walls)	Apply full Soil Restoration (de-compaction and compost enhancement)	
Areas where Runoff Reduction and/or Infiltration practices are applied	Restoration not required, but may be applied to enhance the reduction specified for appropriate practices.	Keep construction equipment from crossing these areas. To protect newly installed practice from any ongoing construction activities construct a single phase operation fence area
Redevelopment projects	Soil Restoration is required on redevelopment projects in areas where existing impervious area will be converted to pervious area.	

* Aeration includes the use of machines such as tractor-drawn implements with coulters making a narrow slit in the soil, a roller with many spikes making indentations in the soil, or prongs which function like a mini-subsoiler.
** Per "Deep Ripping and De-compaction, DEC 2008".

SEDIMENT TRAP VOLUMES

SEDIMENT TRAP I.D.	DRAINAGE AREA / DISTURBED AREA TO INLET	REQUIRED SEDIMENT TRAP VOLUME (3,600 CU. FT./AC.)	TRAP DIMENSIONS* (L x W x D)	SEDIMENT TRAP VOLUME (PROVIDED)
A	±1.3 ACRES	4,680 CU. FT.	60'x30'x3'	5,400 CU. FT.
B	±1.3 ACRES	4,680 CU. FT.	60'x30'x3'	5,400 CU. FT.
SWMF	±1.2 ACRES	4,320 CU. FT.	7100 SF x 3'	21,300 CU. FT.

NOTE: SEDIMENT TRAPS TO BE CONSTRUCTED WITH A MINIMUM LENGTH TO WIDTH RATIO OF 2:1 AND A MINIMUM DEPTH OF 3 FEET. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 1'.
*TRAP DIMENSIONS PRESENTED AS GUIDANCE FOR CONTRACTOR ONLY. ACTUAL DIMENSIONS MAY VARY BASED UPON FIELD CONDITIONS. HOWEVER, MINIMUM "REQ'D SEDIMENT TRAP VOLUME" MUST BE PROVIDED.
**INSTALL PROPOSED POND BERM, OUTLET STRUCTURE, AND OUTLET PIPE PER PLAN DETAILS FOR SWMF SEDIMENT TRAP.
*PROVIDE INLET PROTECTION AT D-2.1 AND D-3.1 FOR SEDIMENT TRAP A & B OUTLETS.

APPROVALS

BY: TOWN ENGINEER	DATE:
BY: TOWN DIRECTOR OF COMMUNITY DEVELOPMENT	DATE:
BY: TOWN ASSESSOR	DATE:
BY: FIRE MARSHAL	DATE:
BY: PLANNING BOARD CHAIRMAN	DATE:
BY: WEBSTER SEWER DISTRICT	DATE:
BY: HIGHWAY SUPERINTENDENT	DATE:

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REVISIONS	DATE	BY
1	7/16/24	AND
2	10/22/24	AND
3		
4		
5		
6		
7		

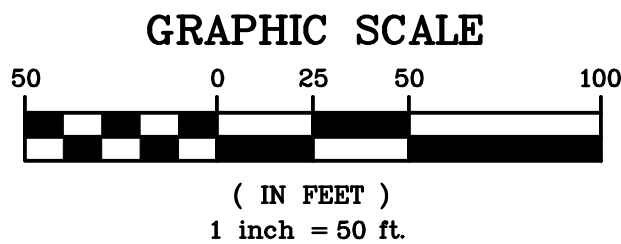
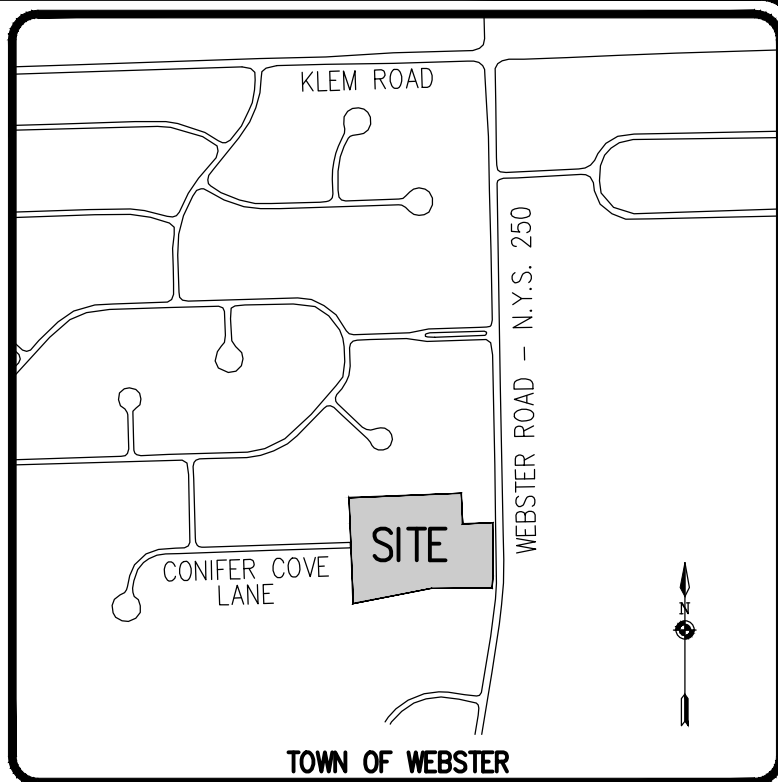
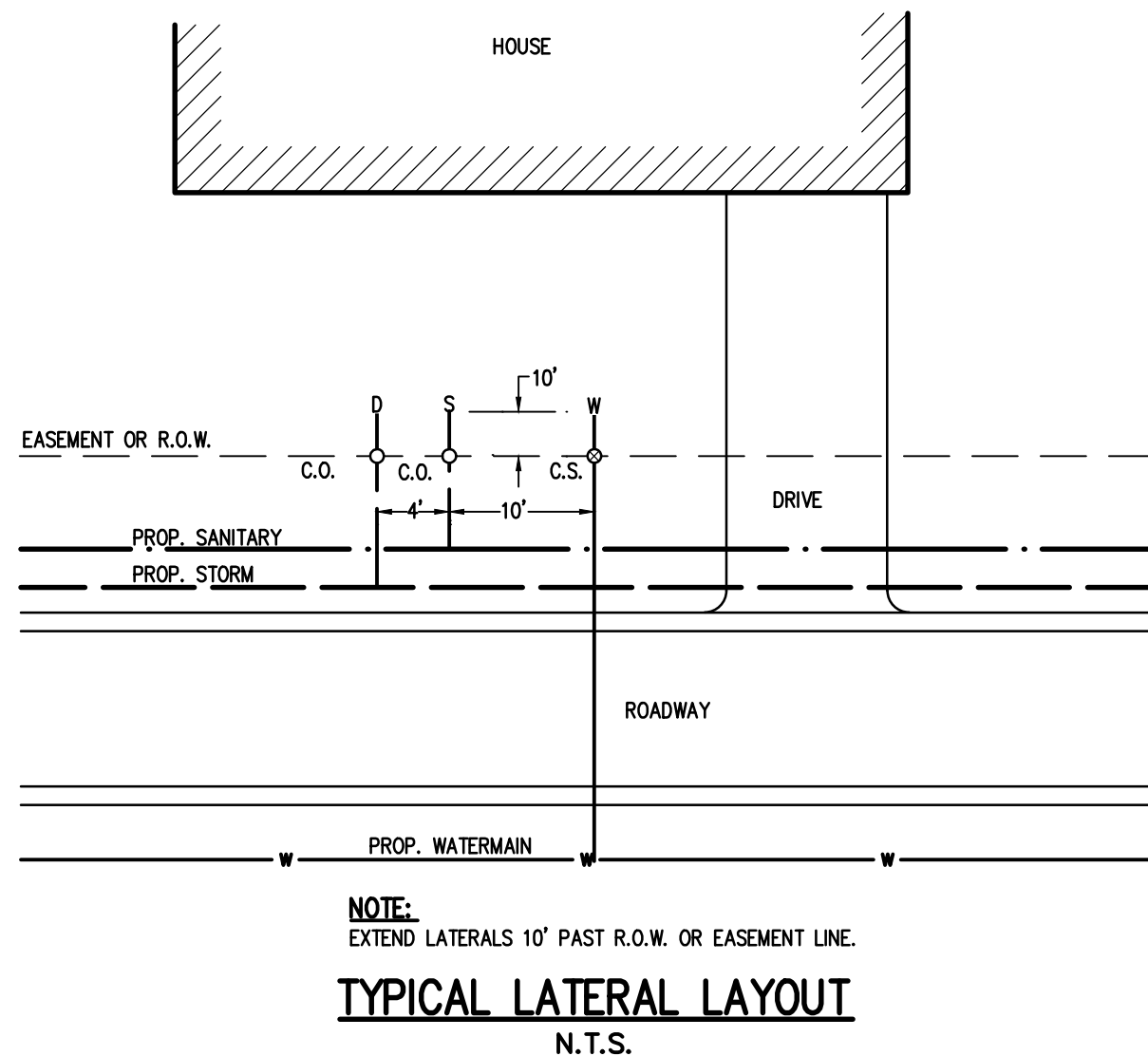
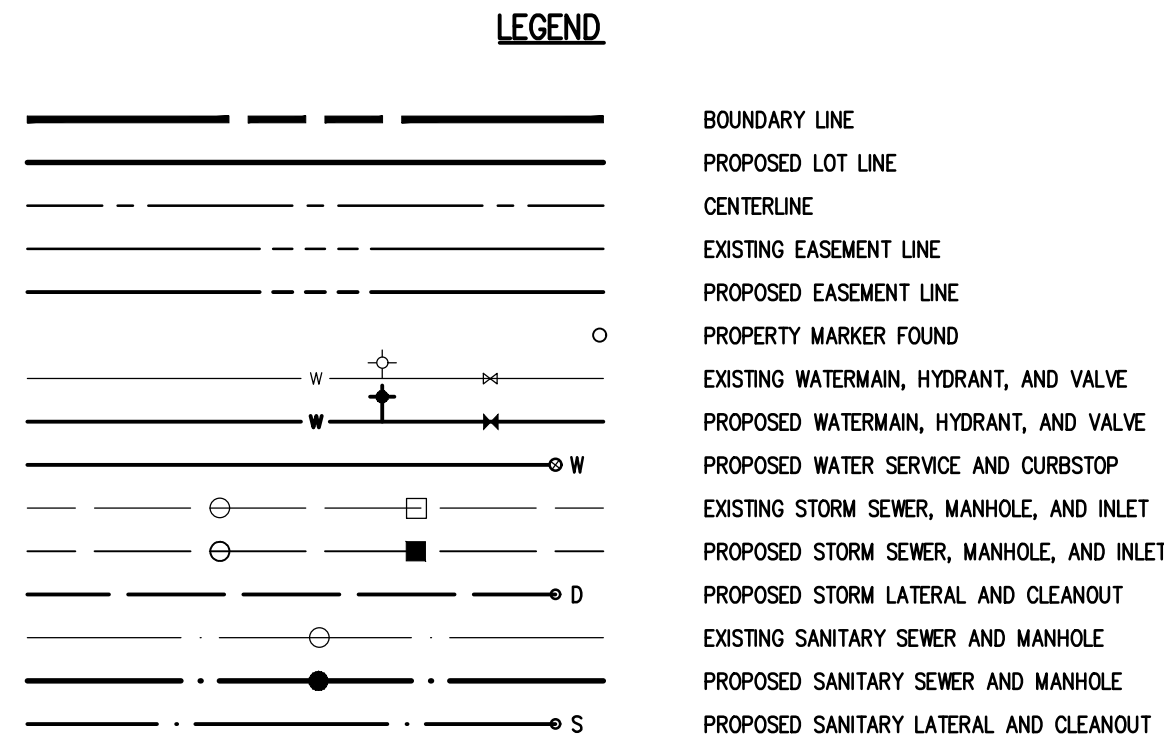
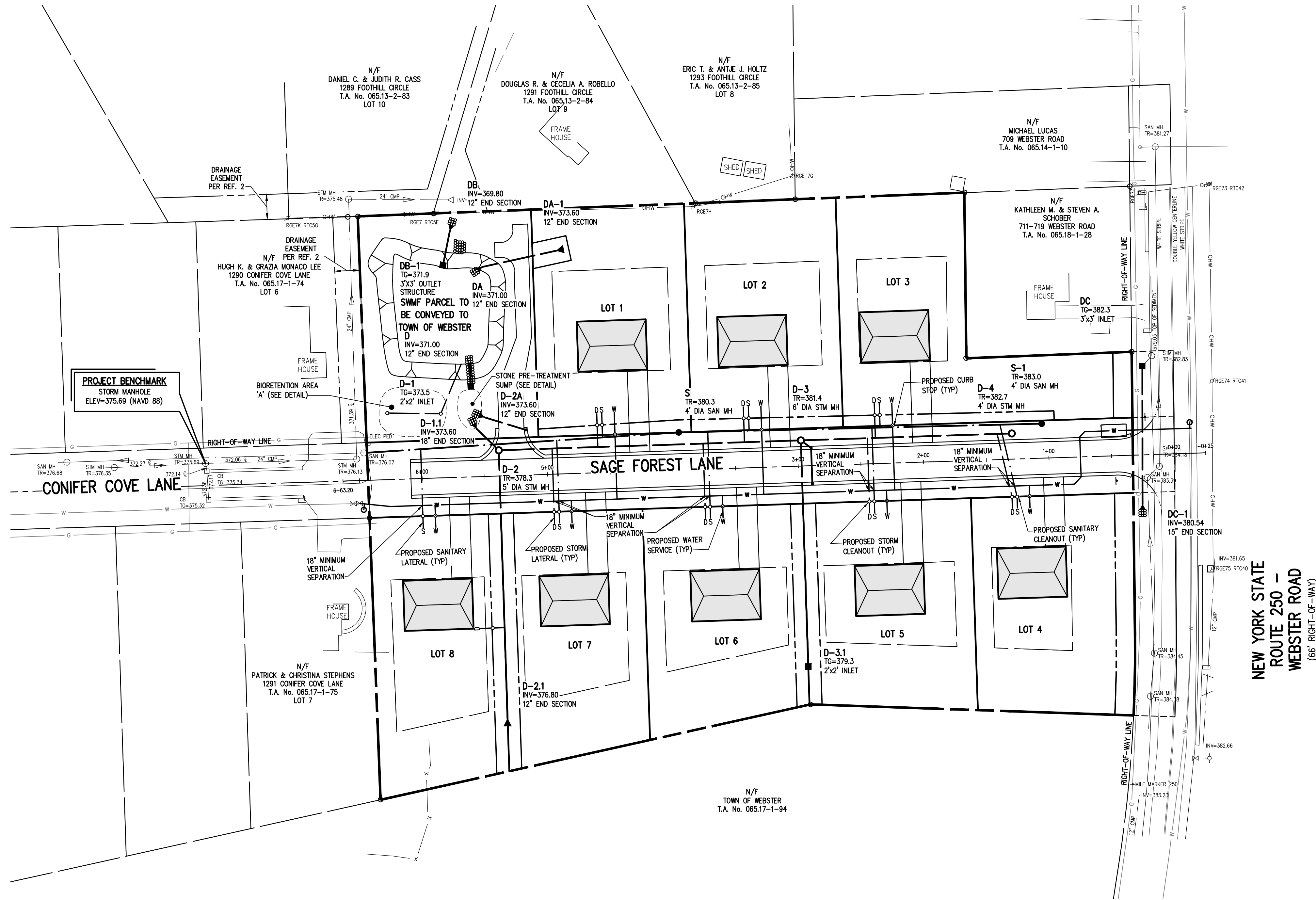
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FAIRPORT, NEW YORK 14450



BIRDSONG AT CONIFER COVE
TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE
PROJECT LOCATION CLIENT
GROVE UNIVERSAL PROPERTIES, LLC
GROVE UNIVERSAL PROPERTIES, LLC
ROCHESTER, NY 14620
PRELIMINARY/FINAL
CONSTRUCTION EROSION CONTROL PLAN
DRAWING TITLE

PROJECT MANAGER
PG VARS
PROJECT ENGINEER
FA SHELLEY
DRAWN BY
AN D'ANGELO
SCALE
1" = 50'
DATE ISSUED
MAY 14, 2024
PROJECT NO.
2910
DRAWING NO.
05

PHELPS & CORHAM PURCHASE, TOWNSHIP 14, RANGE 4, TOWN LOT 3, TAX MAP NUMBER 06518-1-27



LATERAL NOTES:

- ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS:
WATER - 1" INCH TYPE K COPPER FROM THE WATERMAIN TO THE CURB BOX
1" INCH PE #4710 FROM THE CURB BOX TO THE METER (UNLESS NOTED OTHERWISE)
SANITARY - 4" PVC SDR-21 INSTALLED AT 2.00% MIN SLOPE
STORM - 6" PVC SDR-35 INSTALLED AT 1.00% MIN SLOPE
EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHICHEVER IS GREATER.
- WATER METER(S) ARE TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALL(S) IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING. ON METERED SERVICES REQUIRING A 1+ INCH OR LARGER METER, A BY-PASS AROUND THE METER IS REQUIRED.
- NO CURB VALVE BOXES (WATER LATERAL) ARE ALLOWED IN DRIVEWAYS. THE SERVICE OR DRIVEWAY WILL BE RELOCATED IF THIS CONFLICT ARISES.
- ALL HOMES WITH WATER PRESSURE GREATER THAN 70 PSI AT THE METER WILL REQUIRE A PRESSURE REDUCING VALVE INSTALLED AFTER THE METER.
- SANITARY LATERALS' WITNESS STAKES SHALL BE 2"x4" HARDWOOD, EXTENDED 2'-3" ABOVE GRADE AND PAINTED GREEN.
- ANY LAUNDRY WASTEWATER SHALL BE DIRECTED TO THE SANITARY SEWER.
- CLEANOUTS FOR STORM LATERALS SHALL BE INSTALLED AT ALL HORIZONTAL BENDS AND AT 100' INTERVALS ALONG THE LATERAL. CLEANOUTS FOR SANITARY LATERALS SHALL BE INSTALLED AT THE RIGHT-OF-WAY OR EASEMENT LINE, AT ALL BENDS 45' OR GREATER, AND AT 85-100 FOOT INTERVALS THEREAFTER.
- REAR DOWNSPOUTS SHALL DISCHARGE ON SPLASH BLOCKS DIRECTED TO THE REAR OF EACH LOT. FRONT ROOF DRAINS & FOUNDATION DRAINS (VIA SUMP PUMPS) SHALL DISCHARGE TO STORM SEWERS.

NOT APPROVED

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APPROVALS

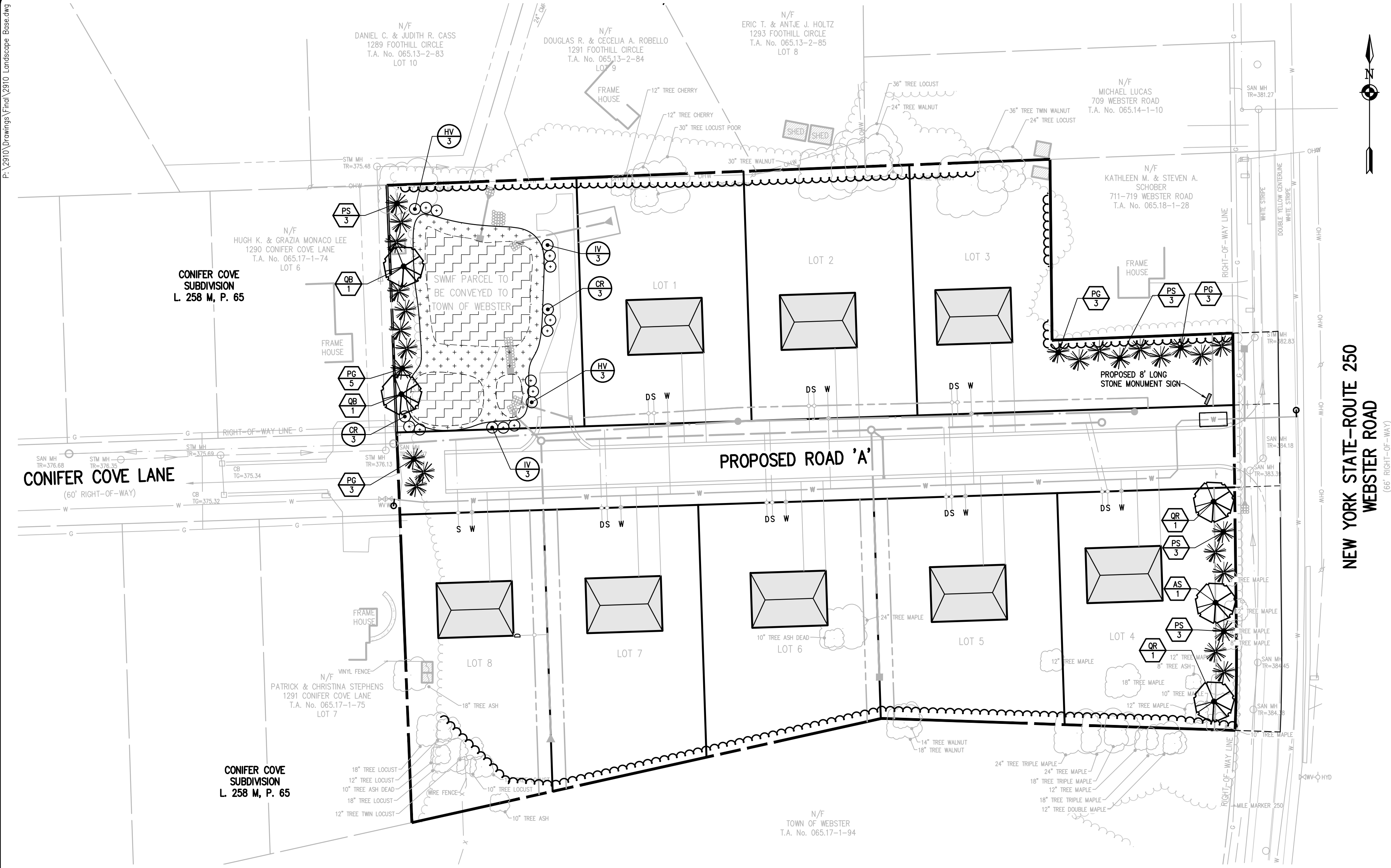
BY: _____	DATE: _____
TOWN ENGINEER	
BY: _____	DATE: _____
TOWN DIRECTOR OF COMMUNITY DEVELOPMENT	
BY: _____	DATE: _____
TOWN ASSESSOR	
BY: _____	DATE: _____
FIRE MARSHAL	
BY: _____	DATE: _____
PLANNING BOARD CHAIRMAN	
BY: _____	DATE: _____
WEBSTER SEWER DISTRICT	
BY: _____	DATE: _____
HIGHWAY SUPERINTENDENT	

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BIRDSONG AT CONIFER COVE
TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE
GROVE UNIVERSAL PROPERTIES, LLC
ROCHESTER, NY 14620
PRELIMINARY/FINAL LATERAL PLAN

PROJECT LOCATION CLIENT	DRAWING TITLE
PG VARS PROJECT ENGINEER FA SHELLEY DRAWN BY AN D'ANGELO	DATE ISSUED MAY 14, 2024
SCALE 1" = 50'	PROJECT NO. 2910
DRAWING NO. 06	



LANDSCAPE NOTES:

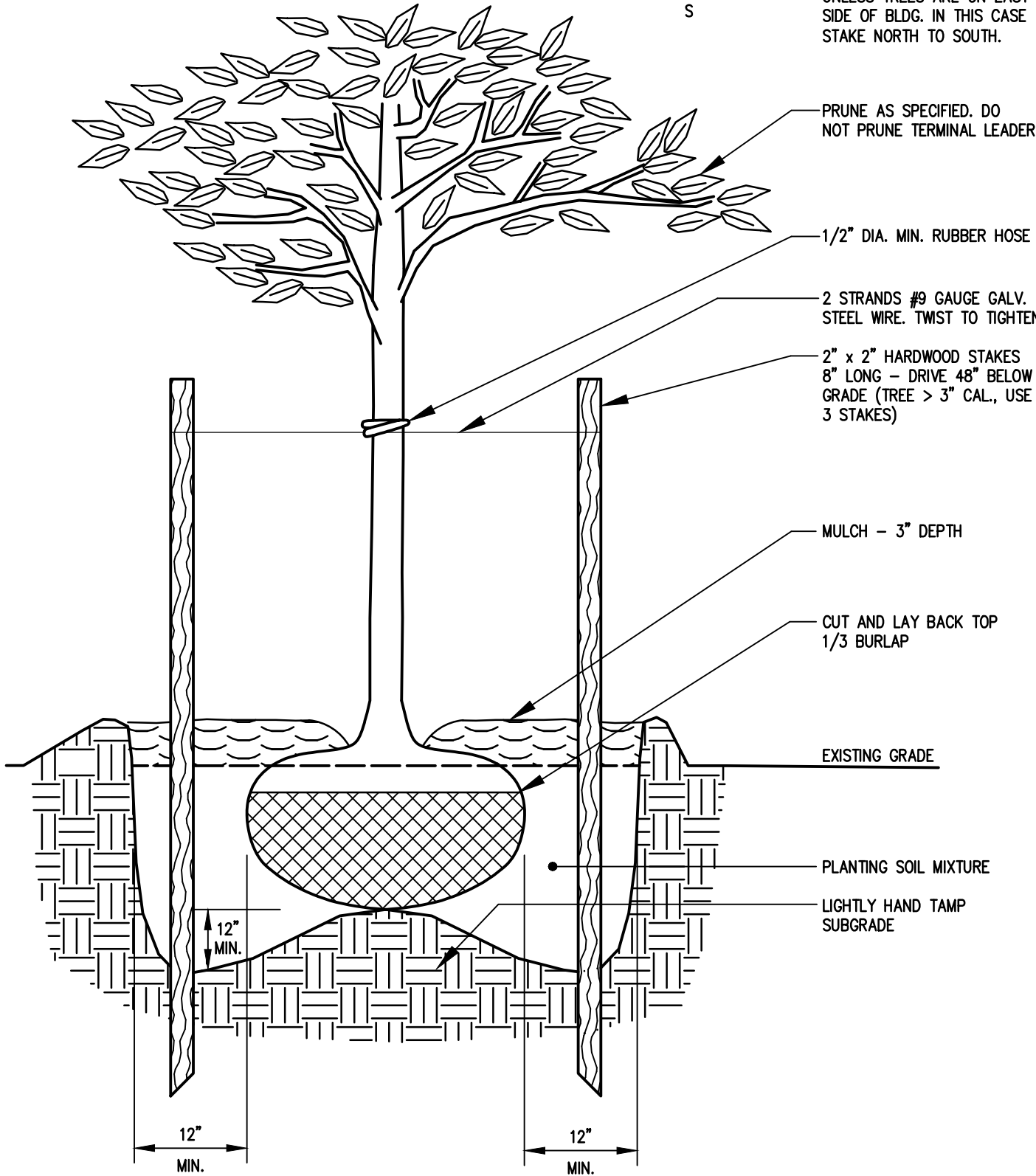
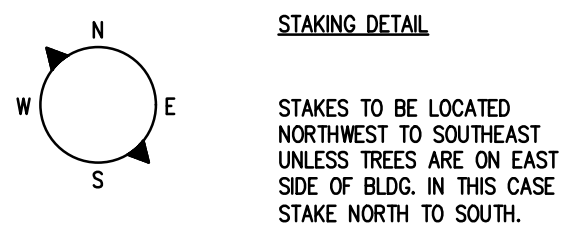
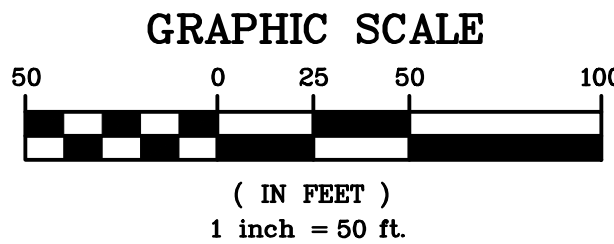
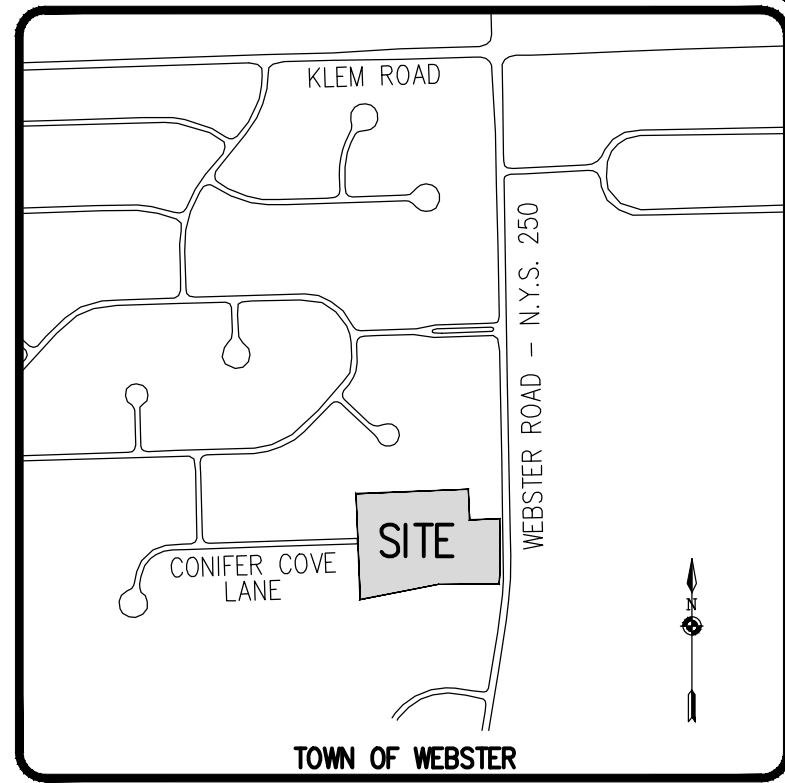
- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, ANSI Z60.1-2004.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFFS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE HORIZONTAL LINE OF UNDERGROUND UTILITIES TO THE PLANT BALL.
- ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE HORIZONTAL LINE OF OVERHEAD UTILITIES TO THE PLANT BALL.
- PLANTING SOIL MIXTURE SHALL HAVE A RATIO BY VOLUME OF FOUR PARTS TOPSOIL TO ONE PART PEAT. SOIL AMENDMENTS TO BE MODIFIED PER INDIVIDUAL PLANT MATERIAL REQUIREMENTS.
- STAKE TREES IMMEDIATELY AFTER PLANTING. REFER TO DETAIL.
- SEED ALL AREAS NOT PAVED, PLANTED OR SPECIFIED OTHERWISE WITH LAWN SEED.

LAWN SEED MIXTURE SHALL BE PROVIDED AS FOLLOWS:	% BY WEIGHT	% BY PURITY	% GERM
'REPELL', 'CITATION' & 'MORNING STAR'			
PERENNIAL RYE GRASS	40	85	85
'JAMESTOWN II', 'FORTRESS', 'ENSYLVA'			
RED FESCUE	20	97	80
'BARON' & 'MIDNIGHT'			
KENTUCKY BLUEGRASS	40	85	80

SEEDING RATE: 6.0 LBS PER 1,000 SF.
MULCH: STRAW AT TWO TONS PER ACRE, OR WOOD FIBER MULCH
USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TACKIFIER.
STARTING FERTILIZER: 5:10:10 AT 20 LBS PER 1,000 SF.

PLEASE REFER TO BME DRAWING # 2910-05 / EROSION CONTROL PLAN FOR FURTHER SEEDING REQUIREMENTS IE.: TEMPORARY SEEDING AND SPECIALIZED SEED MIXES.

- PROPOSED PLANT MATERIALS SHALL BE FIELD LOCATED, AND THE CONTRACTOR SHALL PERFORM A ROUGH STAKEOUT OF PLANTINGS FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF PLANT MATERIALS AND SEEDING AREAS UNTIL FINAL ACCEPTANCE.
- A MINIMUM 1 YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM DATE OF FINAL ACCEPTANCE.
- INDIVIDUAL LOT LANDSCAPING SHALL BE PROVIDED AT THE DISCRETION OF LOT OWNERS.



TREE PLANTING DETAIL

N.T.S. APPROVALS

BY: TOWN ENGINEER	DATE:
BY: TOWN DIRECTOR OF COMMUNITY DEVELOPMENT	DATE:
BY: TOWN ASSESSOR	DATE:
BY: FIRE MARSHAL	DATE:
BY: PLANNING BOARD CHAIRMAN	DATE:
BY: WEBSTER SEWER DISTRICT	DATE:
BY: HIGHWAY SUPERINTENDENT	DATE:

SITE PLANT MATERIALS LIST

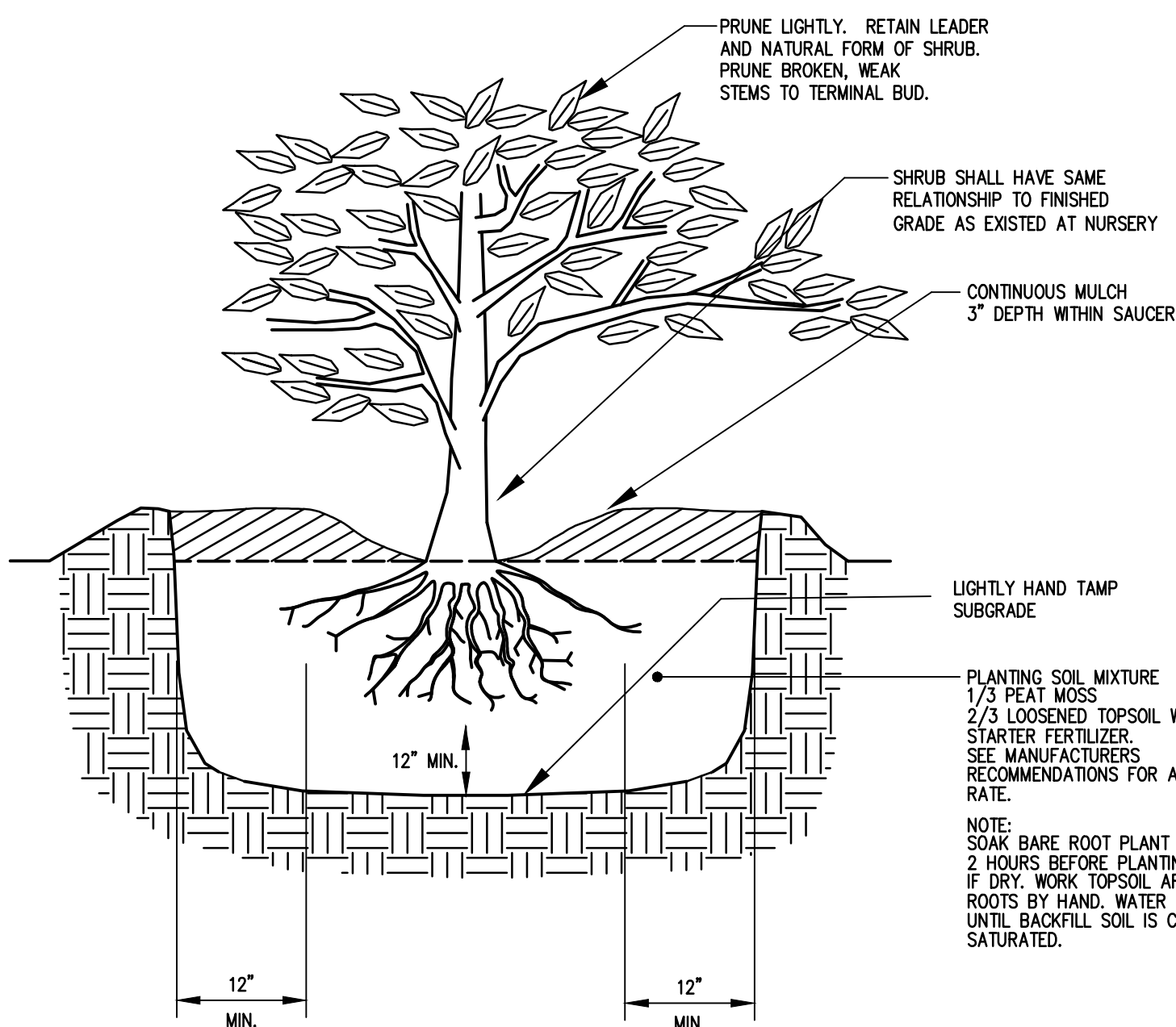
QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
TREES						
1	AS	Acer saccharum	Sugar Maple	2"-2.5 cal	B&B	
14	PC	Picea glauca 'Densata'	Black Hills Spruce	2"-2.5 cal	B&B	
12	PS	Pinus strobus	White Pine	2"-2.5 cal	B&B	
2	QB	Quercus bicolor	Swamp White Oak	2"-2.5 cal	B&B	
2	QR	Quercus rubra	Red Oak	2"-2.5 cal	B&B	
SHRUBS						
6	CR	Cornus racemosa	Gray Dogwood	18"	BARE	
6	HV	Hamamelis virginiana	Witch Hazel	18"	BARE	
6	IV	Ilex verticillata	Winterberry	18"	BARE	

GROUND COVER SEEDING LEGEND

	STORMWATER MANAGEMENT BIORETENTION AREA SEED MIX: "RAIN GARDEN MIX", ERNST CONSERVATION SEEDS, ERNMX-180; SEEDING RATE: 20 LBS/AC OR 1/2 LB/1,000 SF.
	STORMWATER MANAGEMENT SIDE SLOPE SEED MIX: "WETLAND MEADOW MIX", ERNST CONSERVATION SEEDS, ERNMX-122; SEEDING RATE: 20 LBS/AC OR 1/2 LB/1,000 SF.

LEGEND

	BOUNDARY LINE
	PROPOSED LOT LINE
	EXISTING WATERMAIN, HYDRANT, AND VALVE
	PROPOSED WATERMAIN, HYDRANT, AND VALVE
	PROPOSED WATER SERVICE AND CURBSTOP
	EXISTING STORM SEWER, MANHOLE, AND INLET
	PROPOSED STORM SEWER, MANHOLE, AND INLET
	PROPOSED STORM LATERAL AND CLEANOUT
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY LATERAL AND CLEANOUT
	EXISTING TREE LINE
	PROPOSED TREE LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE



BARE ROOT SHRUB PLANTING DETAIL

N.T.S.

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REVISIONS	DATE	BY
7		
6		
5		
4		
3		
2	10/22/24	AND
1	7/16/24	AS

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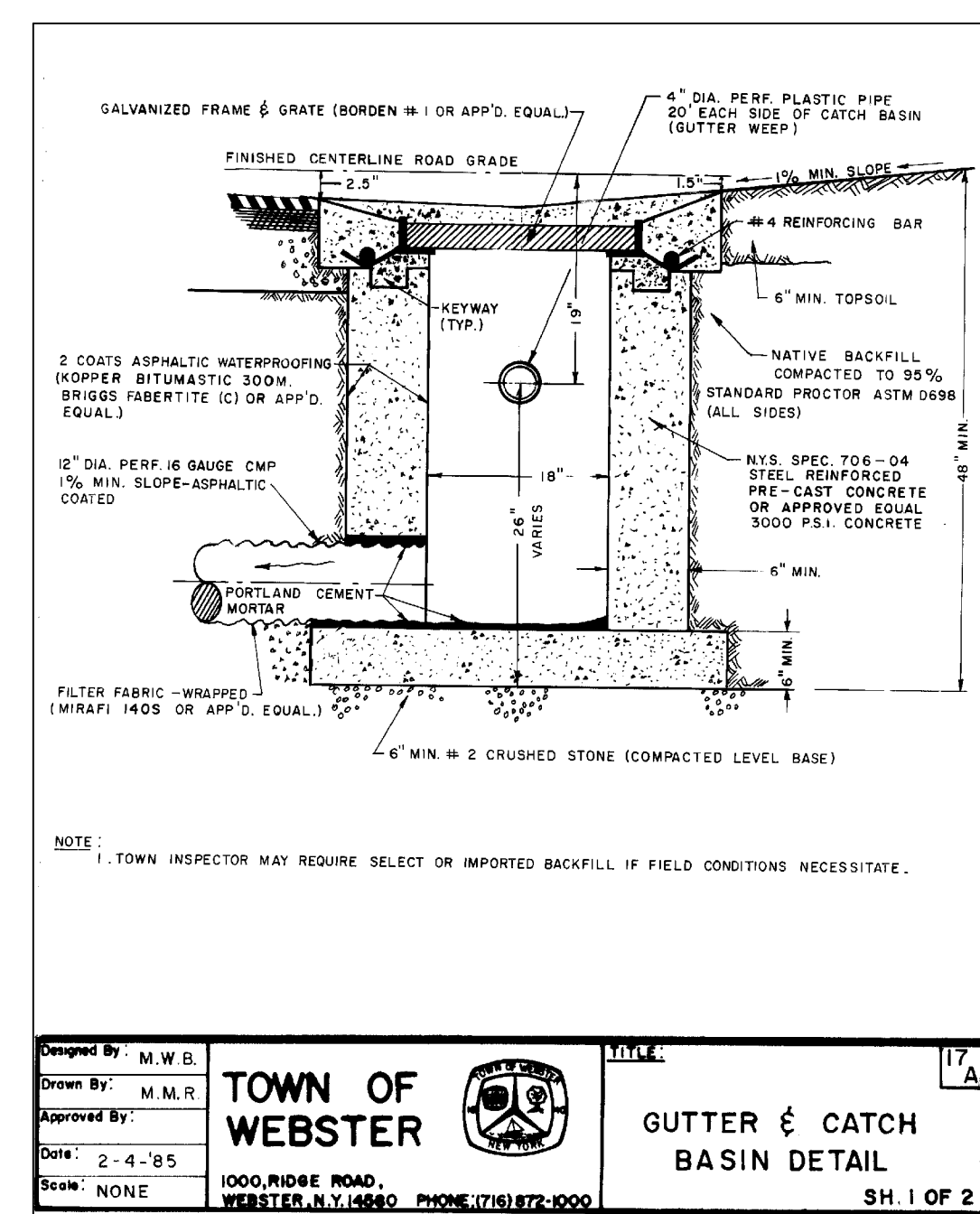
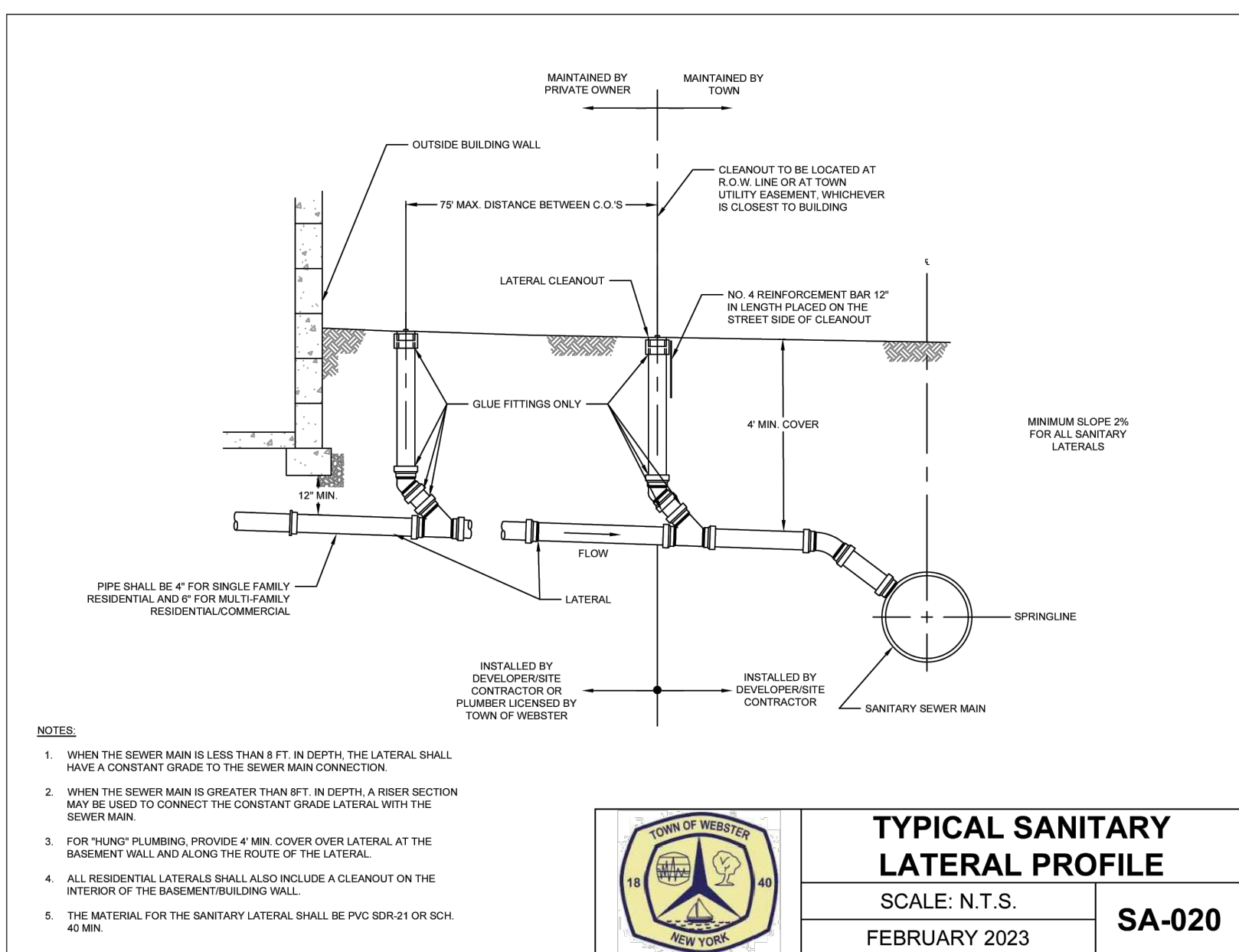
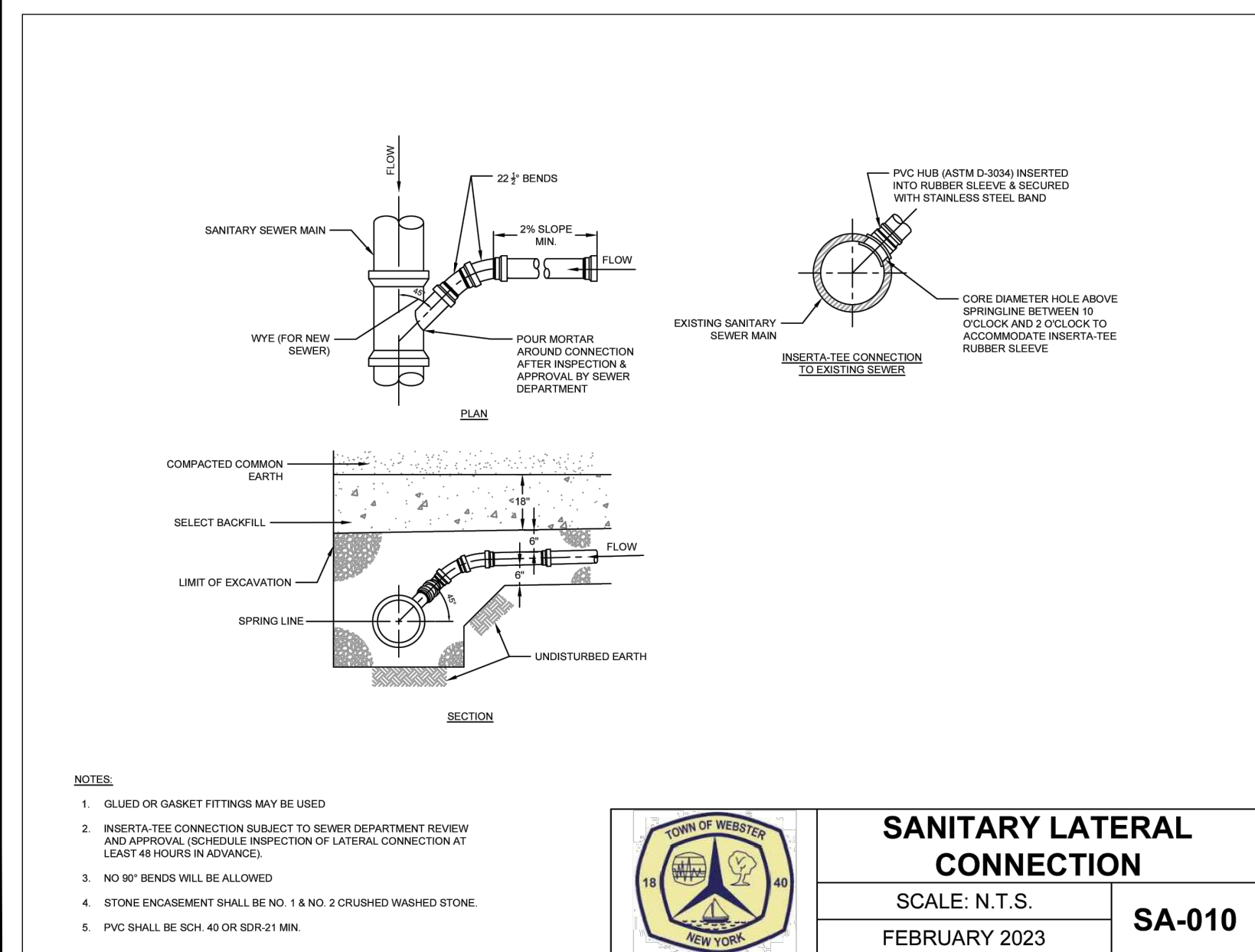
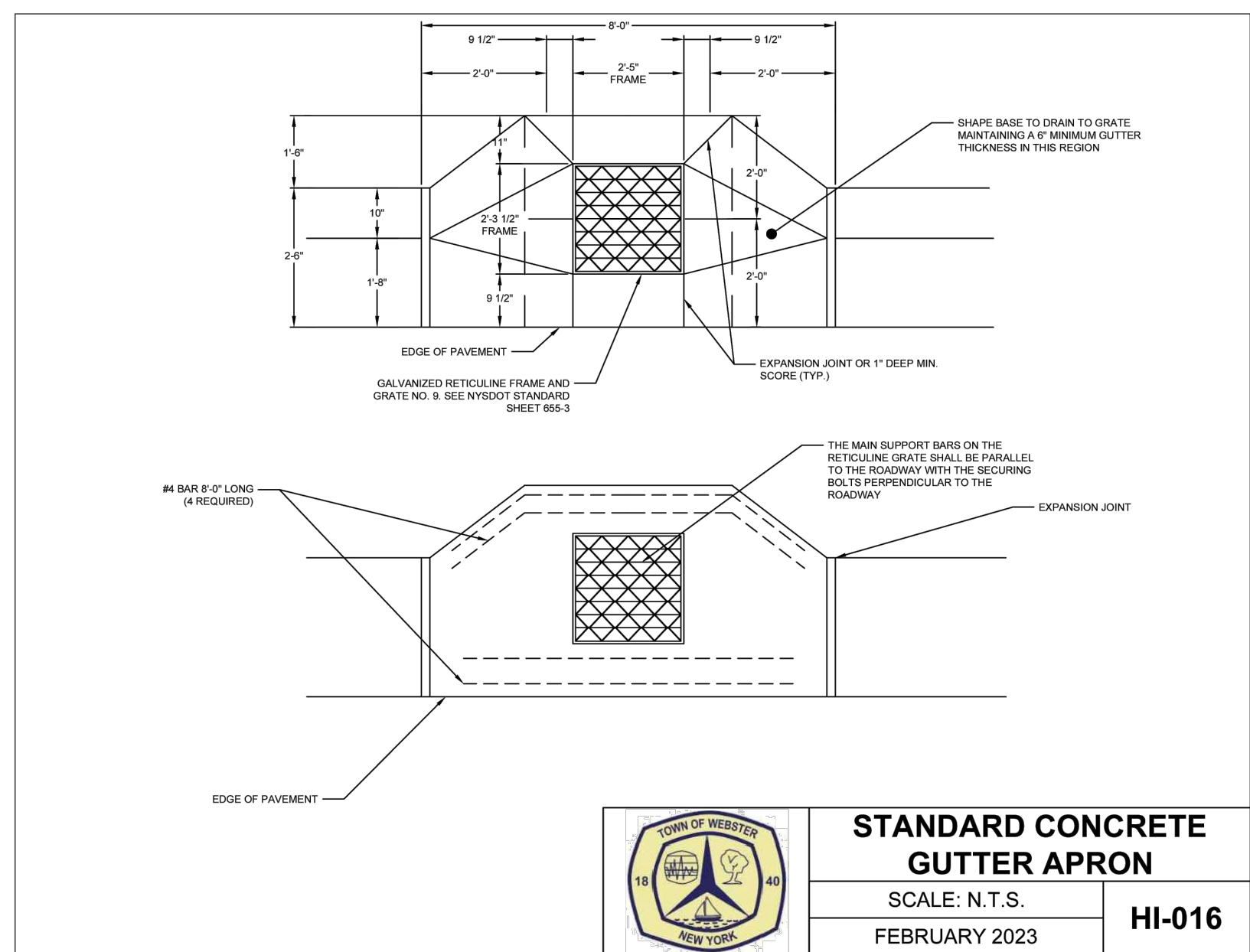
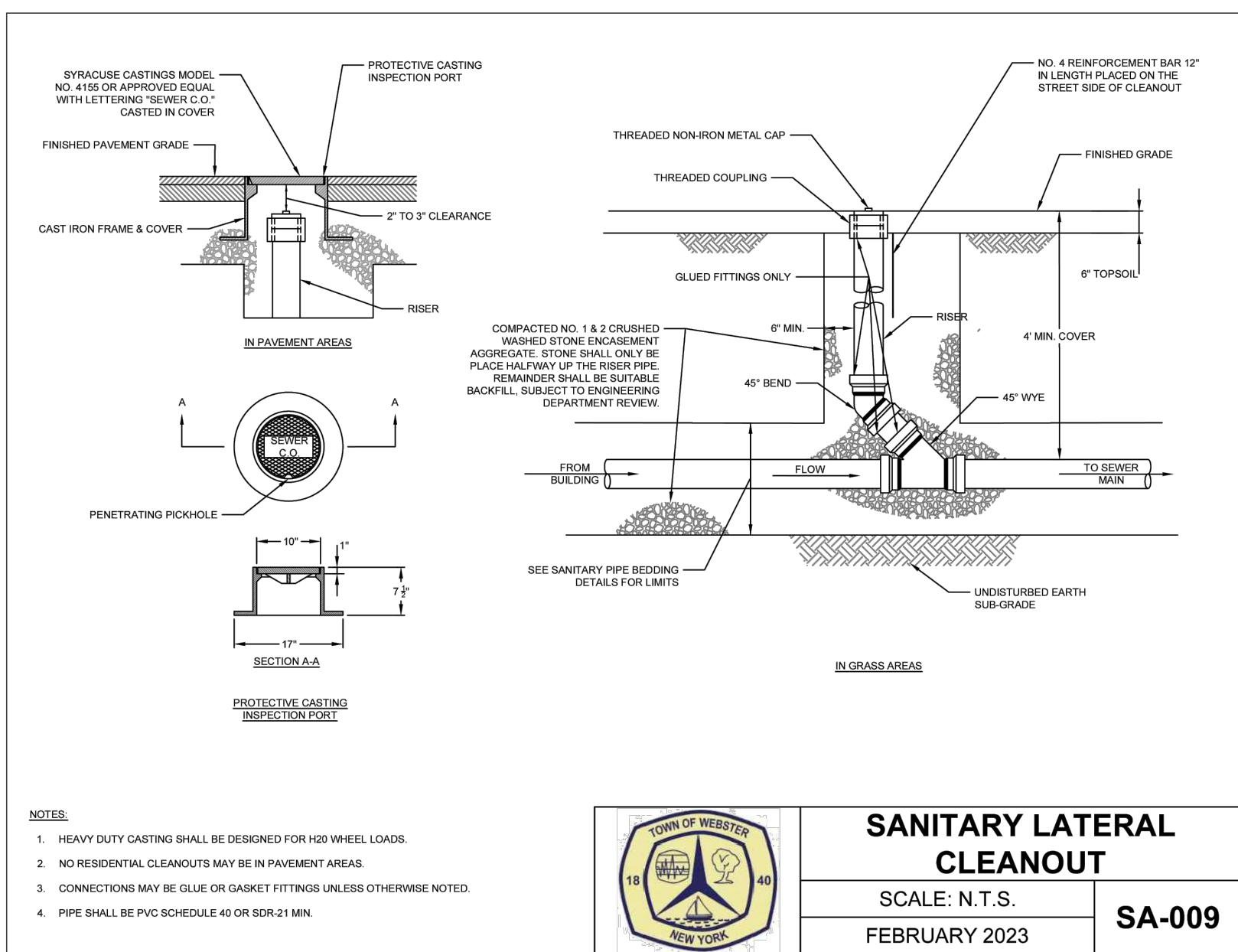
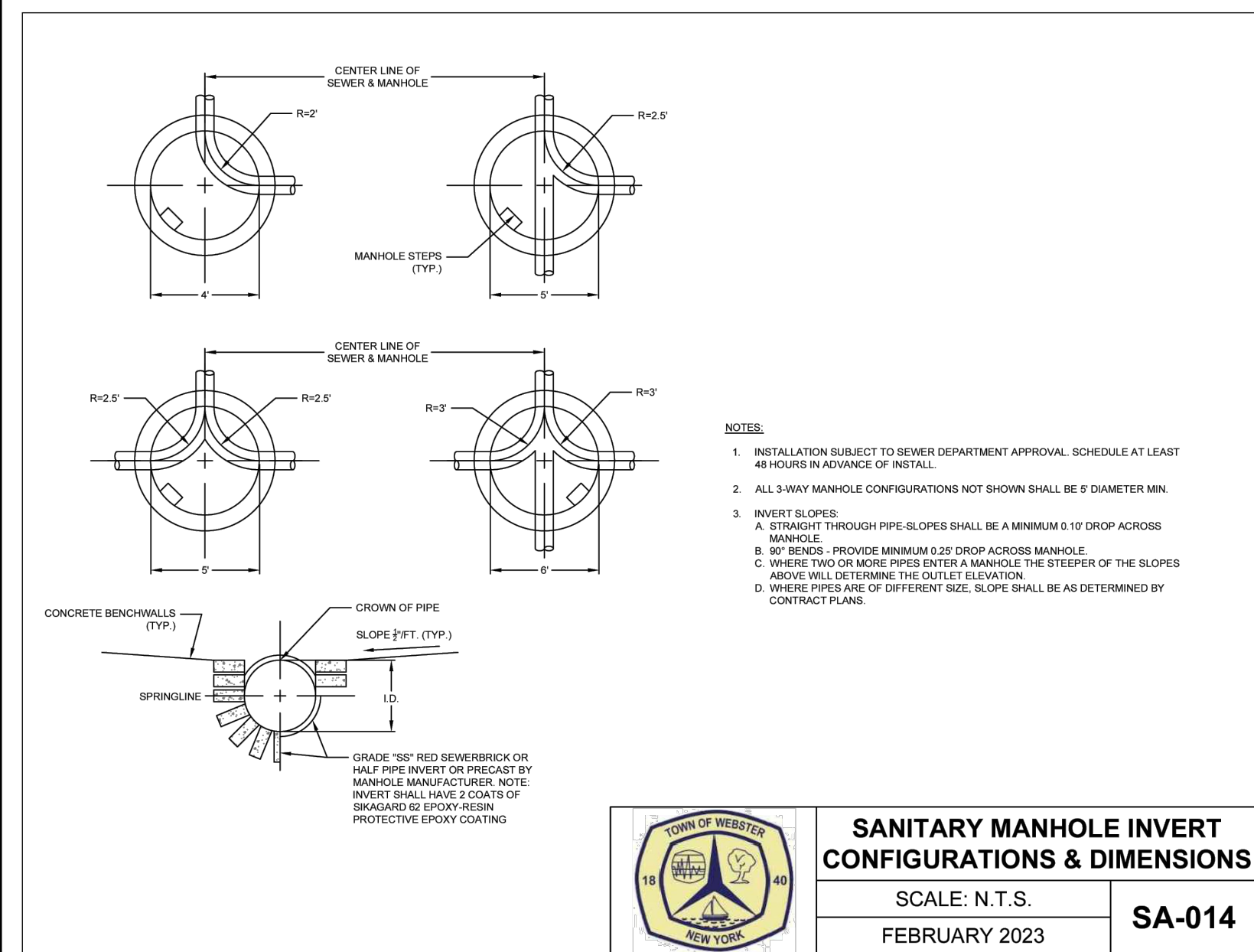
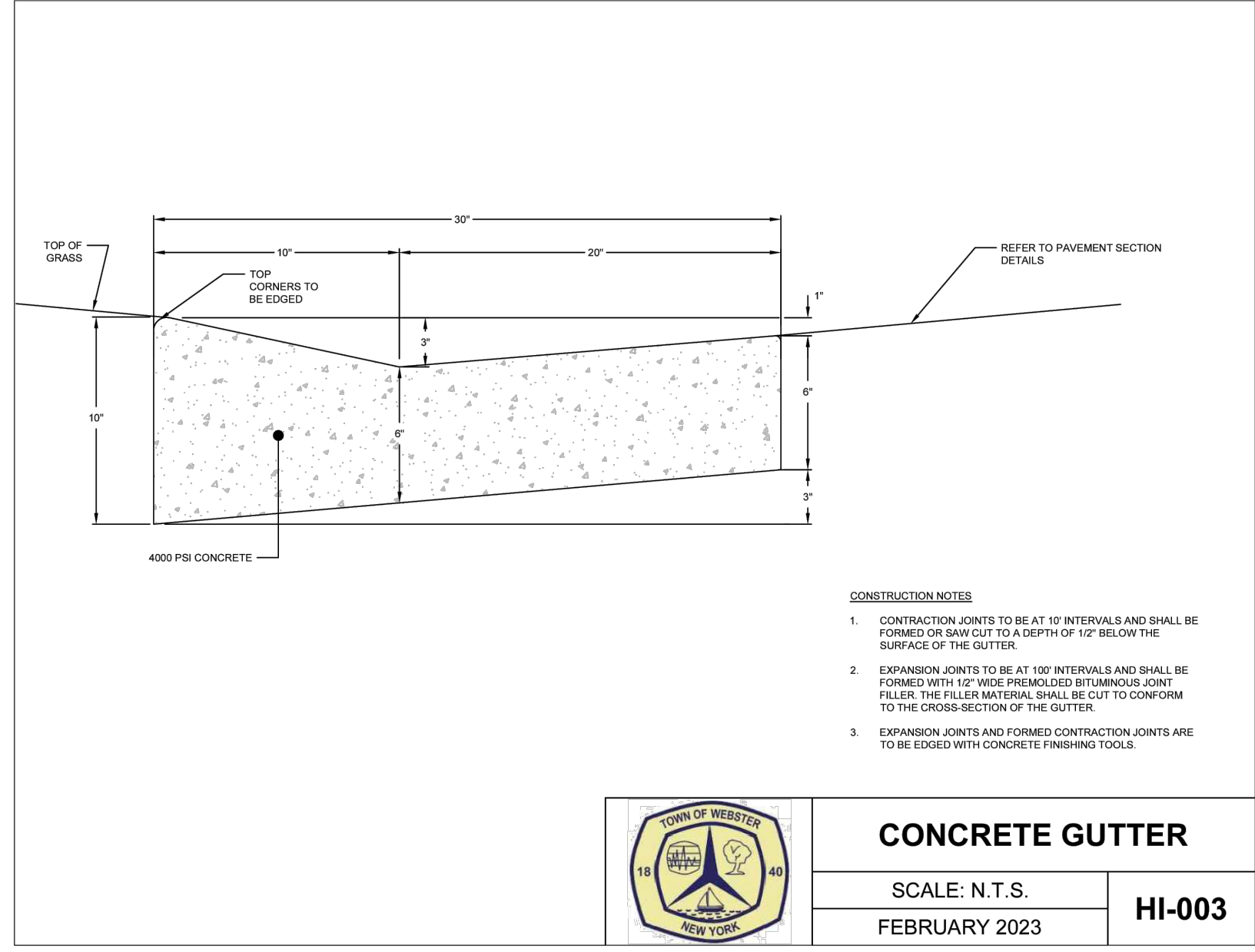
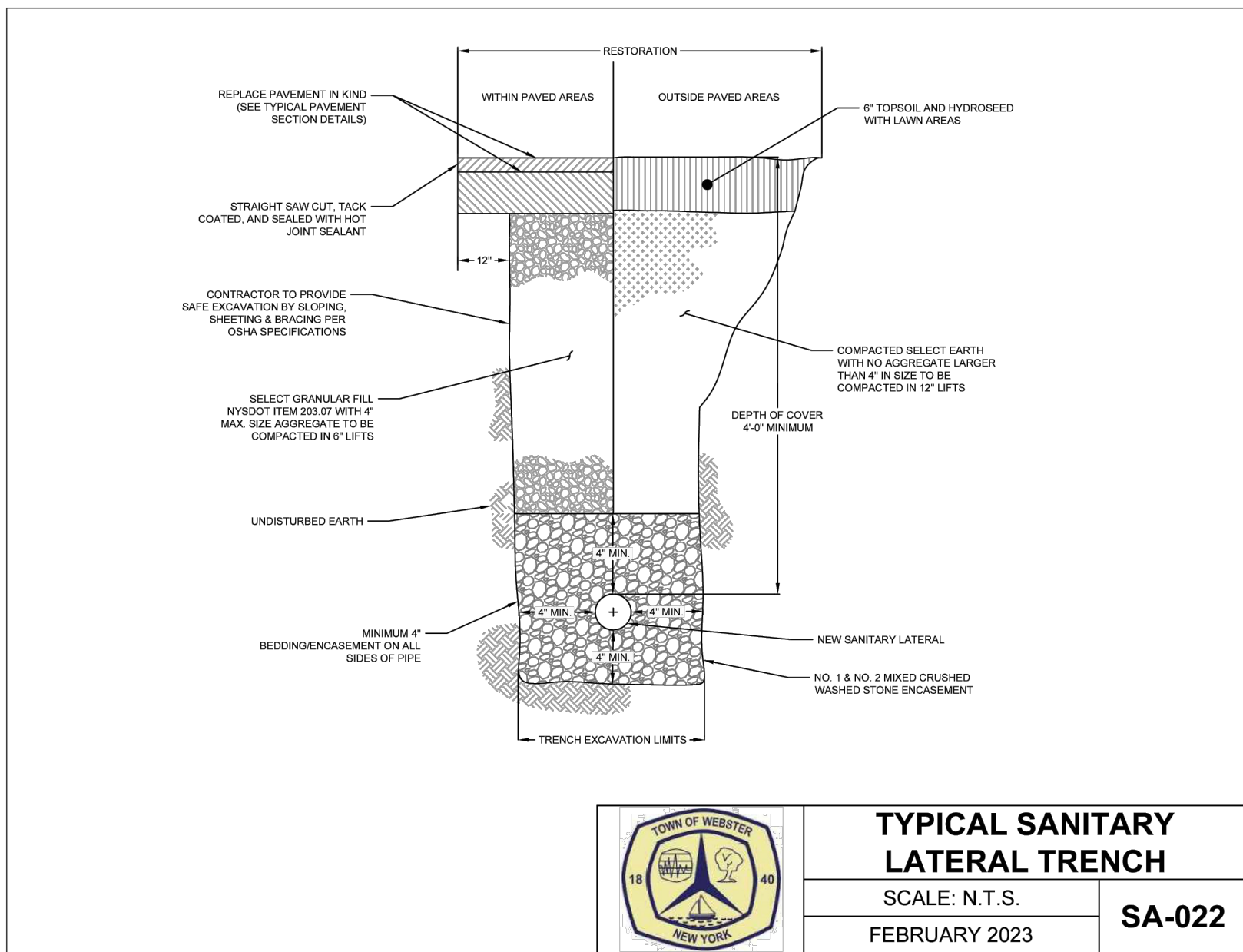
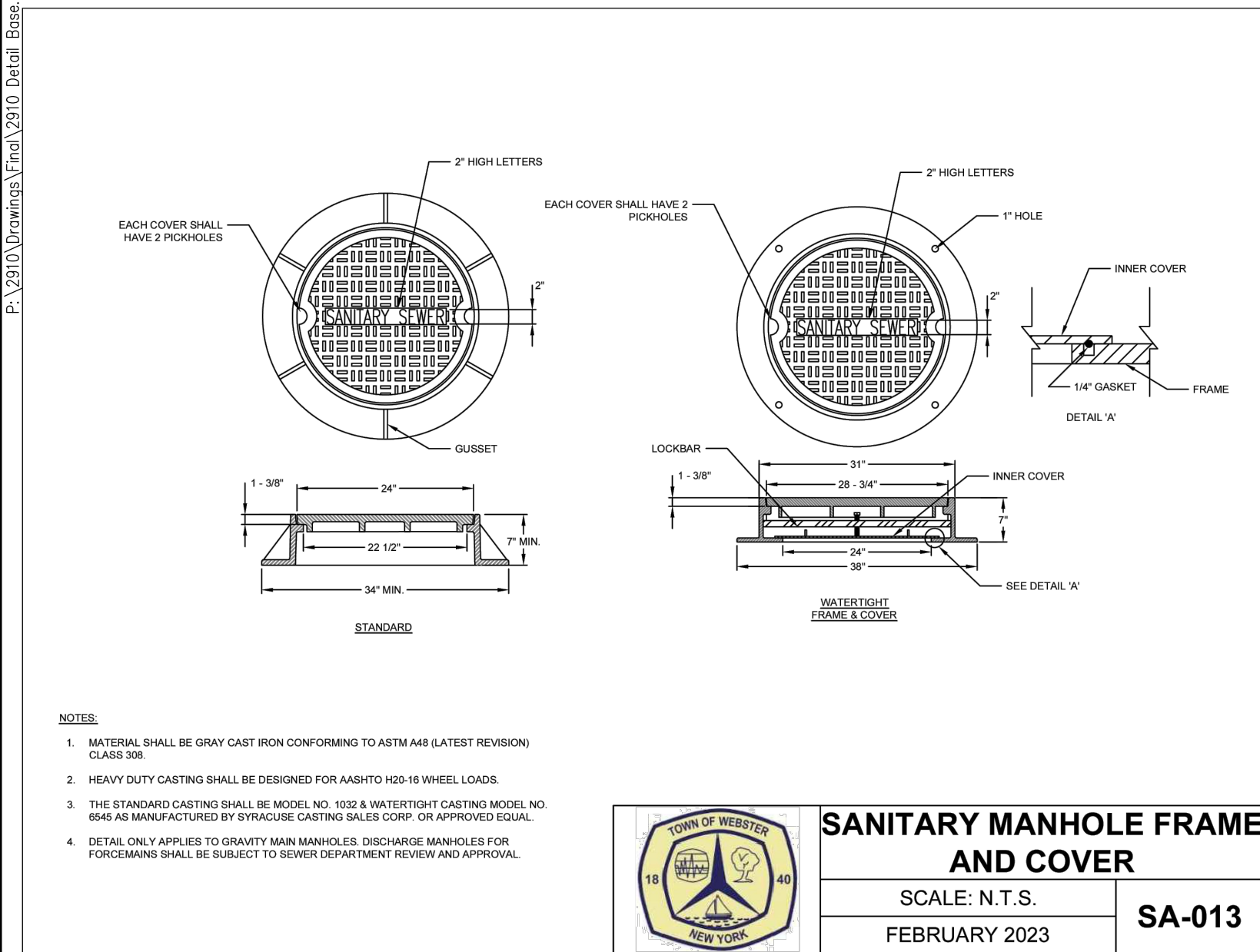
BIRDSONG AT CONIFER COVE
TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE
GROVE UNIVERSAL PROPERTIES, LLC
ONE UNIVERSITY COURT
ROCHESTER, NY 14620

LANDSCAPE PLAN

PROJECT LOCATION CLIENT	PROJECT MANAGER PG VARS PROJECT ENGINEER FA SHELLEY DRAWN BY JR SQUIER
SCALE 1" = 50'	DATE ISSUED MAY 14, 2024
PROJECT NO.	

DRAWING NO.	2910
	07

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APPROVALS

BY: _____ DATE: _____
TOWN ENGINEER

BY: _____ DATE: _____
TOWN DIRECTOR OF COMMUNITY DEVELOPMENT

BY: _____ DATE: _____
TOWN ASSESSOR

BY: _____ DATE: _____
FIRE MARSHAL

BY: _____ DATE: _____
PLANNING BOARD CHAIRMAN

BY: _____ DATE: _____
WEBSTER SEWER DISTRICT

BY: _____ DATE: _____
HIGHWAY SUPERINTENDENT

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7	6	5	4	3	2	1	REVISIONS	DATE	BY
							REVISED LAYOUT PER TOWN & AGENCY COMMENTS	10/22/24	AND
							REVISED LAYOUT PER TOWN & AGENCY COMMENTS	7/16/24	AND

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565-377-7360

10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450



BIRDSONG AT CONIFER COVE

TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE

GROVE UNDERGROUND PROPERTIES, LLC
1000 RIDGE ROAD, WEBSTER, NY 14590

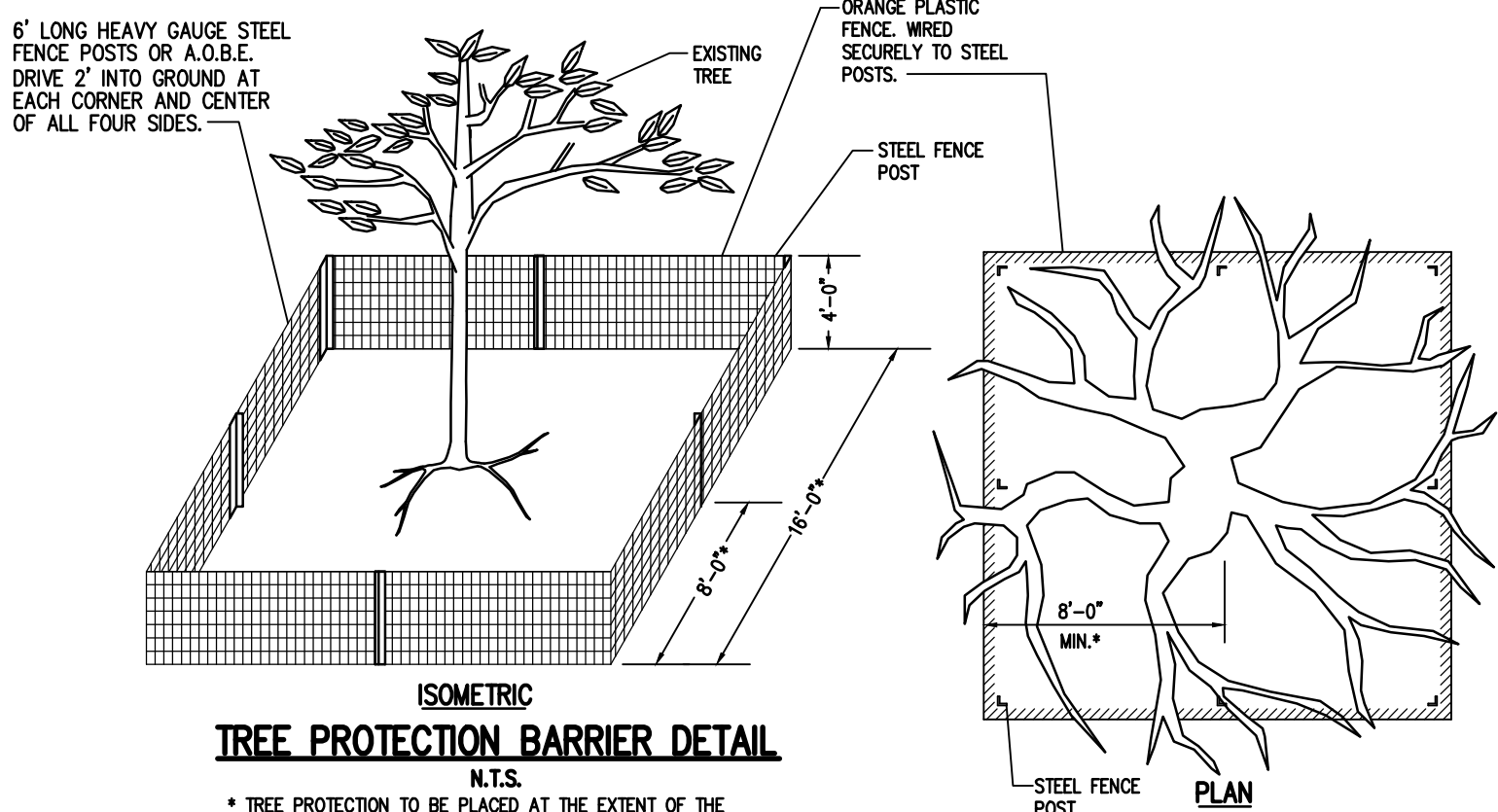
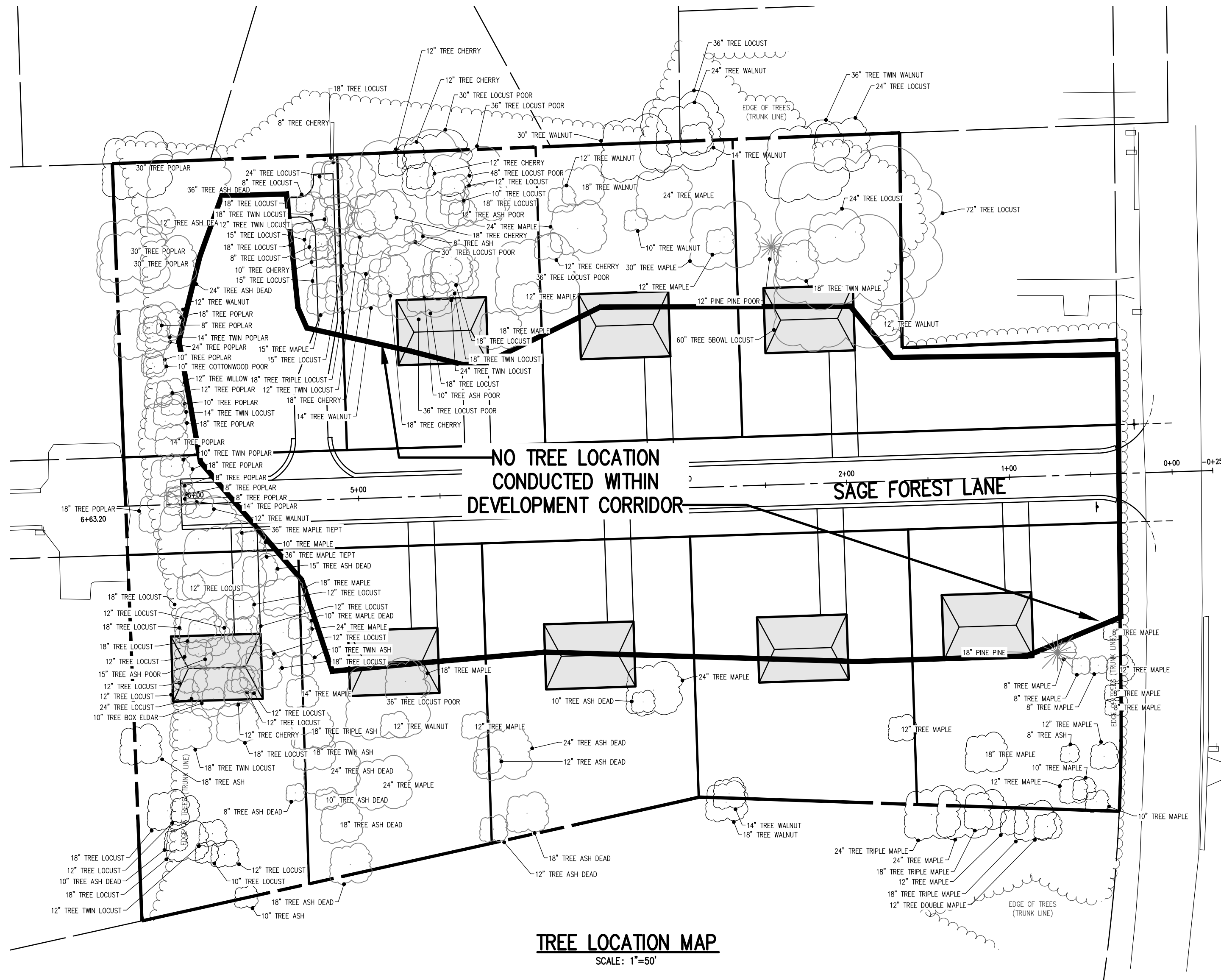
PRELIMINARY/FINAL DETAIL SHEET

PROJECT LOCATION CLIENT DRAWING TITLE

PROJECT MANAGER

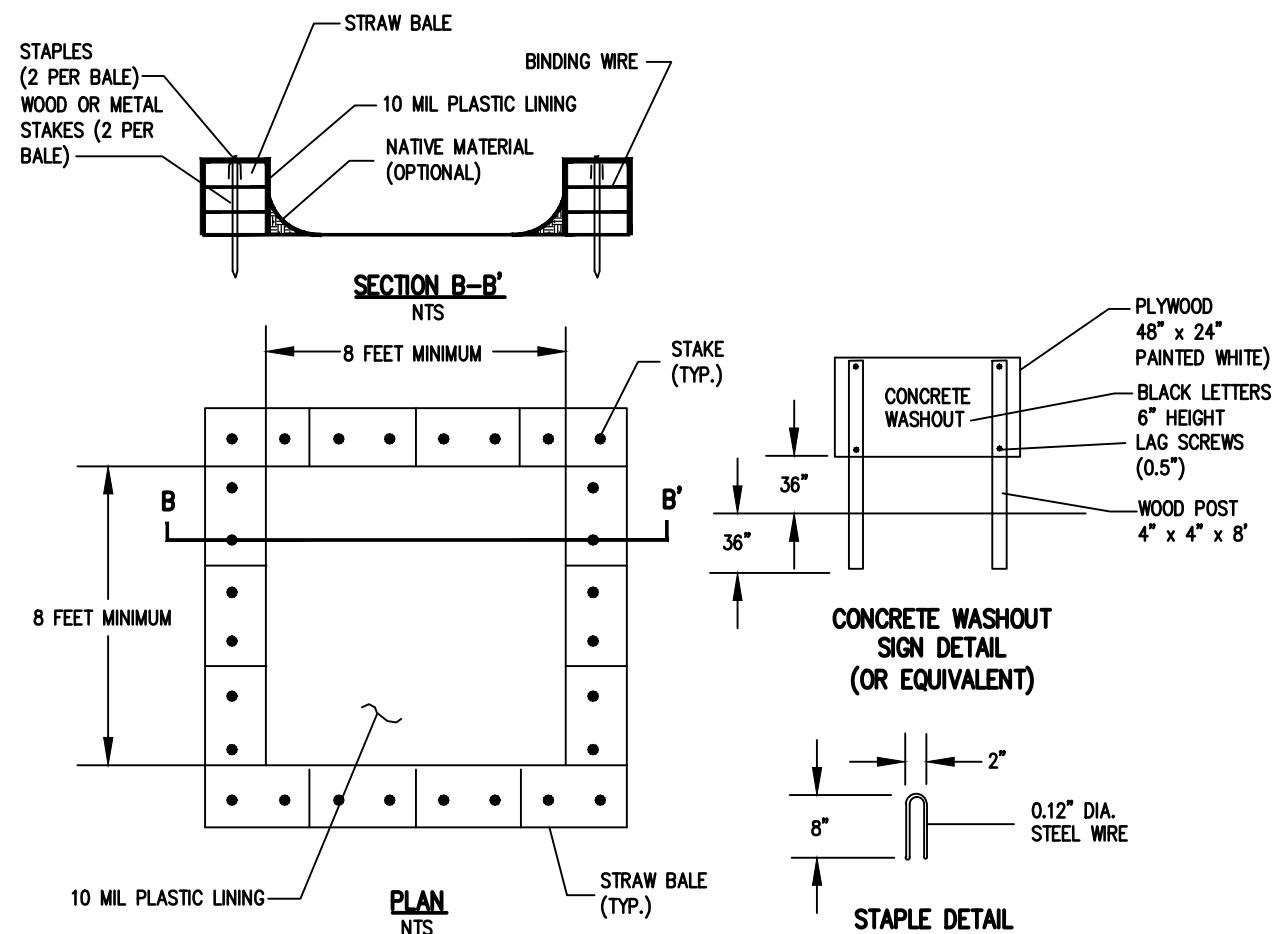
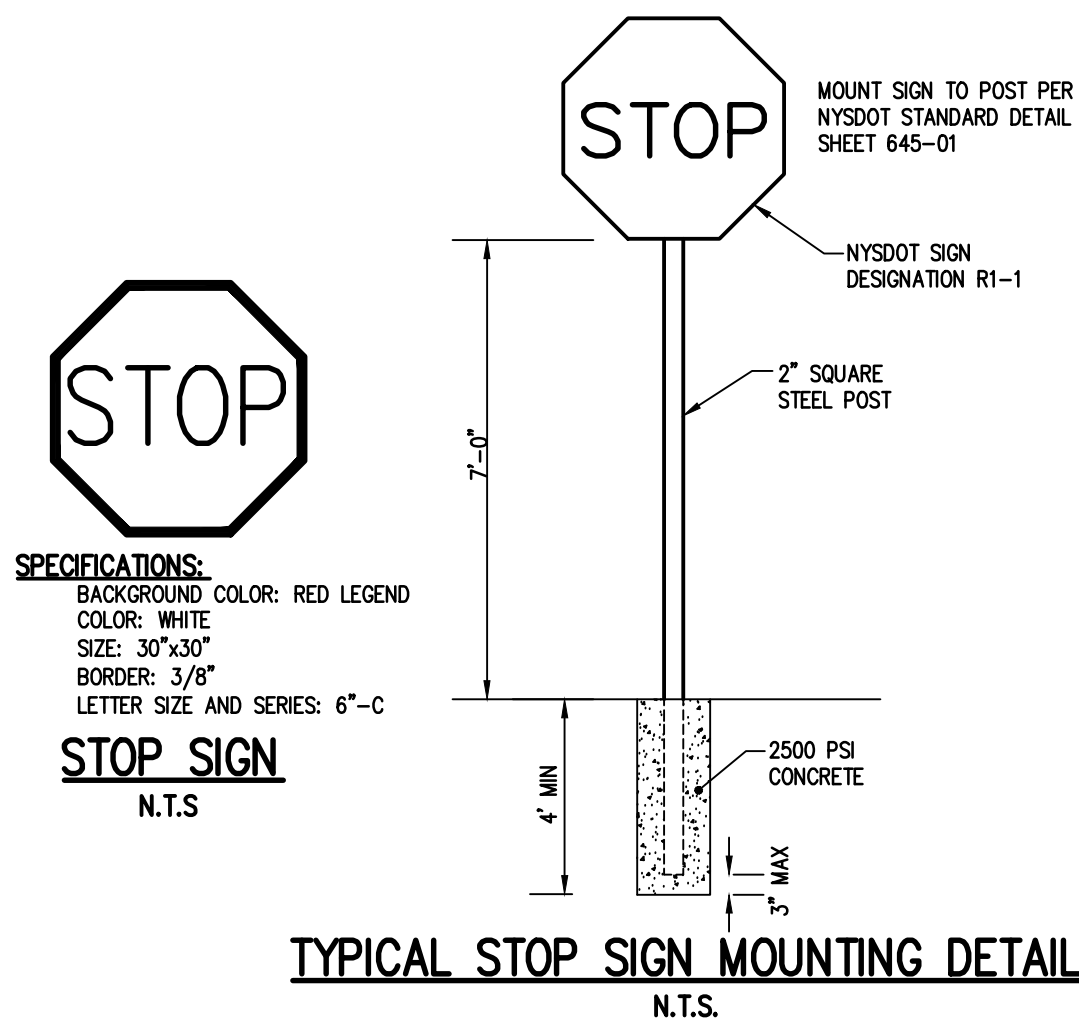
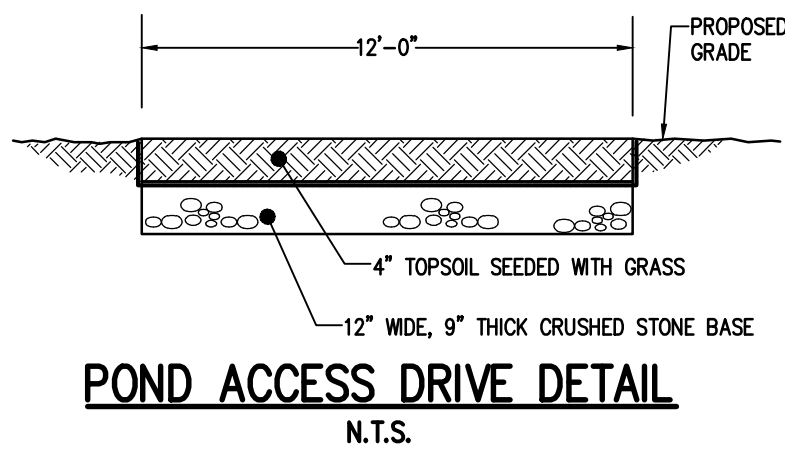
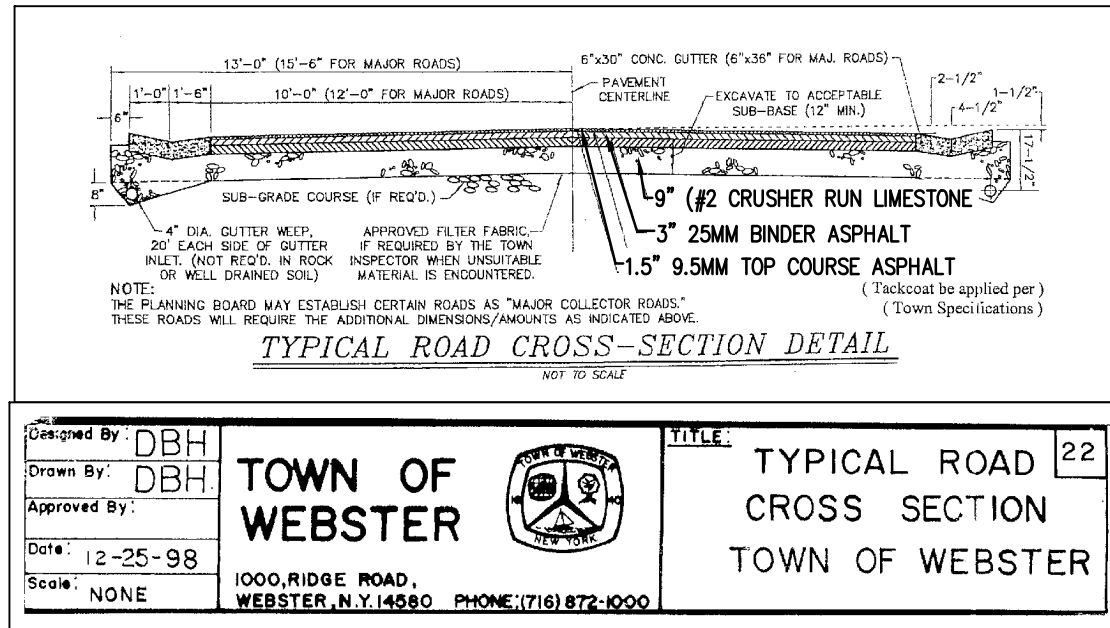
PG VARS
PROJECT ENGINEER
FA SHELLEY
DRAWN BY
AN D'ANGELO
DATE ISSUED
N.T.S. MAY 14, 2024
PROJECT NO.
2910
DRAWING NO.
10
(SHEET 2 OF 4)

P:\2910 Drawings\Final\2910 Detail Base.dwg



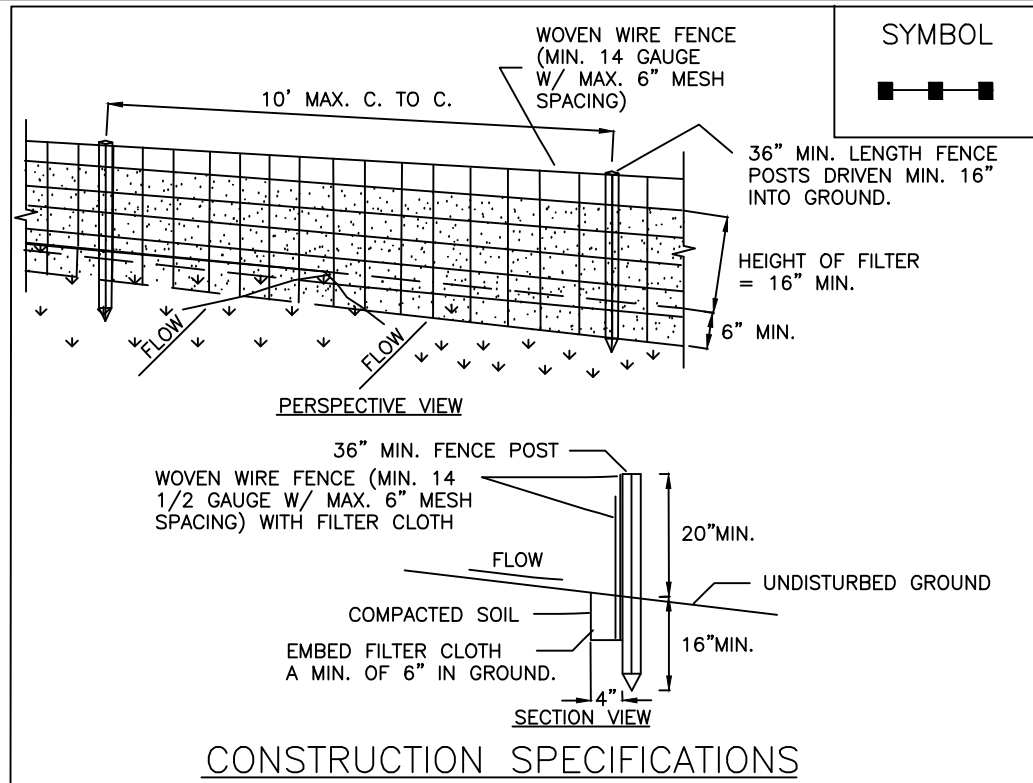
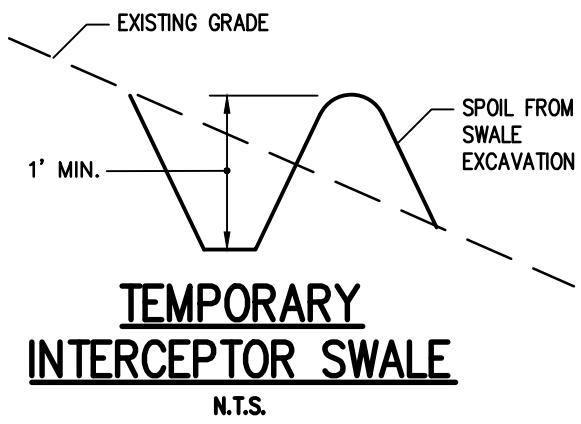
TREE PROTECTION BARRIER DETAIL
N.T.S.

* TREE PROTECTION TO BE PLACED AT THE EXTENT OF THE DRIPLINE OF THE TREE TO BE PROTECTED



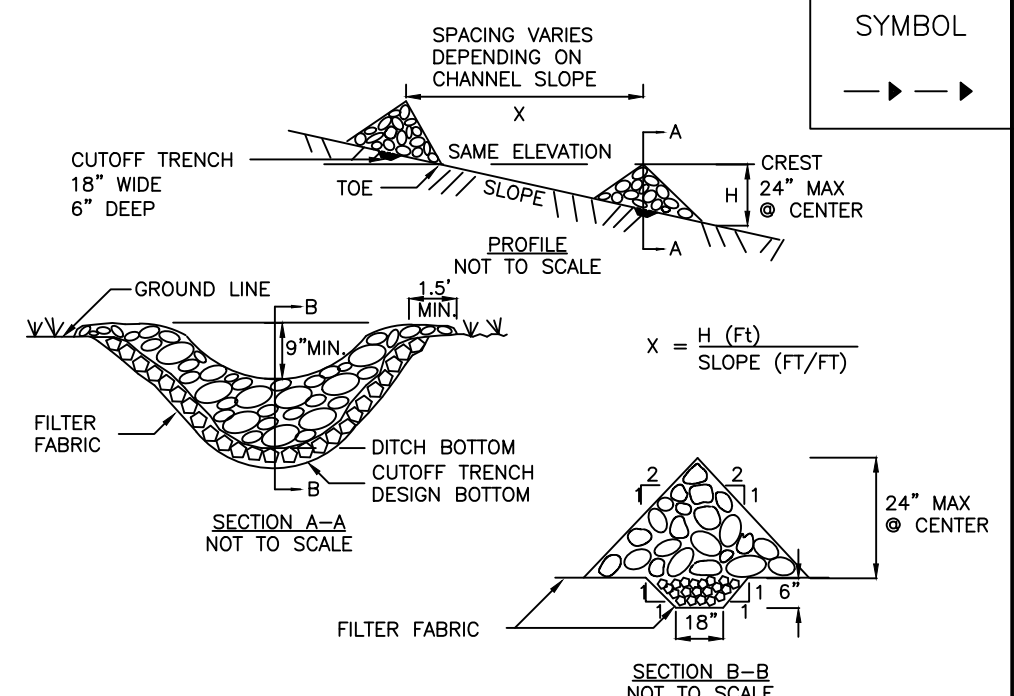
- NOTES:**
1. ACTUAL LAYOUT DETERMINED IN THE FIELD. LOCATE THE FACILITY A MINIMUM OF 100 FEET FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS AND OTHER SURFACE WATERS.
 2. THE MINIMUM SIZE SHALL BE 8 FEET BY 8 FEET AT THE BOTTOM AND 2 FEET DEEP. IF EXCAVATED, THE SIDE SLOPES SHALL BE 2 HORIZONTAL TO 1 VERTICAL.
 3. WASHOUT STATION SHOULD BE CLEANED WHEN CONCRETE ACCUMULATES TO 75% OF THE STORAGE VOLUME. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF OFF SITE.
 4. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 5. THE PLASTIC LINER SHALL BE REPLACED WHENEVER THE LINER IS TORN, PUNCTURED, OR THE WASHOUT IS EMPTIED.

CONCRETE WASHOUT DETAIL
N.T.S.



- CONSTRUCTION SPECIFICATIONS**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "I" OR "U" TYPE OR HARDWOOD.
 2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 4. PREFABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE



- CONSTRUCTION SPECIFICATIONS**
1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
 2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
 4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM DRAINAGE AREA 2 ACRES.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

APPROVALS

BY: TOWN ENGINEER	DATE:
BY: TOWN DIRECTOR OF COMMUNITY DEVELOPMENT	DATE:
BY: TOWN ASSESSOR	DATE:
BY: FIRE MARSHAL	DATE: N.T.S.
BY: PLANNING BOARD CHAIRMAN	DATE:
BY: WEBSTER SEWER DISTRICT	DATE:

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "Altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
7		
6		
5		
4		
3		
2		
1	10/22/24	AND

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
WWW.BMEPC.COM
10 LIFT BRIDGE LANE EAST FAIRPORT, NEW YORK 14450
565-377-7360



BIRDSONG AT CONIFER COVE
TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE
GROVE UNDERLAND PROPERTIES, LLC
100 WILKINSON COURT
ROCHESTER, NY 14620
PRELIMINARY/FINAL
DETAIL SHEET

PROJECT	LOCATION	CLIENT	DRAWING TITLE
PROJECT MANAGER	PG. VARS	PROJECT ENGINEER	FA. SHELLEY
DRAWN BY	AN D'ANGELO	DATE ISSUED	N.T.S. JULY 16, 2024
SCALE	N.T.S.	DATE	
PROJECT NO.	2910		
DRAWING NO.	12		
	(SHEET 4 OF 4)		