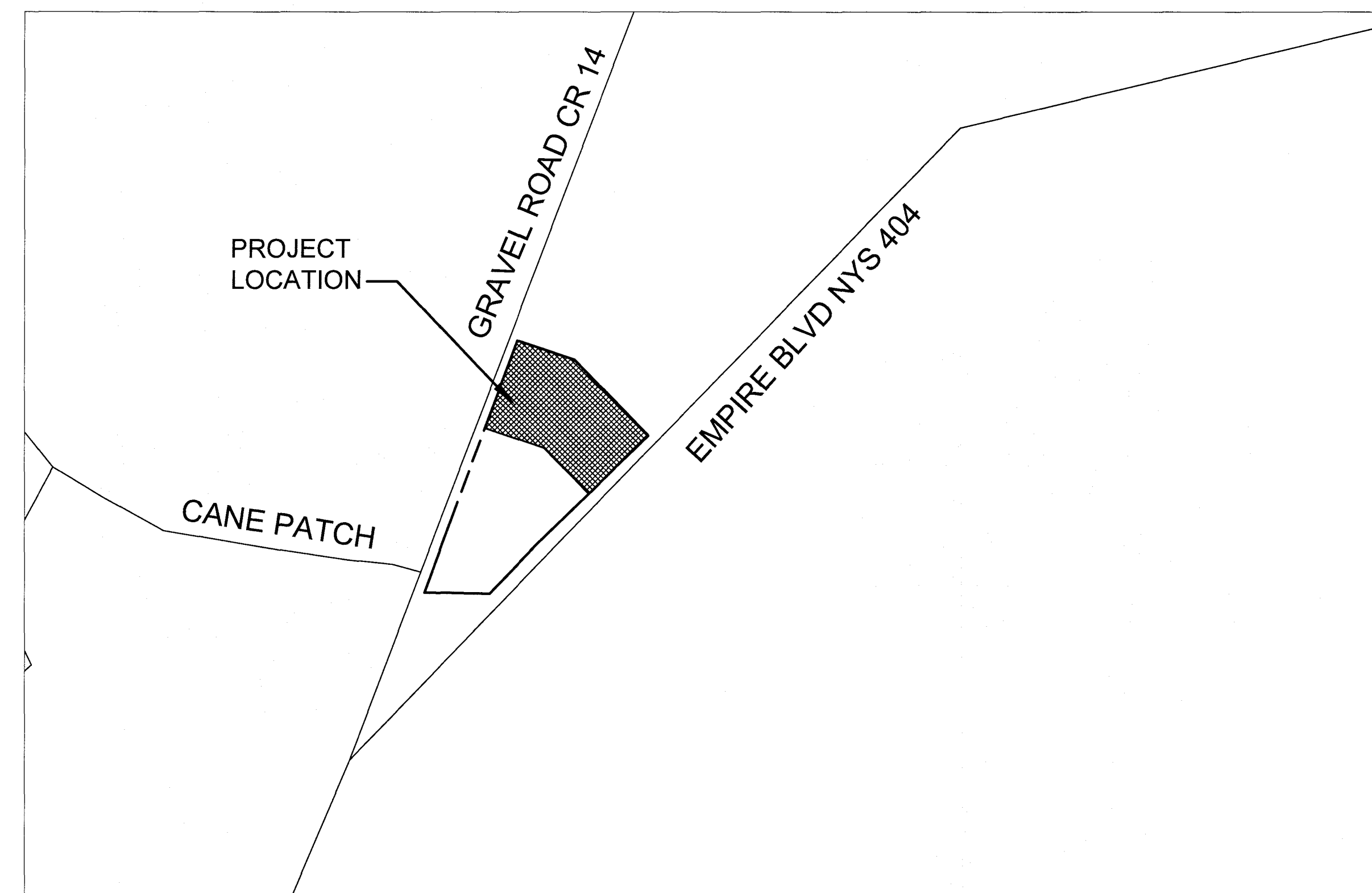


PRELIMINARY/FINAL SITE PLANS for THE HUMAN BEAN DRIVE THRU RESTAURANT

2195 EMPIRE BLVD

SITUATE IN:

TOWN OF WEBSTER - MONROE COUNTY - STATE OF NEW YORK



LOCATION MAP

NOT TO SCALE



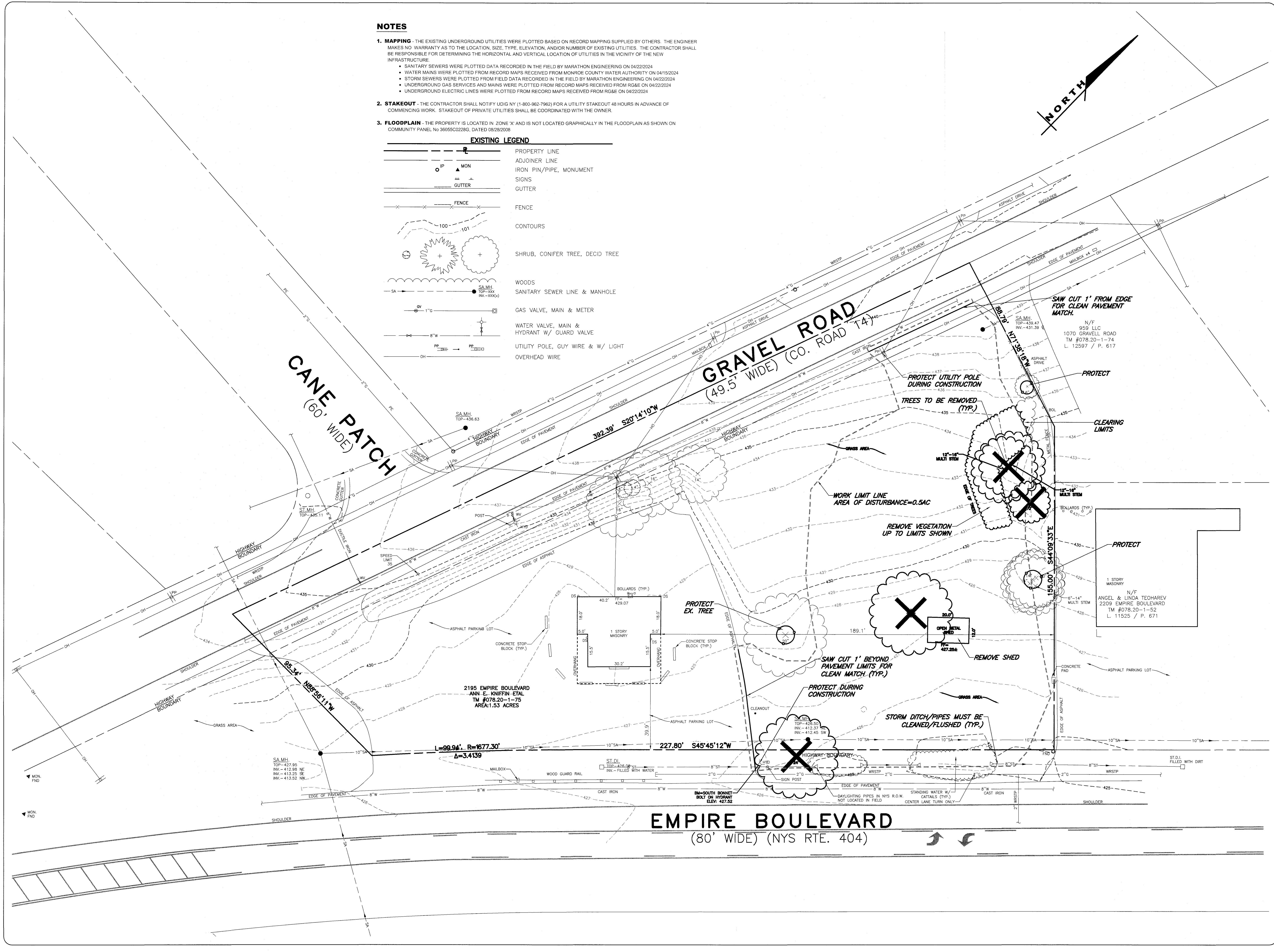
ROCHESTER LOCATION
39 CASCADE DRIVE
ROCHESTER, NY 14614
585-458-7770

ITHACA LOCATION
840 HANSHAW RD, STE 6
ITHACA, NY 14850
607-241-2917
www.marathoneng.com

LIST OF DRAWINGS		
No.	DWG. No.	Description
1	C0.1	NOTES, INFORMATION & SPECIFICATIONS
2	V1.0	EXISTING CONDITIONS
3	C1.0	LAYOUT & UTILITIES PLAN
4	C2.0	GRADING & EROSION CONTROL PLAN
5	C3.0	LIGHTING & LANDSCAPING PLAN
6	C4.0	CONSTRUCTION DETAILS (1 OF 2)
7	C5.1	CONSTRUCTION DETAILS (2 OF 2)

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1 of 7	C0.1
SHEET No:	
1712-24	DRAWING No:
JOB No:	



NOTES

- MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
 - SANITARY SEWERS WERE PLOTTED DATA RECORDED IN THE FIELD BY MARATHON ENGINEERING ON 04/22/2024
 - WATER MAINS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM MONROE COUNTY WATER AUTHORITY ON 04/15/2024
 - STORM SEWERS WERE PLOTTED FROM FIELD DATA RECORDED IN THE FIELD BY MARATHON ENGINEERING ON 04/22/2024
 - UNDERGROUND GAS SERVICES AND MAINS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM RG&E ON 04/22/2024
 - UNDERGROUND ELECTRIC LINES WERE PLOTTED FROM RECORD MAPS RECEIVED FROM RG&E ON 04/22/2024
- STAKEOUT** - THE CONTRACTOR SHALL NOTIFY UDIG NY (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
- FLOODPLAIN** - THE PROPERTY IS LOCATED IN ZONE 'X' AND IS NOT LOCATED GRAPHICALLY IN THE FLOODPLAIN AS SHOWN ON COMMUNITY PANEL No 36055C0228G, DATED 08/28/2008

EXISTING LEGEND

	PROPERTY LINE
	ADJOINER LINE
	IRON PIN/PIPE, MONUMENT
	SIGNS
	GUTTER
	FENCE
	CONTOURS
	SHRUB, CONIFER TREE, DECID TREE
	WOODS
	SANITARY SEWER LINE & MANHOLE
	GAS VALVE, MAIN & METER
	WATER VALVE, MAIN & HYDRANT W/ GUARD VALVE
	UTILITY POLE, GUY WIRE & W/ LIGHT
	OVERHEAD WIRE

PRELIMINARY/FINAL SITE PLANS for **THE HUMAN BEAN THRU RESTAURANT**

STATE OF NEW YORK

2195 EMPIRE BLVD
MONROE COUNTY

TOWN OF WEBSTER

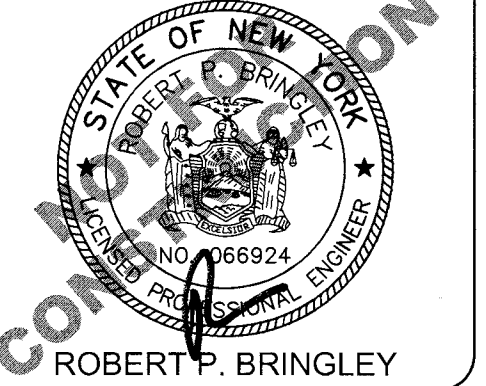
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SCALE: 1"=20'
DRAWN: RLB
DESIGNED: MT
DATE: 07/16/2024

REVISIONS

DATE	BY	REVISION

IF A LOCATION OF NEW YORK STATE EDUCATION LAW ARTICLE 160 SECTION 20(1) IS REQUIRED, THE LOCATION OF THE PROJECT OR A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR. TO ALTER OR ADD ANY INFORMATION TO THE SITE OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A VIOLATION OF THE PROFESSIONAL ENGINEER OR LAND SURVEYOR'S ETHICS AND A VIOLATION OF THE PROFESSIONAL ENGINEER OR LAND SURVEYOR'S LICENSE. THE PROFESSIONAL ENGINEER OR LAND SURVEYOR'S LICENSE IS A VIOLATION OF THE PROFESSIONAL ENGINEER OR LAND SURVEYOR'S LICENSE. THE PROFESSIONAL ENGINEER OR LAND SURVEYOR'S LICENSE IS A VIOLATION OF THE PROFESSIONAL ENGINEER OR LAND SURVEYOR'S LICENSE.

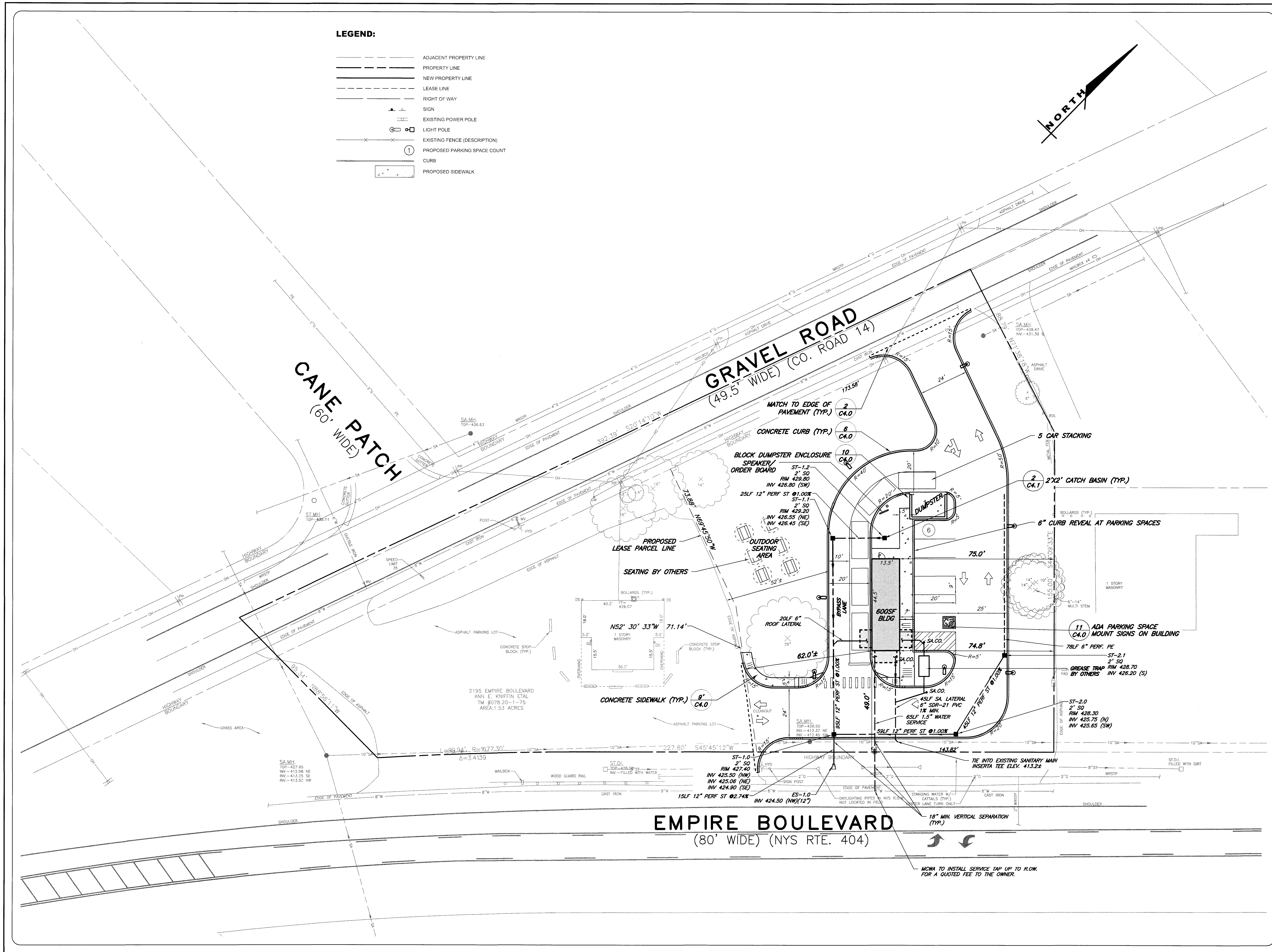
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DRAWING TITLE:
EXISTING CONDITIONS

2 of 7
SHEET No: **V1.0**
1712-24
JOB No: DRAWING No:

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MARATHON ENGINEERING
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39 CASCADE DRIVE
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ITHACA LOCATION
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PRELIMINARY/FINAL SITE PLANS
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DRIVE THRU RESTAURANT
2195 EMPIRE BLVD
MONROE COUNTY
TOWN OF WEBSTER
STATE OF NEW YORK

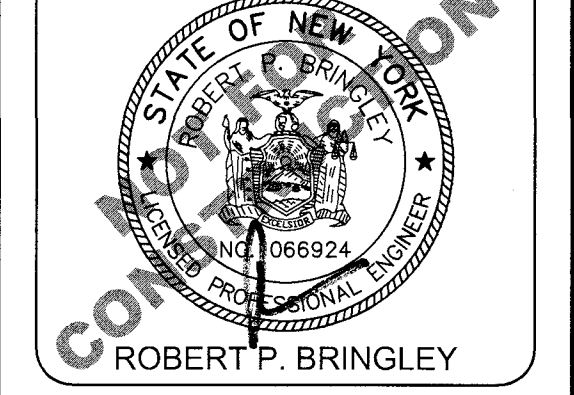
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SCALE: 1"=20'
DRAWN: RLB
DESIGNED: MT
DATE: 07/16/2024

REVISIONS
DATE BY REVISION

DATE	BY	REVISION

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 44, SECTION 203 FOR ANY PERSON, UNDER ANY TITLE, TO OBTAIN THE SERVICES OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR TO ASSIST IN ANY WORK, INCLUDING THE DESIGN OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, WITHOUT THE SIGNATURE OF THE DESIGNER. THE DESIGNER'S SIGNATURE AND SEAL ARE REQUIRED FOR THE DESIGN TO BE VALID. THE DESIGNER'S SIGNATURE AND SEAL ARE REQUIRED FOR THE DESIGN TO BE VALID. THE DESIGNER'S SIGNATURE AND SEAL ARE REQUIRED FOR THE DESIGN TO BE VALID.

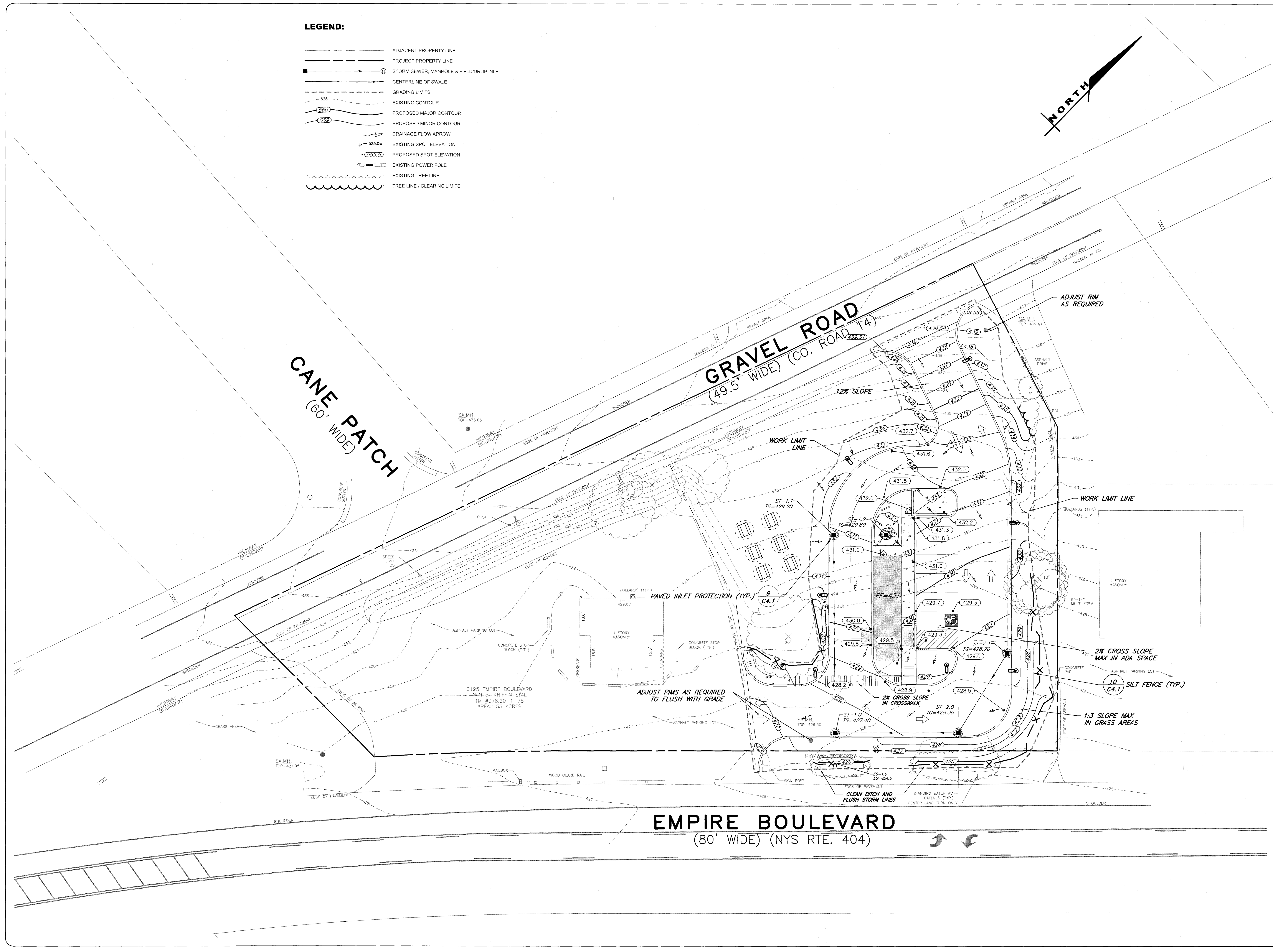
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DRAWING TITLE:
LAYOUT &
UTILITIES PLAN

3 of 7
SHEET No: C1.0
1712-24
JOB No: DRAWING No:

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PRELIMINARY/FINAL SITE PLANS
for
THE HUMAN BEAN
DRIVE THRU RESTAURANT

STATE OF NEW YORK

2195 EMPIRE BLVD
MONROE COUNTY

TOWN OF WEBSTER

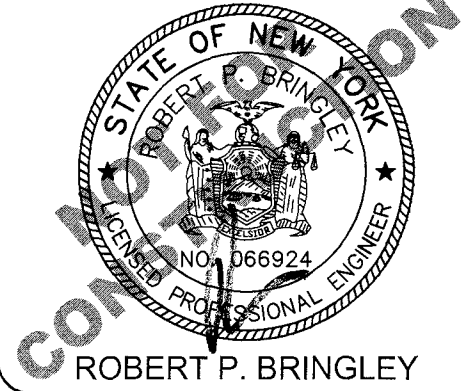
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SCALE: 1"=20'
DRAWN: RLB
DESIGNED: MT
DATE: 07/16/2024

REVISIONS
DATE BY REVISION

DATE	BY	REVISION

IF A PROFESSIONAL ENGINEER OR ARCHITECT IS REQUIRED FOR THE DESIGN OF ANY STRUCTURE, THE DESIGNER SHALL OBTAIN THE SERVICES OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURE AND THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURE AND THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURE.

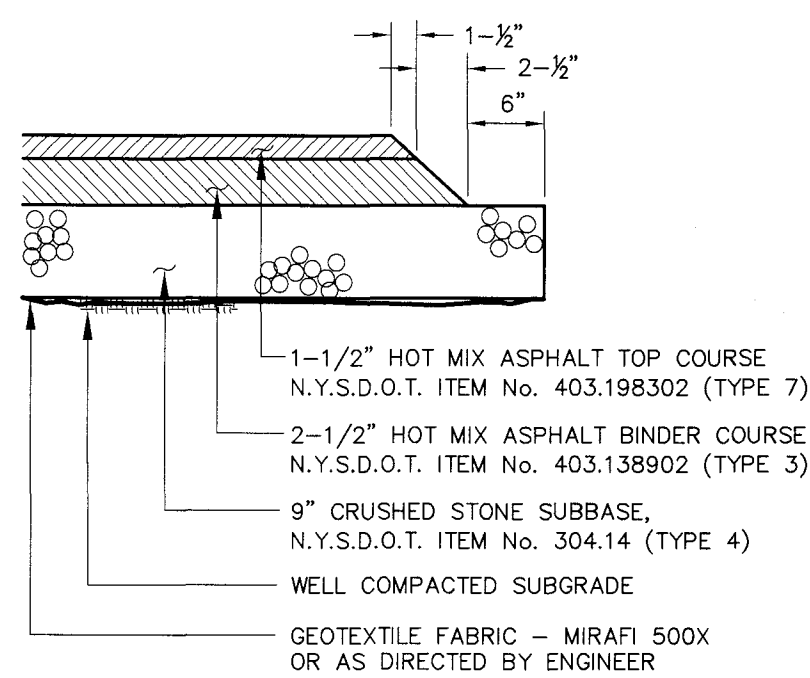
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EROSION
CONTROL PLAN**

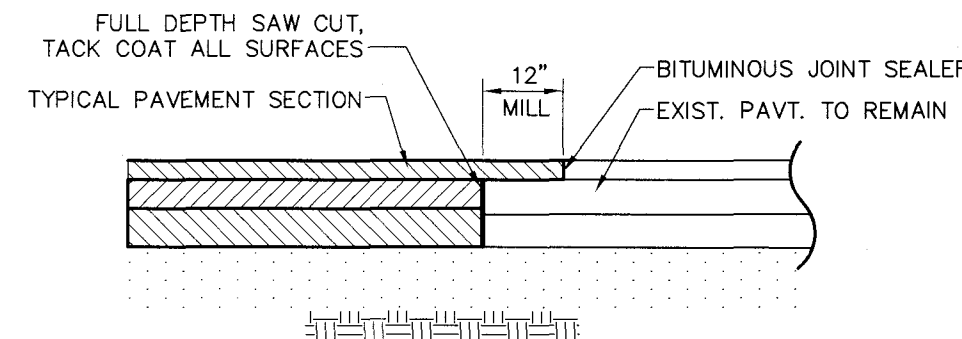
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1712-24
JOB No: DRAWING No:

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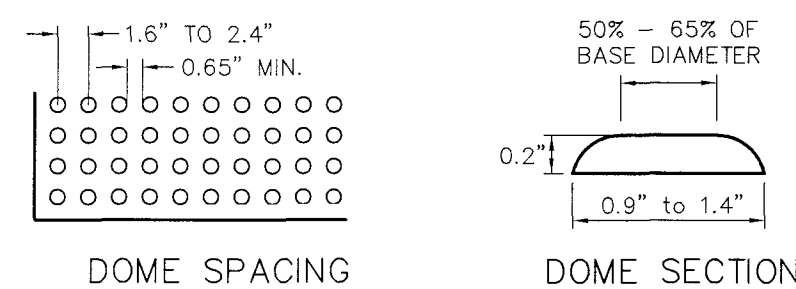


1 PAVEMENT SECTION

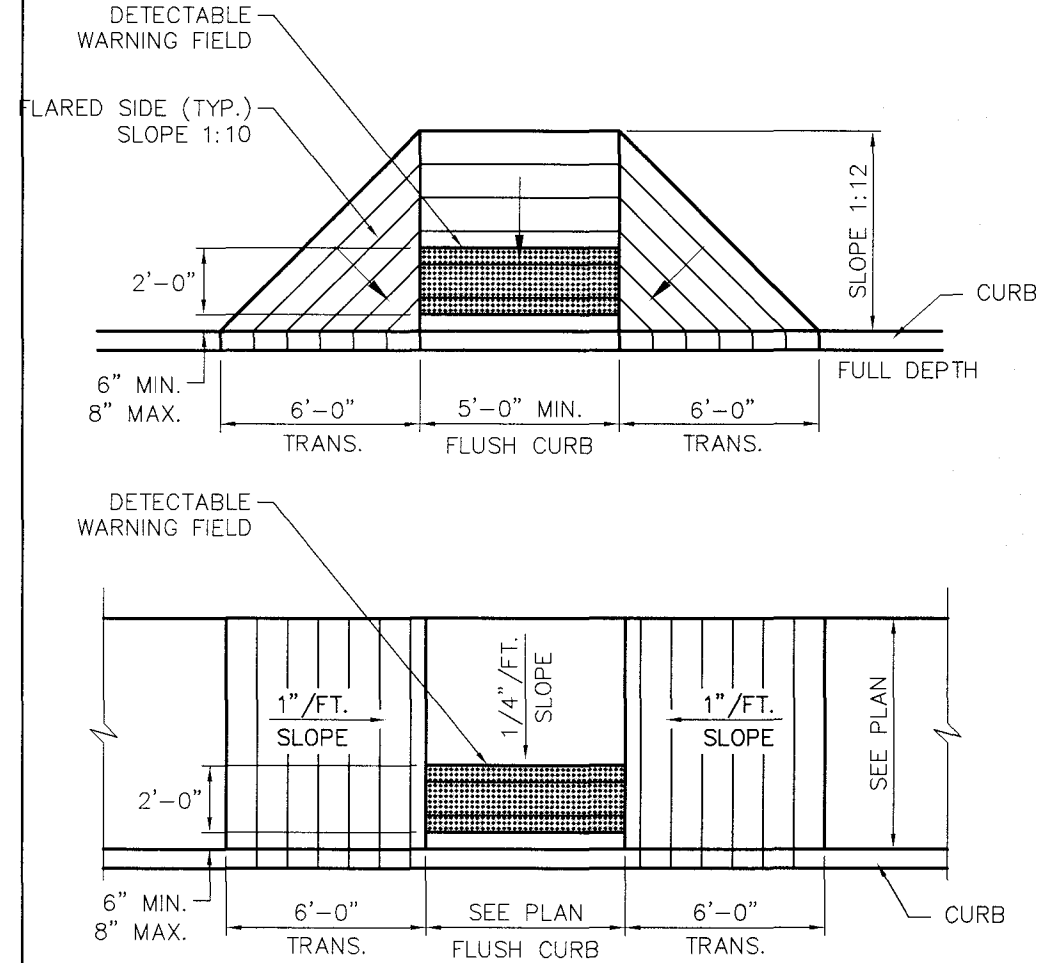
- NOTES:
- CONTRACTOR TO CLEAN AND TACK COAT BEFORE PLACING TOP COAT IF BINDER IS CONTAMINATED OR GREATER THAN 30 DAYS PASSES BETWEEN PLACEMENT OF BINDER AND TOP PAVEMENT SPECIFICATION NUMBERS REFERENCE THE 2008 NYSDOT STANDARD SPECIFICATION BOOK



2 PAVEMENT MATCH

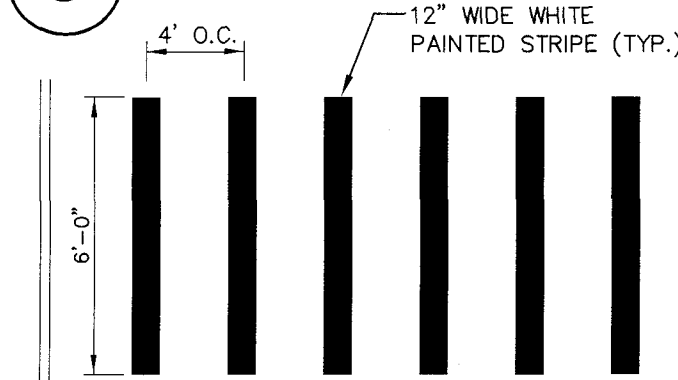


DETECTABLE WARNING FIELD

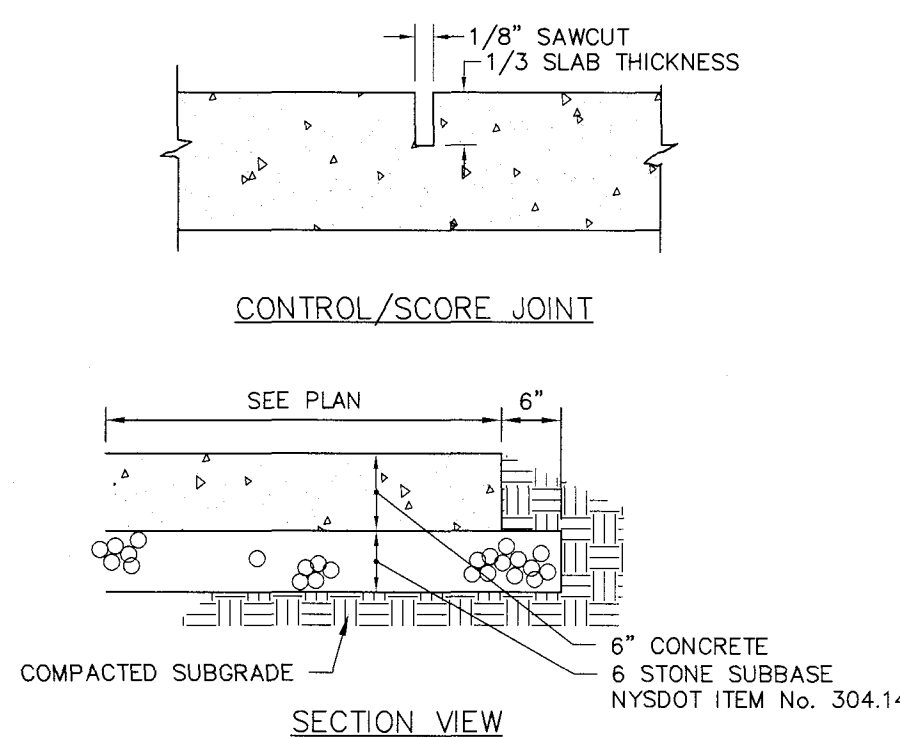


- NOTES:
- SURFACE TEXTURE OF RAMP SHALL BE COARSE BROOM FINISHED TRANSVERSE TO RAMP.
 - REFER TO TYPICAL SIDEWALK DETAIL FOR MATERIAL SPECIFICATIONS.
 - DETECTABLE WARNING FIELD SHALL EXTEND THE FULL WIDTH OF CURB RAMP OR FLUSH SURFACE.
 - DETECTABLE WARNING FIELD SHALL BE "DARK GREY" IN COLOR, UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS, OR AOB.
 - DETECTABLE WARNING FIELD SHALL BE ADA SOLUTIONS WARNING SURFACE - "CAST-IN-PLACE TACTILE REPLACEABLE" OR EQUAL.

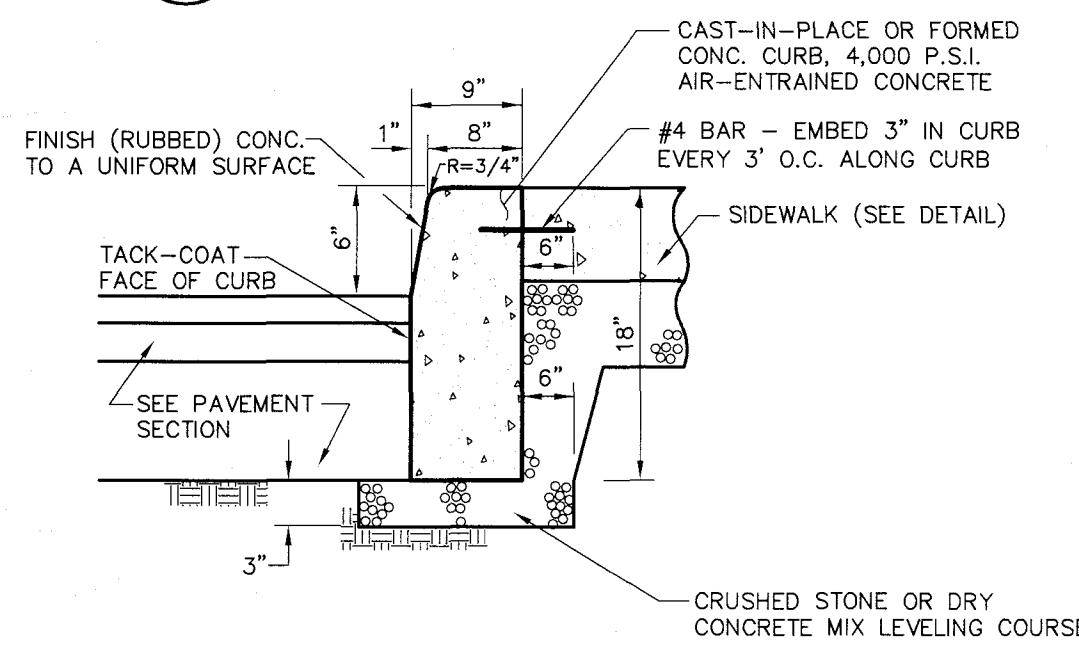
3 ACCESS RAMP



4 CROSSWALK



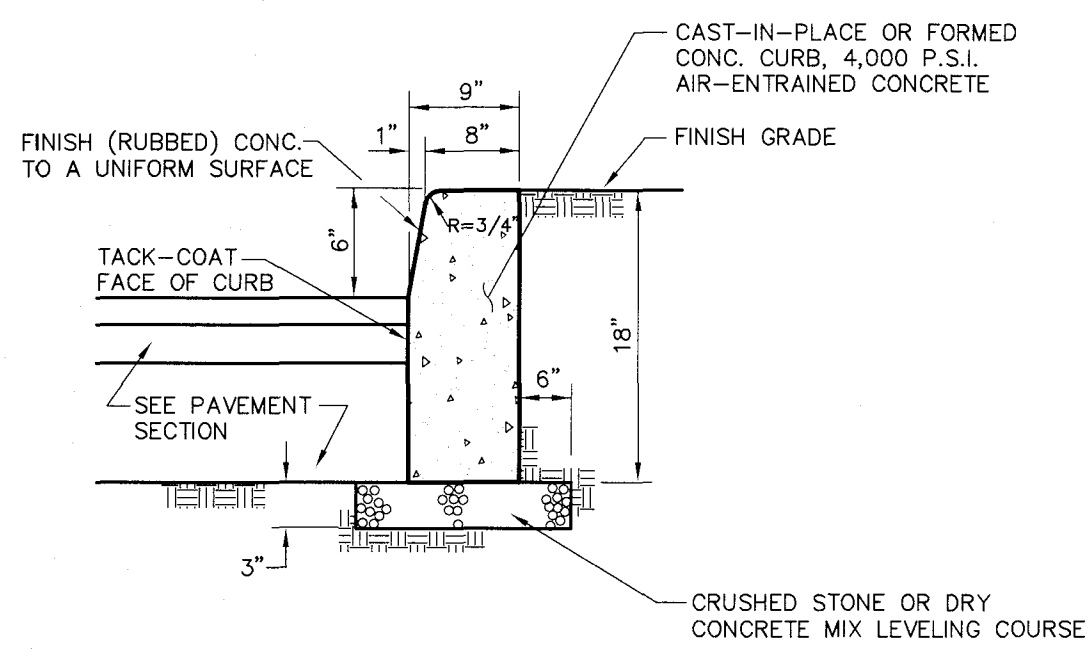
5 CONCRETE PAD



NOTES:

- PROVIDE 7" REVEAL AT DROP INLETS
- PROVIDE CONSTRUCTION JOINTS AT 20' INTERVALS AND EXPANSION JOINTS AT 80' MAXIMUM SPACING. EXPANSION JOINTS SHALL BE FORMED WITH PRE-MOLDED BITUMINOUS JOINT FILLER AND REBAR TO PREVENT SEPARATION.

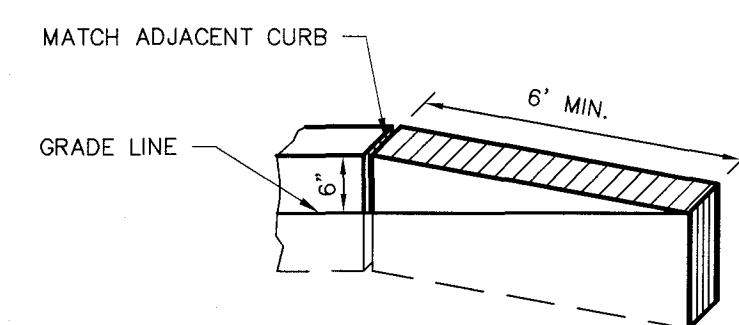
6 CONCRETE CURB WITH SIDEWALK BEHIND



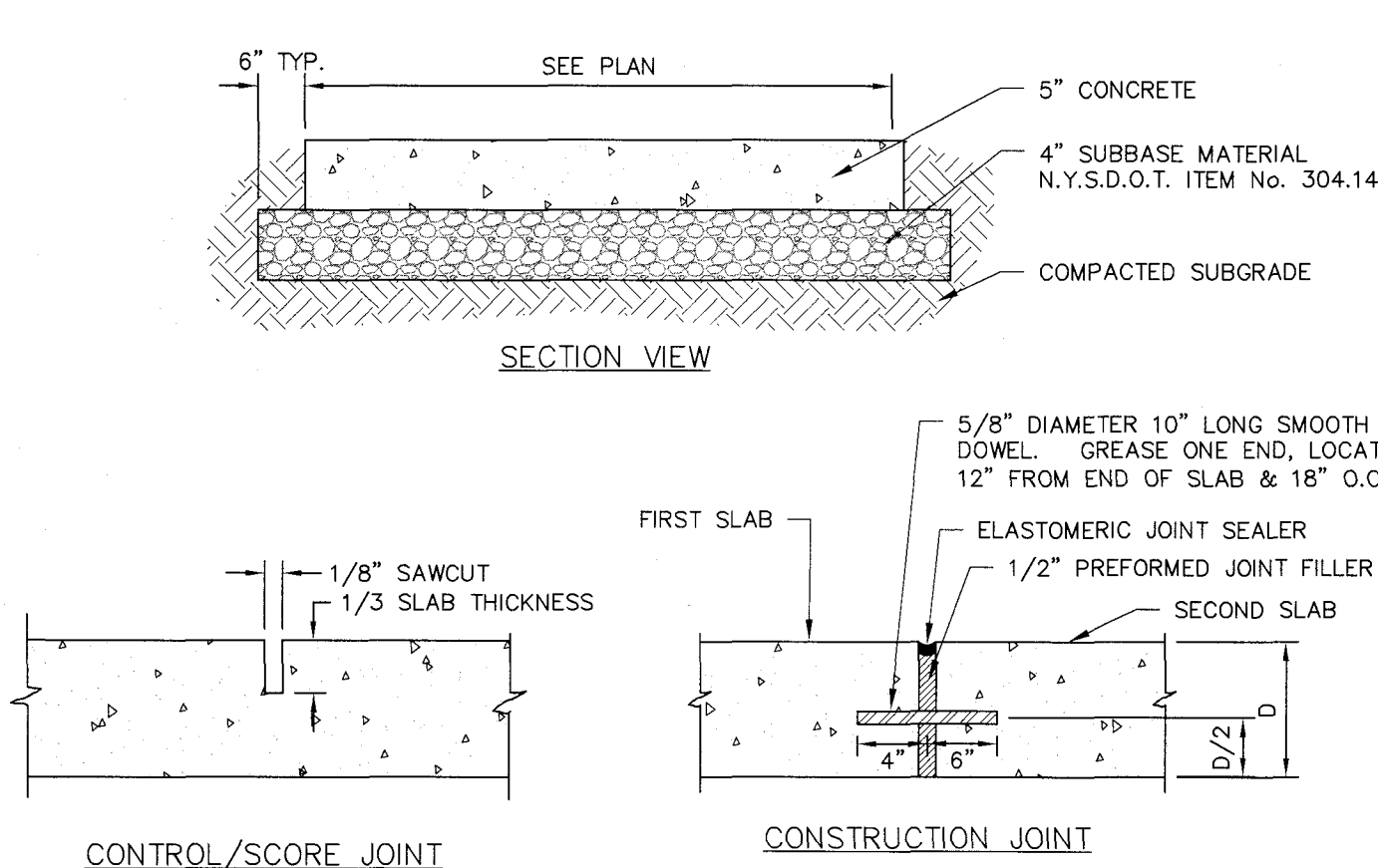
NOTES:

- PROVIDE 7" REVEAL AT DROP INLETS
- PROVIDE CONSTRUCTION JOINTS AT 20' INTERVALS AND EXPANSION JOINTS AT 80' MAXIMUM SPACING. EXPANSION JOINTS SHALL BE FORMED WITH PRE-MOLDED BITUMINOUS JOINT FILLER AND REBAR TO PREVENT SEPARATION.

7 CONCRETE CURB WITH LAWN/PLANTER BEHIND



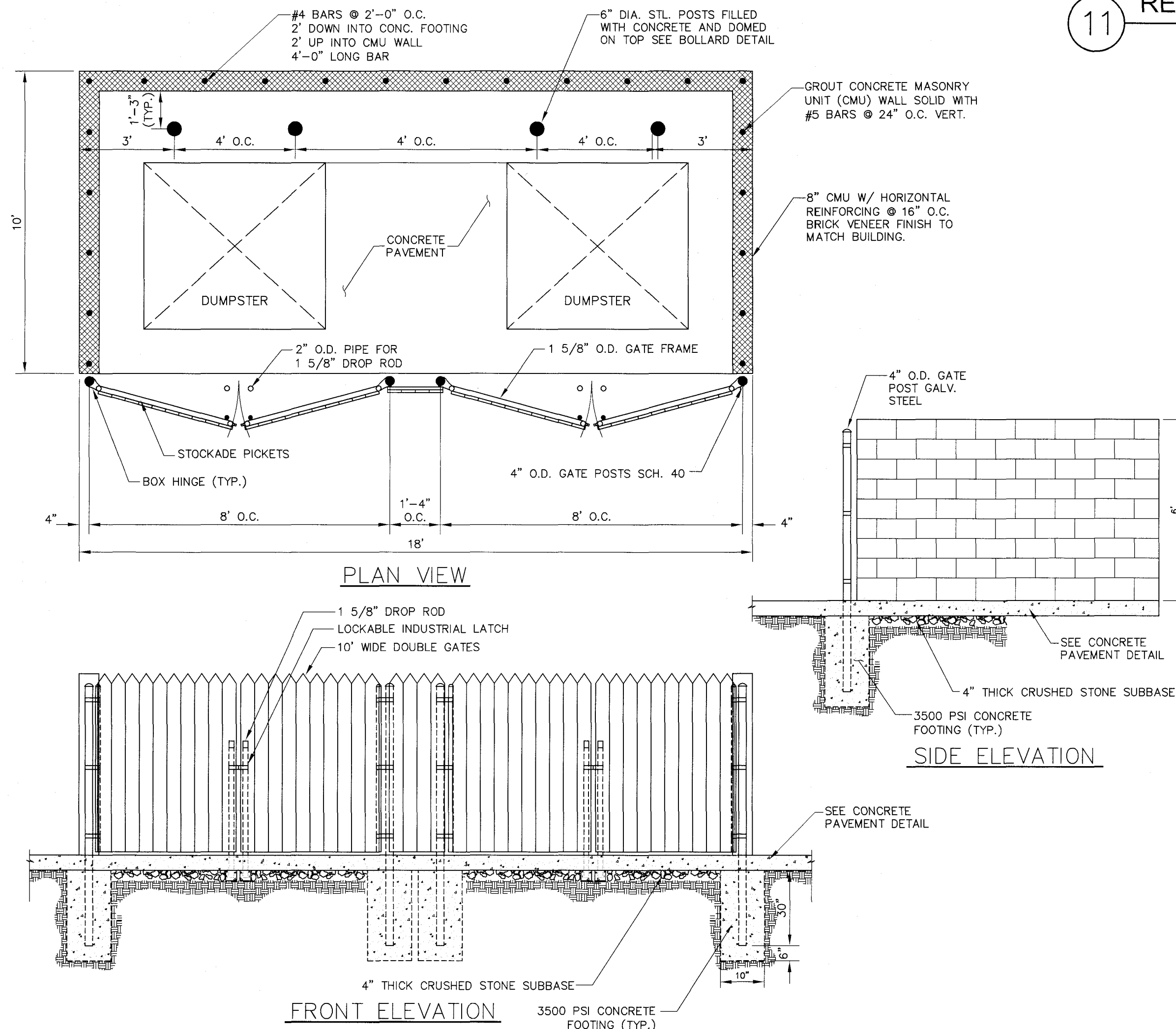
8 CURB TRANSITION



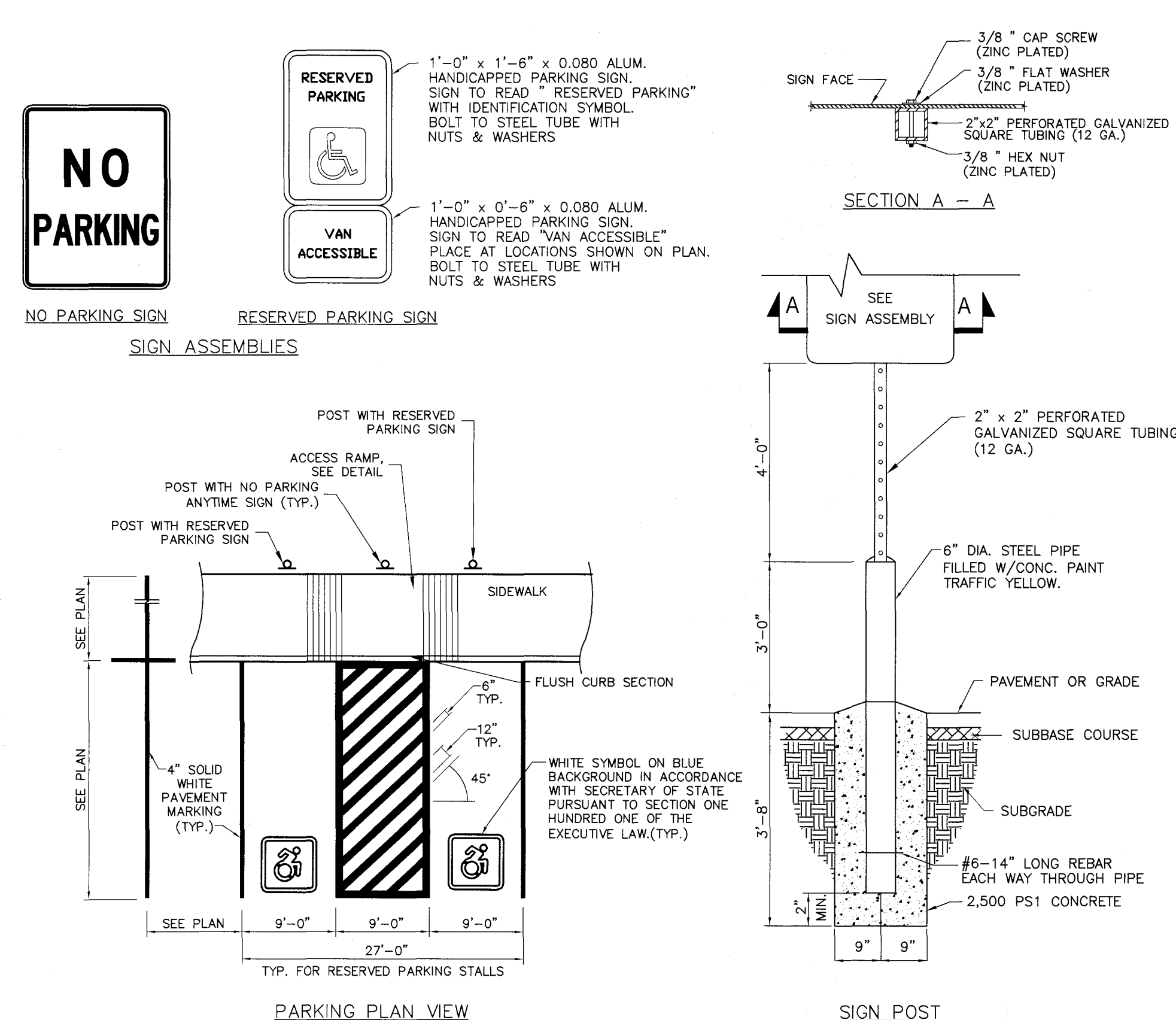
9 CONCRETE SIDEWALK

NOTES:

- CONCRETE SHALL BE 4000 PSI AIR-ENTRAINED MIX.
- CONCRETE SURFACE SHALL RECEIVE A BROOM FINISH (IF NOT SPECIFIED AS EXPOSED AGGREGATE CONCRETE) AND TWO COATS OF A MEMBRANE FORMING SEALER AT RATES SPECIFIED BY PRODUCT MANUFACTURER.
- EXPANSION JOINTS SHALL BE PROVIDED AT FIXED STRUCTURES AND AT LEAST EVERY 30' ALONG THE SIDEWALK.
- CONSTRUCTION JOINTS WITH DOWELS SHALL BE PROVIDED AT SUBSEQUENT POURS.
- CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON PLAN AND IN ACCORDANCE WITH ACI 330-R92. THESE JOINTS SHALL BE COMPLETED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
- SCORE PATTERN - SIDEWALK TO BE SCORED EVERY 5 FEET CREATING 5' X 5' SQUARES (MAY VARY IN CERTAIN AREAS). SCORING SHALL BE COORDINATED WITH OWNERS ONSITE REP PRIOR TO SCORING.
- SIDEWALKS SHALL HAVE A MINIMUM 0.5% AND MAXIMUM 2.0% CROSS SLOPE TO PROVIDE POSITIVE DRAINAGE. CROSS SLOPE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND ENTRANCES.
- "SNAP-CAP" OR EQUAL SHALL BE USED FOR PROTECTING TOP EDGE OF EXPANSION JOINTS.
- SEE CURBING DETAIL FOR DOWELING WHEN ADJACENT TO CONCRETE CURBING.



10 DUMPSTER ENCLOSURE



11 RESERVED PARKING AND SIGNAGE

- NOTE:
- ALL ACCESSIBLE PARKING AND ROUTES SHALL BE CONSTRUCTED CONSISTENT WITH THE MOST CURRENT ADA GUIDELINES. IN GENERAL ALL PARKING AND LOADING ZONES SHALL HAVE NO MORE THAN 2.0% SLOPE IN ANY DIRECTION. PRIOR TO PAVING CONTRACTOR SHALL VERIFY SLOPES AND REPORT ANY SLOPES GREATER THAN 2% TO THE ENGINEER.

12 RESERVED

MARATHON ENGINEERING
ROCHESTER LOCATION
39 CASCADE DRIVE
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ITHACA LOCATION
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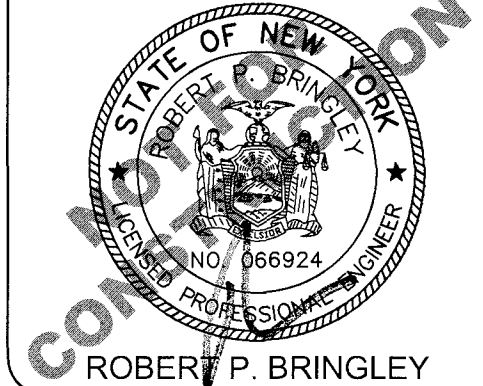
STATE OF NEW YORK
TOWN OF WEBSTER
MONROE COUNTY
2195 EMPIRE BLVD

JOB NO: 1712-24
SCALE: 1"=20'
DRAWN: RLB
DESIGNED: MT
DATE: 07/16/2024

REVISIONS		
DATE	BY	REVISION

IT IS A VIOLATION OF NEW YORK STATE ELECTION LAW, ARTICLE 10, SECTION 2-107 FOR ANY PERSON, UNLESS ACTIVE UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT, TO SEAL IN ANY WAY ANY DRAWING OR SPECIFICATION OF A PROFESSIONAL ENGINEER OR ARCHITECT, OR TO SEAL IN ANY WAY ANY DRAWING OR SPECIFICATION OF A PROFESSIONAL ENGINEER OR ARCHITECT, OR TO SEAL IN ANY WAY ANY DRAWING OR SPECIFICATION OF A PROFESSIONAL ENGINEER OR ARCHITECT, OR TO SEAL IN ANY WAY ANY DRAWING OR SPECIFICATION OF A PROFESSIONAL ENGINEER OR ARCHITECT.

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DRAWING TITLE:
**CONSTRUCTION
DETAILS (1 OF 3)**

6 of 7
SHEET No: **C4.0**
1712-24
JOB No: DRAWING No:

