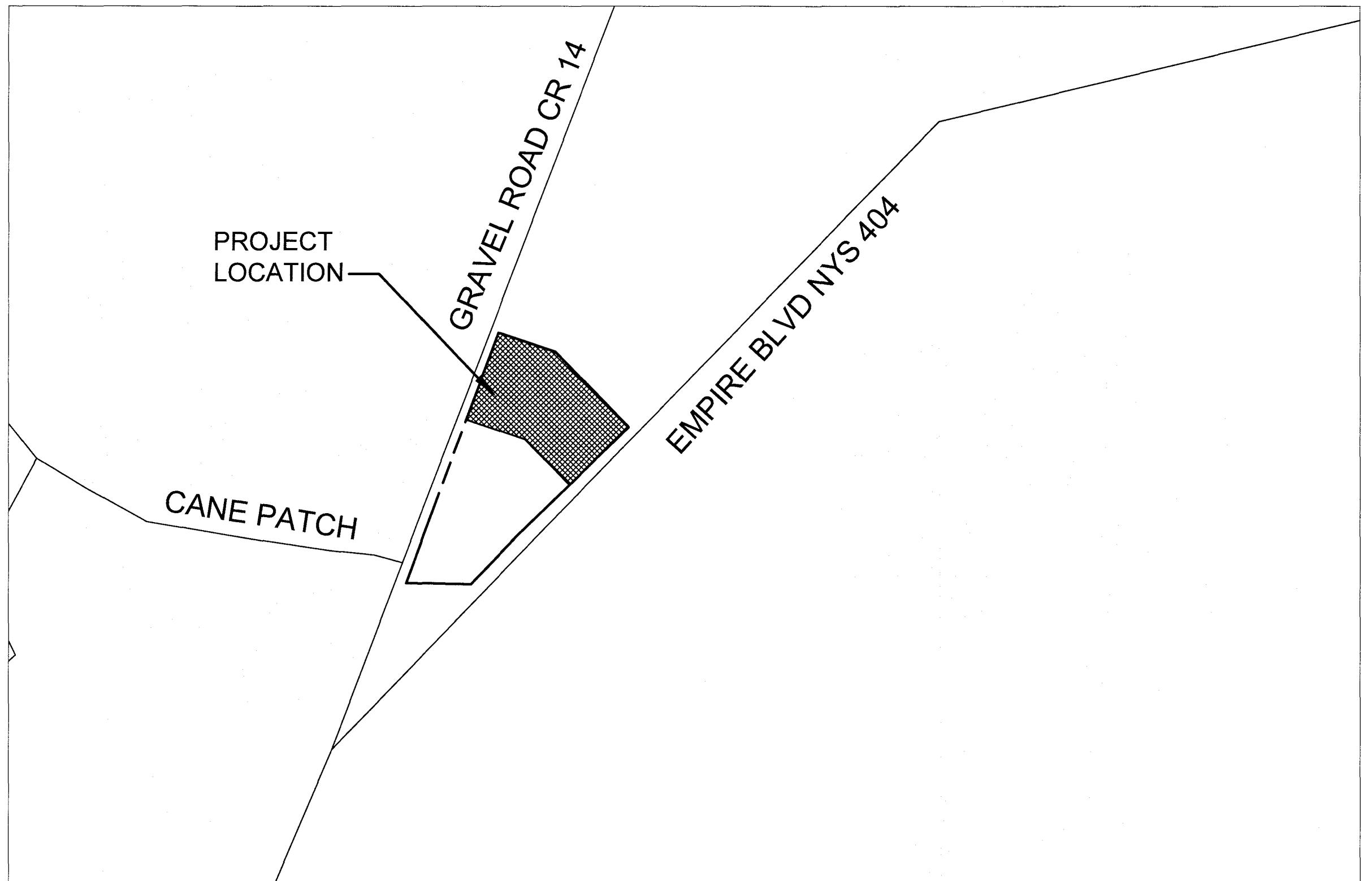


**PRELIMINARY/FINAL SITE PLANS
for
THE HUMAN BEAN
DRIVE THRU RESTAURANT**

2195 EMPIRE BLVD

SITUATE IN:

TOWN OF WEBSTER - MONROE COUNTY - STATE OF NEW YORK



LOCATION MAP

NOT TO SCALE



MARATHON
ENGINEERING

ROCHESTER LOCATION

39 CASCADE DRIVE
ROCHESTER, NY 14614
5 8 5 - 4 5 8 - 7 7 7 0

ITHACA LOCATION

840 HANSHAW RD, STE 6
ITHACA, NY 14850
6 0 7 - 2 4 1 - 2 9 1 7

www.marathoneng.com

LIST OF DRAWINGS		
No.	DWG. No.	Description
1	C0.1	NOTES, INFORMATION & SPECIFICATIONS
2	V1.0	EXISTING CONDITIONS
3	C1.0	LAYOUT & UTILITIES PLAN
4	C2.0	GRADING & EROSION CONTROL PLAN
5	C3.0	LIGHTING & LANDSCAPING PLAN
6	C4.0	CONSTRUCTION DETAILS (1 OF 2)
7	C5.1	CONSTRUCTION DETAILS (2 OF 2)

NOTES, INFORMATION AND SPECIFICATIONS

GENERAL

- APPLICABILITY** - THE NOTES AND INFORMATION PROVIDED ON THIS SHEET ARE APPLICABLE TO ALL "C" SERIES DRAWINGS. THE "C" SERIES DRAWINGS COVER SITE RELATED IMPROVEMENTS OUTSIDE THE BUILDING ENVELOPE. THE BUILDING ENVELOPE INCLUDES ALL AREA WITHIN 5' OUTSIDE OF THE BUILDING'S EXTERIOR WALL.
- MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
- UTILITY STAKEOUT** - THE CONTRACTOR SHALL NOTIFY UDIC NY (1-800-982-7982) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
- PROPERTY PROTECTION** - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.
- ACCESS** - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
- SITE SAFETY** - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EXCAVATIONS** - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
- MAINTENANCE** - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEP CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- CONSTRUCTION STORAGE** - STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- PERMIT(S)** - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER/CONTRACTOR AGREEMENT.
- INTERIM CONDITIONS** - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AND WITHIN PROJECT AREA TO A STABILIZED OUTLET THROUGHOUT THE CONSTRUCTION PERIOD. THIS MAY REQUIRE INTERIM GRADING, SHIMMING OF PAVEMENT ETC. THAT IS NOT SPECIFICALLY SHOWN ON THE PLANS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

CONSTRUCTION

- STAKEOUT** - THE CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR USING CONTROL PROVIDED ON THE "LAYOUT PLAN". THE BUILDING FOOTPRINT(S), DATED JULY 20, 2023 WERE PROVIDED BY ALVIN HAZLEWOOD ARCHITECT. DISCREPANCIES WITH BUILDING(S), CONTROL POINTS, AND/TIE DIMENSIONS SHALL BE REPORTED TO THE DESIGN ENGINEER (PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR COORDINATION AND CLARIFICATION.
- BOUNDARY** - BOUNDARY INFORMATION WAS TAKEN FROM SHEET V1.0 PREPARED BY MARATHON ENGINEERING DATED 03/13/2023 AND IS SHOWN FOR GRAPHICAL REPRESENTATION ONLY.
- LAYOUT** - DIMENSIONS SHOWN, WHERE APPLICABLE, SHALL BE FROM THE FACE OF CURB UNLESS SPECIFICALLY CALLED OUT OTHERWISE.
- DEMOLITION** - CLEARING AND GRUBBING SHALL BE LIMITED TO THE SITE BOUNDARIES OR WITHIN THE "WORK LIMIT LINE" AS DEFINED ON THE PLAN. TREES AND OBJECTS DESIGNATED FOR REMOVAL SHALL BE COORDINATED AND FIELD VERIFIED WITH PROJECT ON-SITE REPRESENTATIVE. ALL MATERIALS SHALL BE LEGALLY DISPOSED OF OFF-SITE OR RETURNED TO OWNER AS DIRECTED BY CONTRACT DOCUMENTS. ALL ITEMS NOT SPECIFICALLY CALLED OUT TO BE REMOVED SHALL REMAIN.
- COORDINATION** - THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITY WORK WITH OTHER SITE UTILITIES (I.E. GAS, ELECTRIC, LIGHTING, COMMUNICATIONS) TO AVOID POTENTIAL INSTALLATION CONFLICTS.
- STAGING** - AS DEFINED BY THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL CONSTRUCT A SECURE STAGING AREA FOR STORAGE OF EQUIPMENT, MATERIALS, EMPLOYEE PARKING AND OFFICE SPACE. IF THE AREA/METHOD IS NOT SPECIFICALLY DEFINED ON THE DOCUMENTS THEN IT SHALL BE COORDINATED WITH THE OWNER'S ON-SITE REPRESENTATIVE.
- CLOSE-OUT** - THE CONTRACTOR'S WORK SCOPE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING AT PROJECT CLOSE-OUT TO THE SATISFACTION OF OWNER'S ON-SITE REPRESENTATIVE:
 - REMOVAL OF ANY CONSTRUCTION DEBRIS.
 - CLEANING PAVEMENT AND WALKWAY SURFACES.
 - RESTORATION OF ALL DISTURBED GRASS AND LANDSCAPED AREAS.
 - PROVIDING BONDS, GUARANTEES, CERTIFICATIONS, ETC. AS REQUIRED BY CONTRACT DOCUMENTS.
 - PROVIDING REDLINES FOR RECORD DRAWING.
 - COMPLETION OF FINAL PUNCH LIST ITEMS.

UTILITIES

- STORM**
 - REGULATIONS** - STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE MUNICIPALITY AND ALL THERMOPLASTIC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D-2321.
 - MATERIALS** - THE CONTRACTOR MAY USE THE FOLLOWING PIPE MATERIAL FOR THE MAIN SEWER AS ALLOWED BY THE MUNICIPALITY, PROVIDING THAT THE ROUGHNESS COEFFICIENT ("N" FACTOR) IS 0.013 OR BETTER:
 - REINFORCED CONCRETE PIPE (RCP), CLASS III
 - HIGH DENSITY CORRUGATED POLYETHYLENE PIPE (PE), AASHTO M-294, TYPE S, ASTM D-3350.
 - ROOF DRAINAGE** - ALL ROOF DRAINAGE SHALL BE COLLECTED AND PIPED TO THE STORM SEWER SYSTEM UNLESS SPECIFIED OTHERWISE.
 - TESTING** - UPON COMPLETION OF SYSTEM INSTALLATION, THE MAIN SEWER SYSTEM AND LEADS TO STRUCTURES SHALL BE FLUSHED AND LAMPED TO THE SATISFACTION OF THE MUNICIPALITY.

EARTHWORK

- PREPARATION** - PRIOR TO START OF EARTHWORK OPERATIONS THE CONTRACTOR SHALL COMPLETE THE FOLLOWING APPLICABLE ITEMS AS DEFINED BY CONTRACT DOCUMENTS:
 - SITE DEMOLITION** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; STRUCTURES, UTILITIES, PIPEMENTS, ETC.
 - CLEARING AND GRUBBING** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; TREES, BRUSH, STUMPS, ETC.
 - TOPSOIL STRIPPING** - STRIP AND STOCKPILE TOPSOIL FOR REUSE. EXCESS TOPSOIL MAY BE REMOVED FROM SITE WITH APPROVAL BY OWNER AND MUNICIPALITY.
- PROPERTY PROTECTION** - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.
- ACCESS** - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
- SITE SAFETY** - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EXCAVATIONS** - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
- MAINTENANCE** - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEP CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- CONSTRUCTION STORAGE** - STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- PERMIT(S)** - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER/CONTRACTOR AGREEMENT.
- INTERIM CONDITIONS** - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AND WITHIN PROJECT AREA TO A STABILIZED OUTLET THROUGHOUT THE CONSTRUCTION PERIOD. THIS MAY REQUIRE INTERIM GRADING, SHIMMING OF PAVEMENT ETC. THAT IS NOT SPECIFICALLY SHOWN ON THE PLANS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

RESTORATION AND LANDSCAPING

- GUARANTEE** - THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE REQUIREMENTS, MAINTENANCE, AND TIME TO ESTABLISH NEW TURF AND LANDSCAPING ACCEPTANCE BY THE OWNER.
- TOPSOIL** - PLACE A MINIMUM OF 6 INCHES (REQUIRED) OF TOPSOIL ON ALL DISTURBED SURFACES. FINE GRADE TO ESTABLISH THE DESIGN ELEVATIONS AND DRAINAGE PATTERNS. OBTAIN OWNER'S REPRESENTATIVE APPROVAL PRIOR TO SEEDING.
- SEED** - LAWN AREAS SHALL BE HYDROSEEDED WITH AN APPROVED: SEED MIXTURE, MULCH, AND FERTILIZER. THE APPLICATION RATE SHALL BE DETERMINED BY CONTRACTOR TO ESTABLISH A "STAND" OF GRASS. THE CONTRACTOR SHALL SUBMIT MATERIAL AND APPLICATION SPECIFICATIONS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO APPLICATION.
- PLANT STOCK** - PLANT MATERIALS SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARD FOR NURSERY STOCK". THE CONTRACTOR SHALL SUBMIT PLANT MATERIAL SPECIFICATIONS TO THE OWNER'S ON-SITE REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY TO THE SITE.
- PLANT LOCATIONS** - THE PLANT LOCATIONS DEPICTED ON THE PLAN MAY BE FIELD ADJUSTED (SO THEY DO NOT INTERFERE WITH UTILITIES) AND TO THE SATISFACTION OF OWNER'S REPRESENTATIVE.
- PLANTING BEDS** - PROVIDE TWELVE INCHES (12') OF TOPSOIL, WEED FABRIC (AS DIRECTED BY OWNER), AND THREE INCHES (3') OF MULCH AT PLANTING BEDS, UNLESS SPECIFIED OTHERWISE ON DRAWINGS.

PROJECT STATISTICS

1. GENERAL:

- 1.1 APPLICANT** - THE LAMBERT WAFT, LLC (TORRANCE WASHINGTON) 35 BLUE PINE CIRCLE PENFIELD NY, 14526
- 1.2 PROPERTY OWNER** - TOM ALBRIGHT 504 RIDGE ROAD T. WEBSTER, 14580
- 1.3 PROPERTY ADDRESS** - 2195 EMPIRE BLVD T. WEBSTER, 14580
- 1.4 TAX ACCOUNT** - TM#178.2-1-75

2. ZONING REGULATIONS:

2.1 ZONING DISTRICT - MC - MEDIUM INTENSITY COMMERCIAL DISTRICT

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA:	45,000 SF	47,916 SF	47,916 SF
MAX. LOT COVERAGE:	20%	2%	3.7%
MIN. LOT WIDTH:	150 FT	227.80 FT	20 FT
MAX. BUILDING HEIGHT:	35 FT	25 FT	
SETBACKS (PROPERTY HAS FRONTS ON TWO ROADWAYS)			
FRONT:	50 FT	39.9 FT	49.0 FT
SIDE:	20 FT	189.1 FT	75.0 FT
REAR:	75 FT	39.9 FT	49.0 FT
PARKING:	4 SP*	N/A	6 SP*

* PROPOSED PROJECT WILL HAVE SEPARATE PARKING FROM THE EXISTING ABBOTS.

2.3 VARIANCES - NO VARIANCES ARE REQUESTED FOR THIS PROJECT

3. PARCEL STATISTICS:

- 3.1 AREA** - 0.667 AC
- 3.2 EXISTING CONDITIONS** - OPEN FIELD / SHED (TO BE DEMOLISHED)
- 3.3 PROPOSED CONDITIONS** - A DRIVE-THRU COFFEE AND SMOOTHIE CAFE ACCESSIBLE VIA GRAVEL ROAD WITH A SOUTHERN ACCESS TO THE EXISTING ABBOTS PARKING LOT

STANDARD ABBREVIATIONS

ACRE	ACRE	LS	LUMP SUM
AD.E.	ADDED BY ENGINEER	MB	MAILBOX
ASPH	ASPHALT	MD	MINIMUM DRAINAGE
BT	BTM/TH	MON	MONTH
BM	BENCHMARK	MGS	MONROE COUNTY GEODETIC SURVEY
BL	BLOCK	NEC	NECESSARY
CLF	CHAIN LINK FENCE	NIC	NOT IN CONTRACT
CIO	CLEAR-CUT	NSC	NO SPECIAL CONDITIONS
CONC	CONCRETE	N/F	NOW OR FORMERLY
CPP	CORRUGATED POLYETHYLENE PIPE	P&T	PIPE AND TUBE
COV	COVER	PP	POLYETHYLENE PIPE
CB	CURB BOX	PERP	PERFORATED POLYETHYLENE PIPE
CF	CHARGE	PI	POINT OF INTERSECTION
DIA	DEGREE OF CURVE	PIR	POINT OF VERTICALLY CURVATURE
DI	DROP INLET	PVC	POLYVINYL CHLORIDE
D.I.P.	DUCTILE IRON PIPE	PVI	POINT OF VERTICAL INTERSECTION
EEC	ENGINEER IN CHARGE	PT	PIPE TANGENT
EL	EDGE OF PAVEMENT	R	RADIUS
FF	FINISH FLOOR = FINISH FLOOR ELEVATION	RCP	REINFORCED CONCRETE PIPE
FT	FEET	R.C.W.	RIGHT OF WAY
FTC	FRONTAGE PAD = GARAGE FLOOR ELEVATION	RT	RIGHT TURN
FT.	FEET	SA	SANITARY SEWER
GAS	GAS MAIN	SA	SANITARY SEWER
GAL	GALLON	STA	SEWER
GR	GRAVEL	ST	STATION
GRBL	GRAVEL	STY	STORY
HYD	HORIZONTAL CONTROL LINE	T	TANGENT DISTANCE
HYD.	HYDRANT	TG	TOPOGRAPHICAL GRADE LINE
IP	IRON PIPE OR IRON PIPE	TYP	Typical
LF	LENGTH	VC	VERTICAL CURVE
LF.	FEET	VP	VERTICAL PIPE
LP	LIGHT POST (PRIVATE)	A	CENTRAL ANGLE

TOWN OF WEBSTER STANDARD DRAINAGE NOTES

1. DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES AND FACILITIES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ACCEPTED ENGINEERING STANDARDS AND GUIDELINES AS OUTLINED IN THE DOCUMENT GUIDELINES FOR EROSION AND SEDIMENT CONTROL IN URBAN AREAS IN THE STATE OF NEW YORK, AVAILABLE FROM THE MONROE COUNTY SOIL CONSERVATION DISTRICT. THE BEST MANAGEMENT PRACTICES FOR STORMWATER RUNOFF MANAGEMENT, PREPARED BY THE IRONDEQUOIT BAY COORDINATING COMMITTEE, SHALL ALSO BE USED AS A REFERENCE DOCUMENT.
2. AMONG THE ACCEPTABLE RANGE OF OPTIONS THAT CAN BE UTILIZED BY A DEVELOPER TO CONTROL DRAINAGE, EROSION AND SEDIMENTATION ON THE WORK SITE BOTH DURING AND AFTER PROJECT CONSTRUCTION ARE THOSE OUTLINED AND LABELED AS BEST MANAGEMENT PRACTICES FOR STORMWATER RUNOFF MANAGEMENT, PREPARED BY THE IRONDEQUOIT BAY COORDINATING COMMITTEE.
3. THE APPLICANT SHALL ENSURE THAT THE RELEASE RATE AND, IF SOIL CONDITIONS PERMIT, THE VOLUME OF STORMWATER OFFERED FOR CONSTRUCTION AT SITE WILL NOT EXCEED THAT WHICH OCCURRED FROM THE AREA IN ITS UNDISTURBED STATE FOR INTENSITIES AND DURATIONS OF RAINFALL ASSOCIATED WITH STORMS HAVING A TWENTY-FIVE YEAR FREQUENCY.
4. THE APPLICANT MUST DEMONSTRATE THE WATER QUALITY, EROSION AND SEDIMENTATION IMPACTS ON THE DOWNSTREAM WATERSHED FOR ANY ACTIVITY REQUIRING A PERMIT.
5. RUNOFF WITH SUSPENDED SOIL SOLIDS SHALL BE RETAINED ON SITE FOR A SUFFICIENT LENGTH OF TIME SO AS TO ENSURE THAT SUCH RUNOFF IS AT LEAST 90% FREE OF SETTLEABLE SOIL SOLIDS WHEN IT LEAVES THE DEVELOPMENT SITE.
6. EXCAVATION, GRADING, TILLING AND STRIPPING SHALL BE PERMITTED TO BE UNDERTAKEN ONLY IN SUCH LOCATIONS AND IN SUCH MANNER AS TO MINIMIZE THE POTENTIAL OF EROSION AND SEDIMENTATION AND THE THREAT TO THE HEALTH, SAFETY AND GENERAL WELFARE OF NEIGHBORING PROPERTY OWNERS AND THE GENERAL PUBLIC.
7. THE CONTROL OF EROSION AND SEDIMENT SHALL BE A CONTINUOUS PROCESS UNDERTAKEN PRIOR TO, DURING AND AFTER SITE PREPARATION AND CONSTRUCTION, TO INCLUDE ANY GRADING, CLEARING, FILLING, ROAD CONSTRUCTION, UTILITY CONSTRUCTION OR BUILDING CONSTRUCTION.
8. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED BY SITE PREPARATION AT ANY GIVEN TIME.
9. THE EXPOSURE OF AREAS BY SITE PREPARATION SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME PRIOR TO THE CONSTRUCTION OF STRUCTURES OR IMPROVEMENTS OR THE RESTORATION OF THE EXPOSED AREAS TO AN ATTRACTIVE NATURAL CONDITION.
10. MULCH AND TEMPORARY VEGETATION SUITABLE TO THE SITE SHALL BE USED WHERE NECESSARY TO PROTECT AREAS EXPOSED BY SITE PREPARATION, AND PERMANENT VEGETATION WHICH IS WELL ADAPTED TO THE SITE SHALL BE INSTALLED AS SOON AS PRACTICAL.
11. WHERE SLOPES ARE TO BE REVEGETATED IN AREAS EXPOSED BY SITE PREPARATION, THE SLOPES SHALL NOT BE OF SUCH STEEPNESS THAT VEGETATION CANNOT BE READILY ESTABLISHED OR THAT PROBLEMS OF EROSION OR SEDIMENTATION MAY RESULT.
12. SITE PREPARATION AND CONSTRUCTION SHALL NOT ADVERSELY AFFECT THE FREE FLOW OF WATER BY ENCROACHING ON, BLOCKING OR RESTRICTING WATERCOURSES.
13. ALL MATERIAL SHALL BE OF COMPOSITION SUITABLE FOR THE ULTIMATE USE OF THE FILL, FREE OF RUBBISH AND CAREFUL TO PREVENT IT IN ITS CONTENT OF BRUSH, STUMPS, TREE DEBRIS, ROCKS, FROZEN MATERIAL AND SOILS, EASILY COMPRESSIBLE MATERIAL.
14. FILL MATERIAL SHALL BE COMPACTED SUFFICIENTLY TO PREVENT PROBLEMS OF EROSION, AND WHERE THE MATERIAL IS TO SUPPORT STRUCTURES, IT SHALL BE COMPACTED TO A MINIMUM OF 90% OF STANDARD PROCTOR WITH PROPER MOISTURE CONTROL.
15. ALL TOPSOIL WHICH IS EXCAVATED FROM A SITE SHALL BE STOCKPILED AND USED FOR THE RESTORATION OF THE SITE AND SUCH STOCKPILES, WHERE NECESSARY, SHALL BE SEEDED OR OTHERWISE TREATED TO MINIMIZE THE EFFECTS OF EROSION.
16. PROTECTION DURING AND AFTER SITE PREPARATION AND CONSTRUCTION, AN INTEGRATED DRAINAGE SYSTEM SHALL BE PROVIDED WHICH AT ALL TIMES MINIMIZES EROSION, SEDIMENT, HAZARDS OF SLOPE INSTABILITY AND ADVERSE EFFECTS ON NEIGHBORING PROPERTY OWNERS.
17. THE NATURAL DRAINAGE SYSTEM SHALL GENERALLY BE PRESERVED IN PREFERENCE TO MODIFICATIONS OF THIS SYSTEM, EXCEPTING WHERE SUCH MODIFICATIONS ARE NECESSARY TO REDUCE LEVELS OF EROSION AND SEDIMENT AND ADVERSE EFFECTS ON NEIGHBORING PROPERTY OWNERS.
18. ALL DRAINAGE SYSTEMS SHALL BE DESIGNED TO HANDLE ADEQUATELY ANTICIPATED FLOWS BOTH FROM WITHIN THE SITE AND FROM THE ENTIRE UPSTREAM DRAINAGE BASIN.
19. SURFACE CLEANS AND EROSION FACILITIES SHALL BE PROVIDED TO PREVENT THE PONDING OF WATER, UNLESS SUCH PONDING IS PROPOSED WITHIN SITE BOUNDARIES, IN WHICH EVENT THERE SHALL BE SUFFICIENT WATER FLOW TO MAINTAIN PROPOSED WATER LEVELS AND AVOID STAGNATION.
20. THERE SHALL BE PROVIDED, WHEREVER NECESSARY TO MINIMIZE EROSION AND SEDIMENT ON THE SITE AS WELL AS DOWNSTREAM, WITHIN THE DRAINAGE BASIN SUCH MEASURES AS BENCHES, BERMS, TERRACES, DIVERSIONS, SWALES, RIPRAP, CATCH BASINS, SOIL DRAINS, SEDIMENT FILTERS AND TRAPS AND SEDIMENT, DEBRIS AND RETENTION BASINS.
21. DRAINAGE SYSTEMS, PLANTINGS AND OTHER EROSION OR SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AS FREQUENTLY AS NECESSARY TO PROVIDE ADEQUATE PROTECTION AGAINST EROSION AND SEDIMENT AND TO ENSURE THAT THE FREE FLOW OF WATER IS NOT OBSTRUCTED BY THE ACCUMULATION OF SILT, DEBRIS OR OTHER MATERIAL OR BY STRUCTURES, Dams, Dikes, Etc.
22. IF TEMPORARY S

**PRELIMINARY/FINAL SITE PLANS
for
THE HUMAN BEAN
THRU RESTAURANT
DRIVE**

STATE OF NEW YORK

MUNRUE COUNTY

TOWN OF WEBSTER

JOB NO: 1712-24
SCALE: 1"=20'
DRAWN: RLB
DESIGNED: MT
DATE: 07/16/2024

ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY WAY, AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION 'ALTERED BY' FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

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STATE OF NEW YORK

ROBERT P. BRINGLEY

NO. 066924

LICENSED PROFESSIONAL ENGINEER

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DRAWING TITLE:
**EXISTING
CONDITIONS**

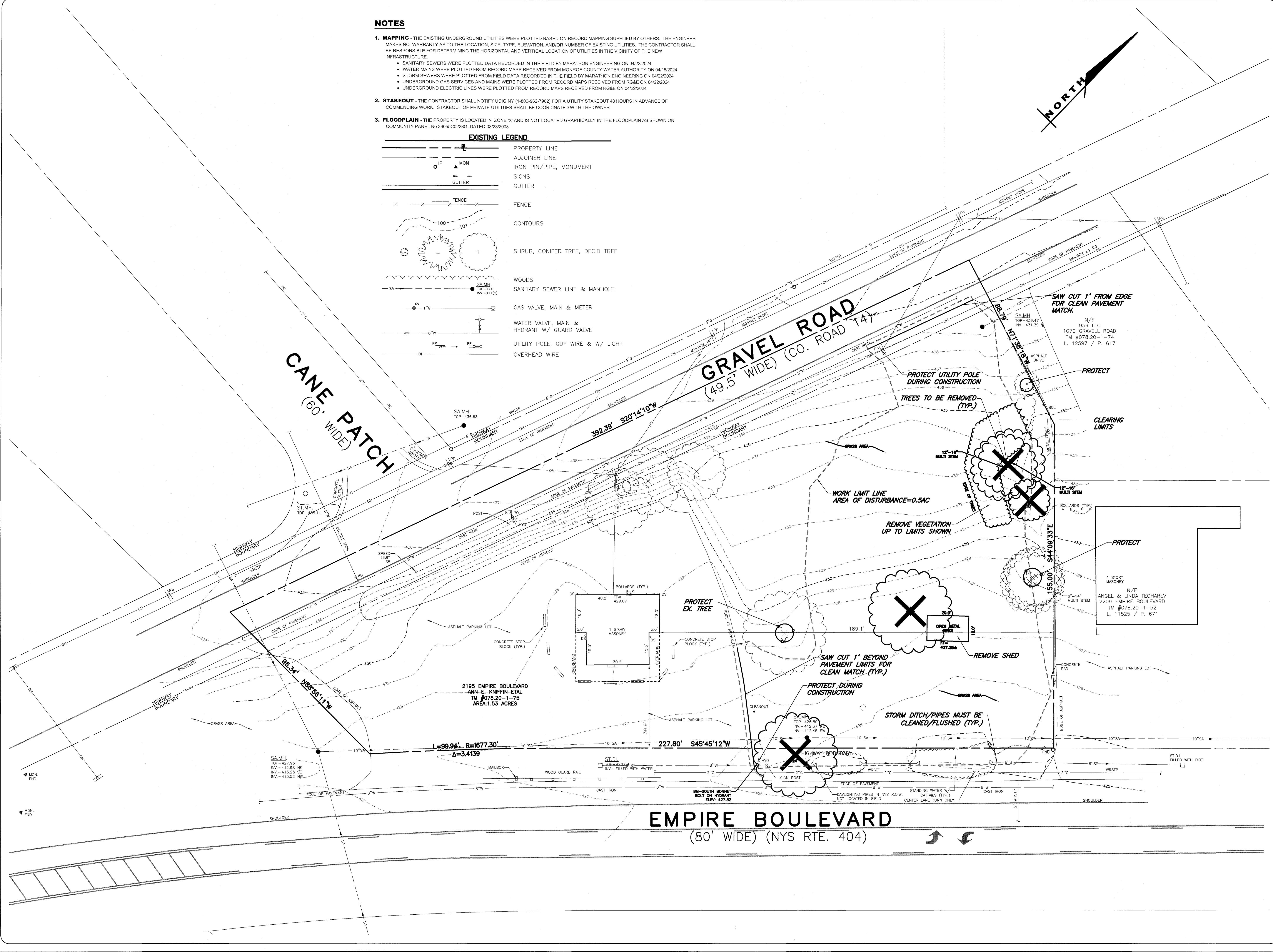
2 of 7	V1.0
SHEET No:	
1712-24	DRAWING No:
JOB No:	

File: Z:\Engineering\Job Files\1712-24\Drawings\Sheet\1.0 Existing Conditions.dwg, Last saved: 7/16/2024, By: RAFAEL BARRETO, Plot Style: -----

NOTE:

- 1. MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
 - SANITARY SEWERS WERE PLOTTED DATA RECORDED IN THE FIELD BY MARATHON ENGINEERING ON 04/22/2024
 - WATER MAINS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM MONROE COUNTY WATER AUTHORITY ON 04/15/2024
 - STORM SEWERS WERE PLOTTED FROM FIELD DATA RECORDED IN THE FIELD BY MARATHON ENGINEERING ON 04/22/2024
 - UNDERGROUND GAS SERVICES AND MAINS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM RG&E ON 04/22/2024
 - UNDERGROUND ELECTRIC LINES WERE PLOTTED FROM RECORD MAPS RECEIVED FROM RG&E ON 04/22/2024
- 2. STAKEOUT** - THE CONTRACTOR SHALL NOTIFY UDIG NY (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
- 3. FLOODPLAIN** - THE PROPERTY IS LOCATED IN ZONE 'X' AND IS NOT LOCATED GRAPHICALLY IN THE FLOODPLAIN AS SHOWN ON COMMUNITY PANEL No 36055C0228G, DATED 08/28/2008

EXISTING LEGEND





THE HUMAN BEAN DRIVE THRU RESTAURANT

STATE OF NEW YORK

2195 EMPIRE BLVD
MONROE COUNTY

TOWN OF WEBSTER

PRELIMINARY/FINAL SITE PLANS

JOB NO:	1712-24	
SCALE:	1"=20'	
DRAWN:	RLB	
DESIGNED:	MT	
DATE:	07/16/2024	
REVISIONS		
DATE	BY	REVISION

DATE	BY	REVISION

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 8-A, SECTION 80(8) FOR ANY PERSON, UNLICENSED, ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO DRAW, PUBLISH, OR FILE PLANS, DRAWINGS, OR LAND SURVEYOR'S DATA, OR TO FILE THEIR SEAL AND THE NOTATION ALIGNED BY DRAWING NUMBER, DATE, AND THE DATE OF SIGNATURE, AND A SPECIFIC DESCRIPTION OF THE ACTIVITIES.

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DRAWING TITLE:
LIGHTING &
LANDSCAPING
PLAN

5 of 7	SHEET NO:
1712-24	
	DRAWING NO:

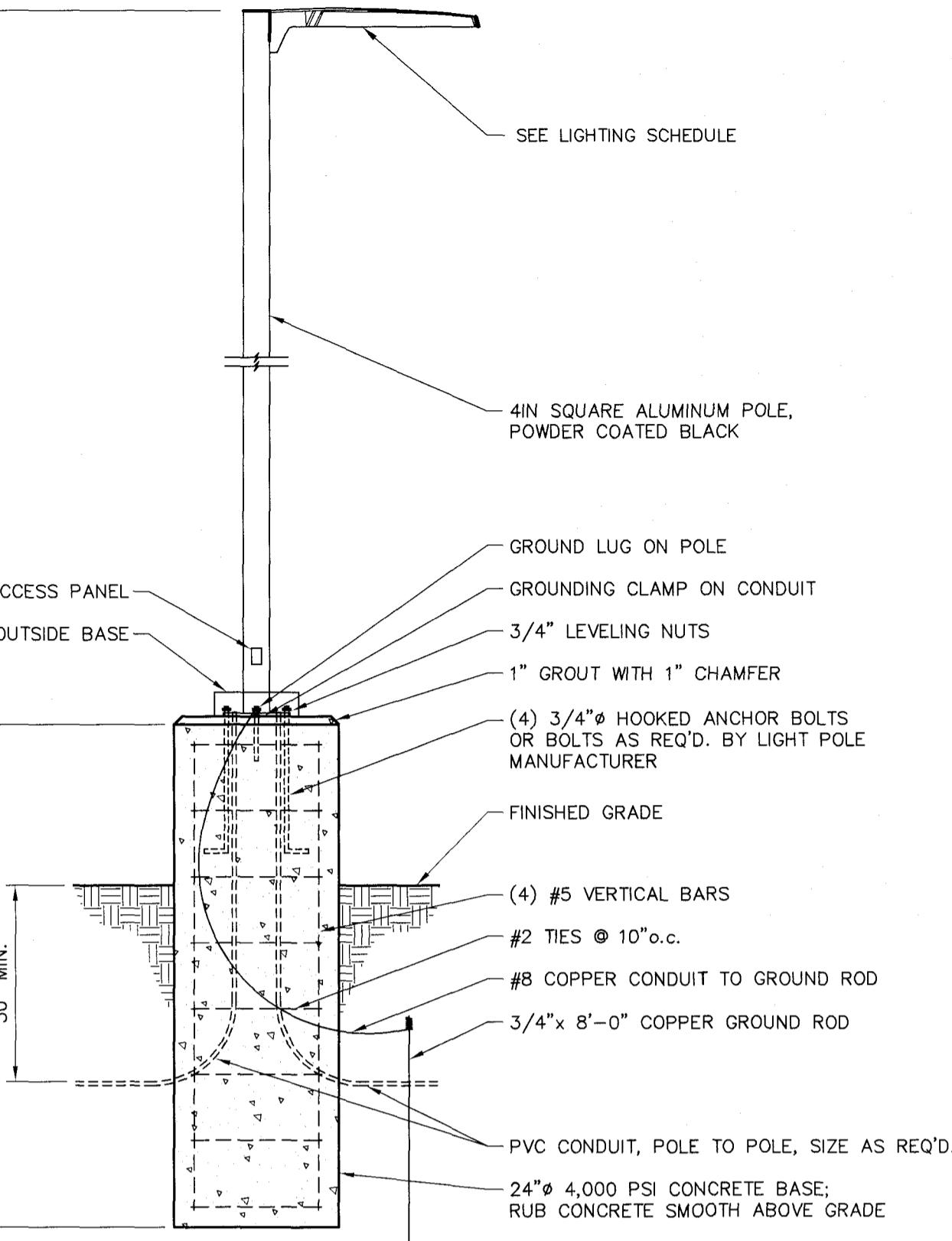
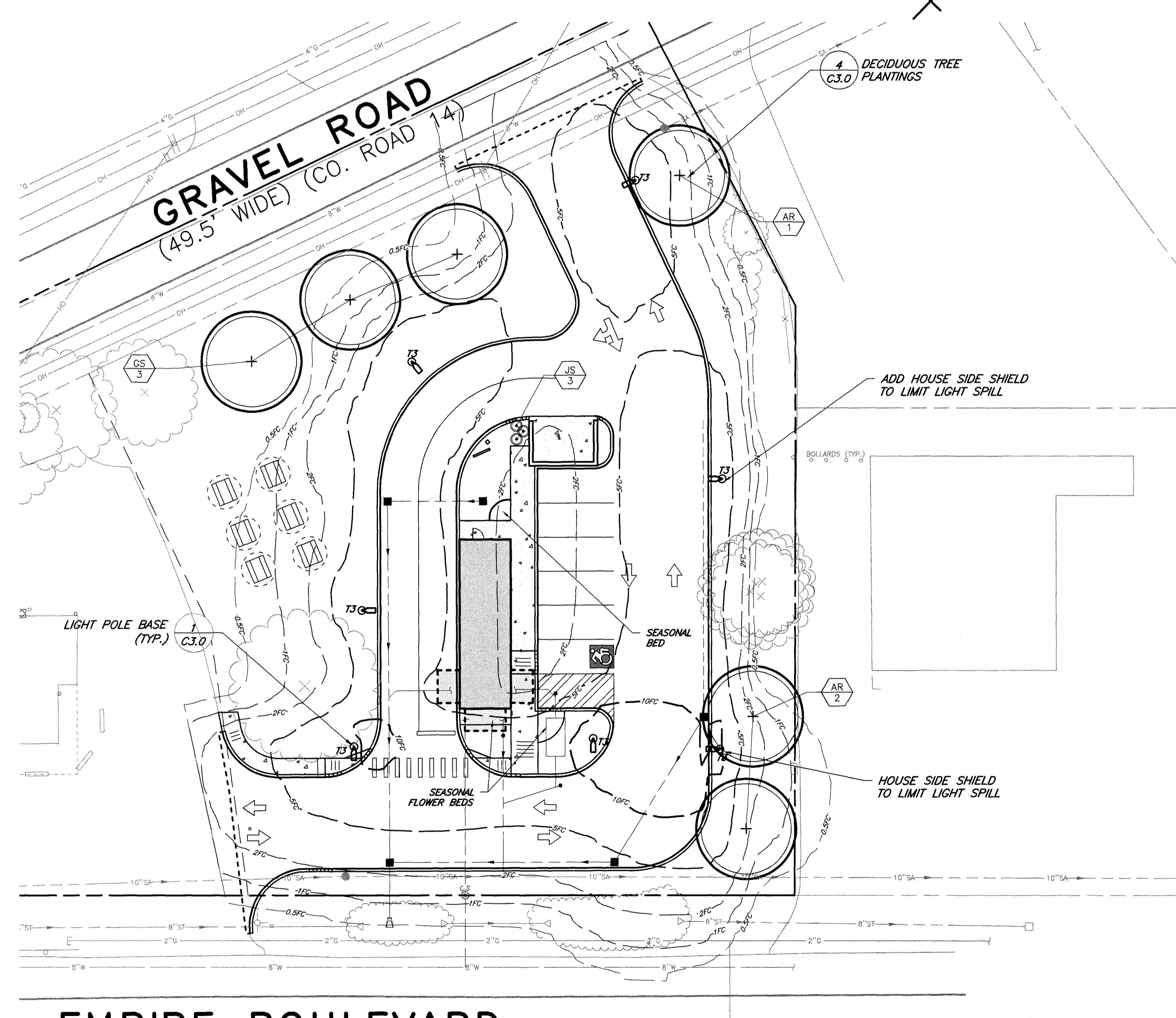
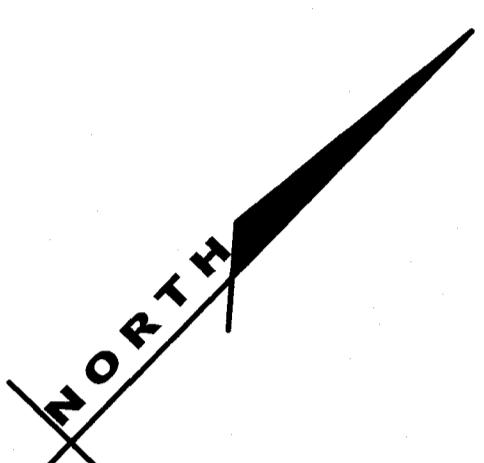
EMPIRE BOULEVARD (80' WIDE) (NYS RTE. 404)

LIGHTING SCHEDULE									
Index	Manufacturer	Article name	Item number	Fitting	Mounting Height	Luminous flux	Light loss factor	Connected load	Quantity
T3	COOPER LIGHTING SODIUM McGRAW-EDISON (FORMERLY EATON)	GALEON AREA AND ROADWAY LUMINAIRE (4) 70- CRI 4000K, 800mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE III OPTICS	GLEON-SA4B-7 40-U-T3	64x	18 FT	23058 lm	0.80	171 W	7

LEGEND:

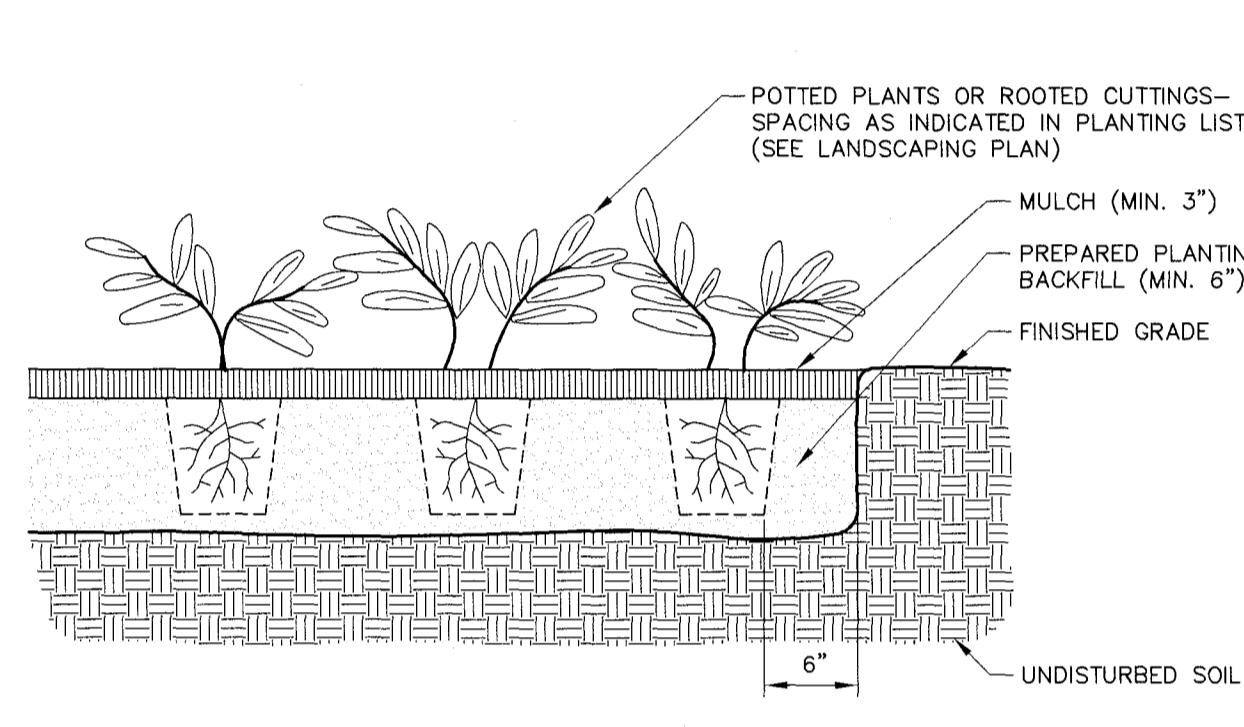
0.5FC	-----	LIGHTING CONTOUR (FOOT CANDLES)
1FC	-----	
2FC	-----	
5FC	-----	
10FC	-----	

ROW OF SIMILAR TREES

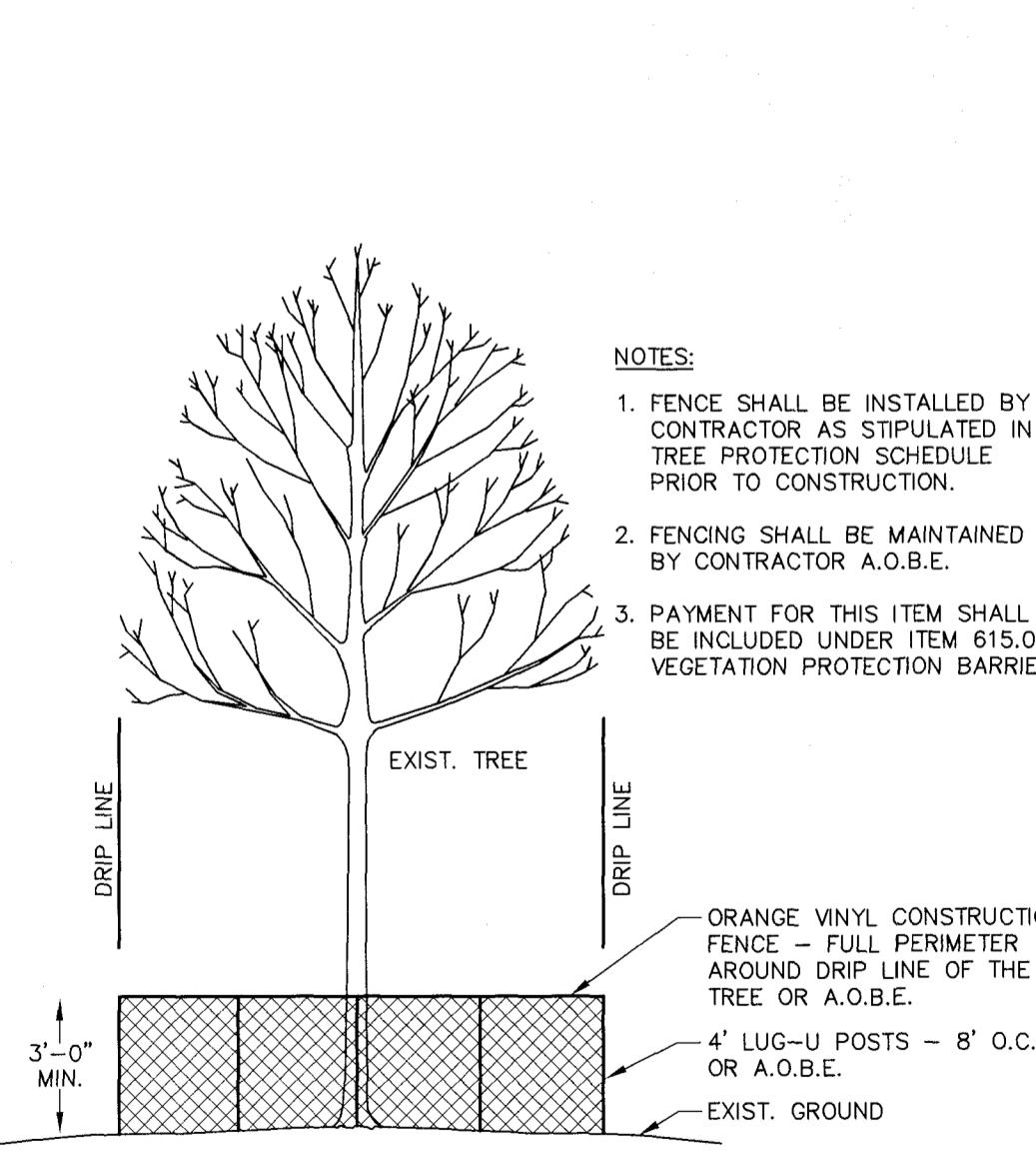


NOTES:
1. POLE BASE MAY BE PRECAST BY LAKELANDS (LB240).
2. LIGHT POLE MANUFACTURER TO SUPPLY ANCHOR BOLTS, OUTSIDE BASE, AND BOLT PATTERN TEMPLATES.
3. IN PAVEMENT AREAS CONCRETE BASE SHALL EXTEND 24" MINIMUM ABOVE ASPHALT. PROTECTED LANDSCAPE AREAS (BETWEEN 8'-0" AND 14'-0") SHALL HAVE A MINIMUM OF 6" REVEAL ABOVE FINISHED GRADE.
4. BASES SHALL HAVE 2' MIN. HORIZONTAL SEPARATION FROM BACK OF CURB OR SIDEWALK UNLESS SPECIFICALLY CALLED OUT OTHERWISE ON THE PLANS.

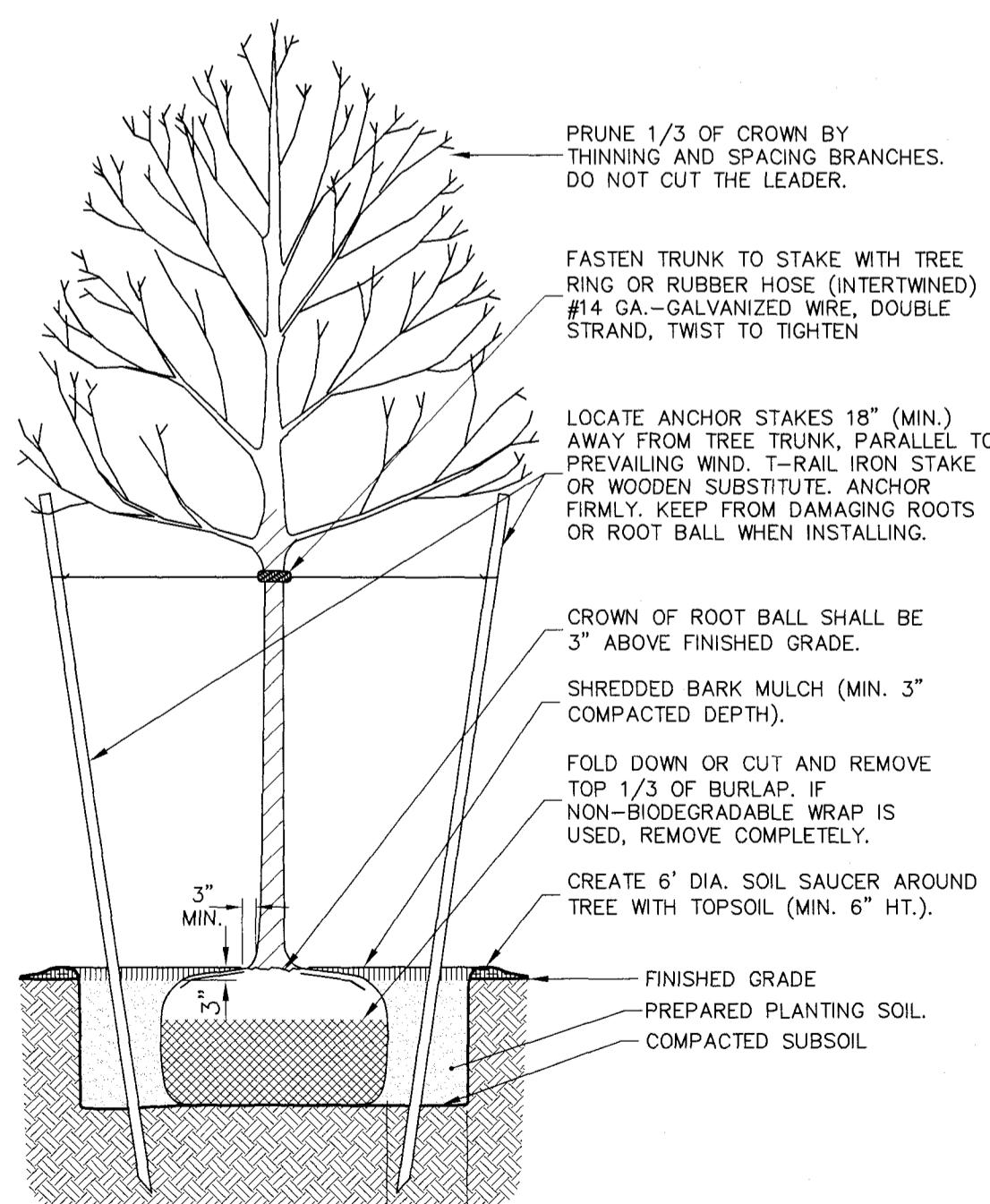
1 LIGHT BASE



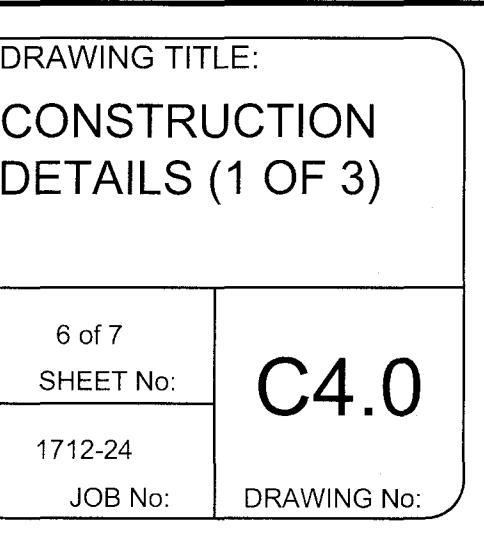
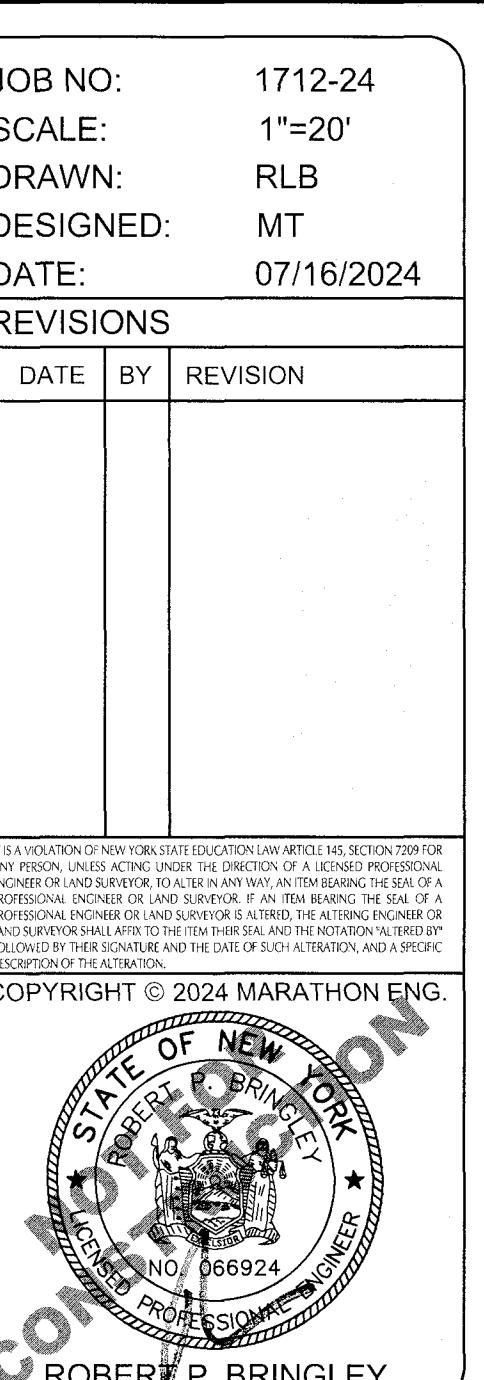
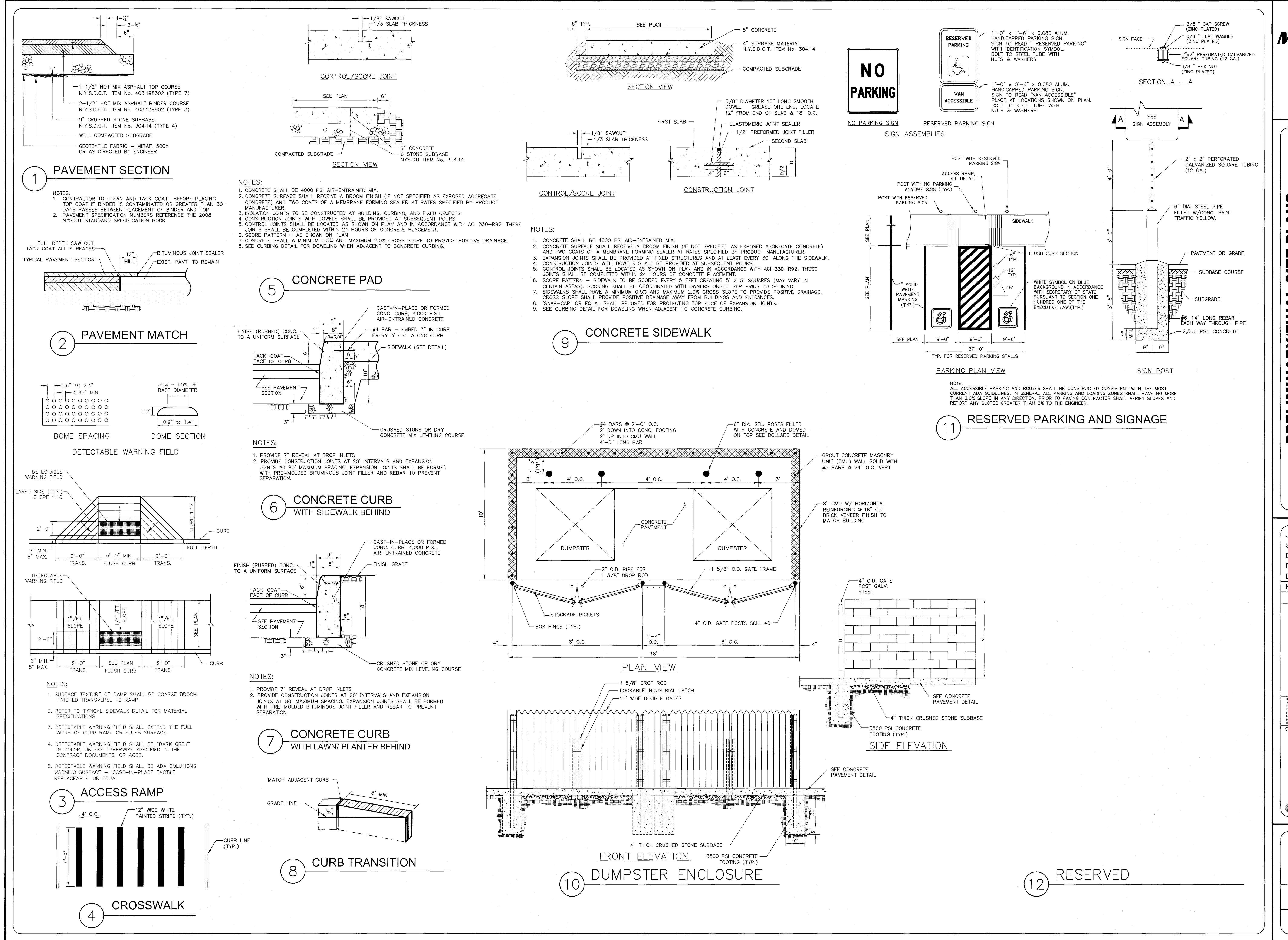
3 GROUND COVER PLANTINGS



2 TREE PROTECTION



4 DECIDUOUS PLANTINGS



PRELIMINARY/FINAL SITE PLANS for THE HUMAN BEAN DRIVE THRU RESTAURANT

STATE OF NEW YORK

2195 EMPIRE BLVD
MONROE COUNTY

TOWN OF WEBSTER

JOB NO: 1712-24
SCALE: AS SHOWN
DRAWN: RLB
DESIGNED: MT
DATE: 07/16/2024

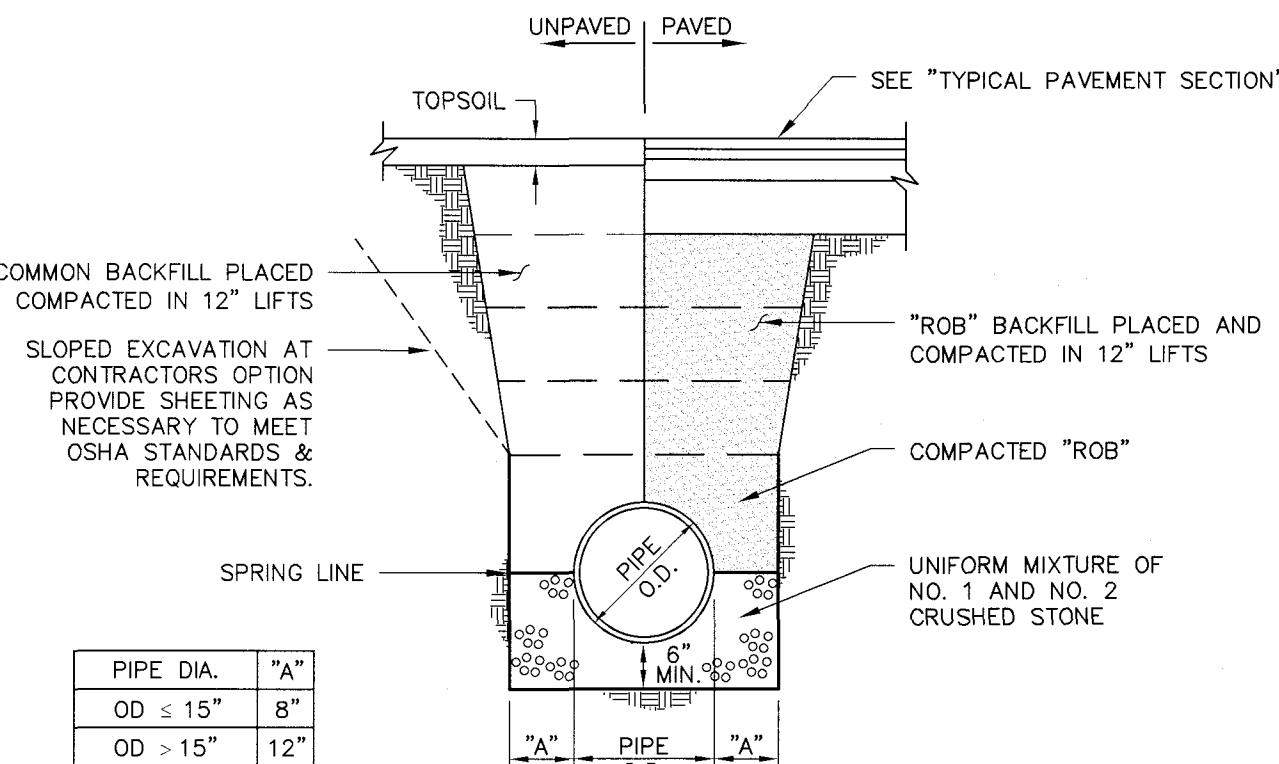
REVISIONS

DATE BY REVISION

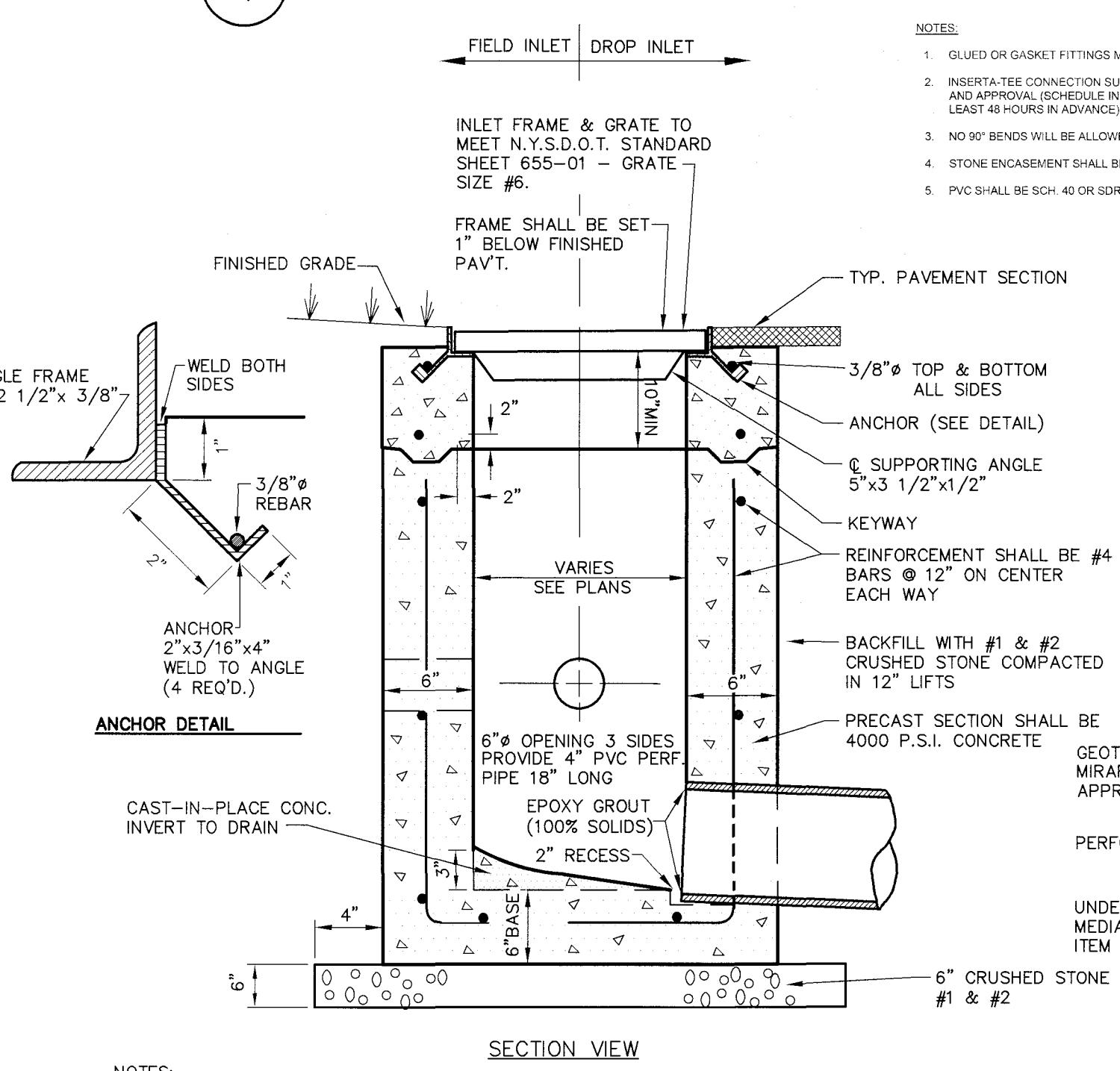


DRAWING TITLE:
CONSTRUCTION
DETAILS (2 OF 3)

7 of 7
SHEET NO:
1712-24
DRAWING NO:
C4.1

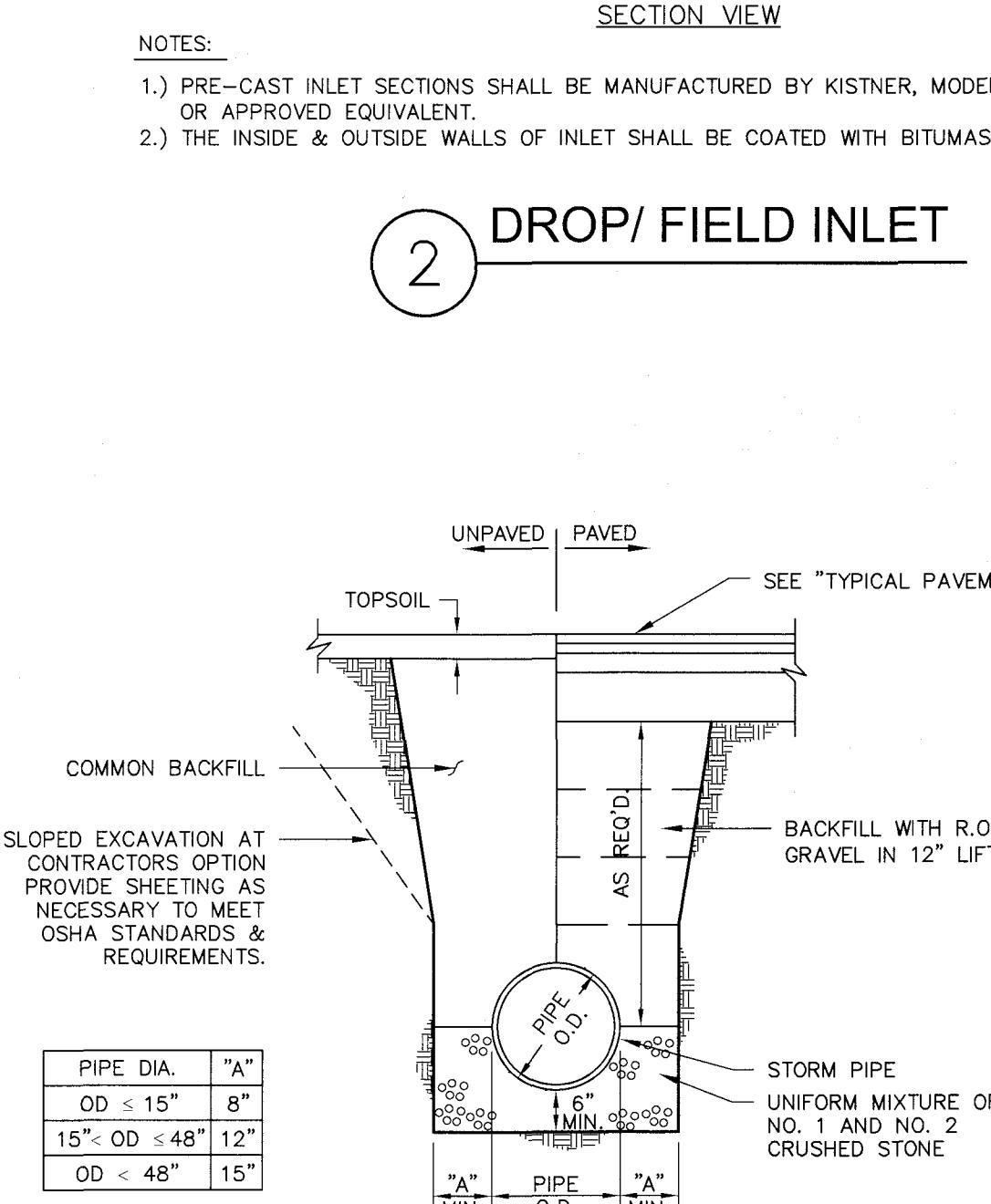


1 SANITARY TRENCH

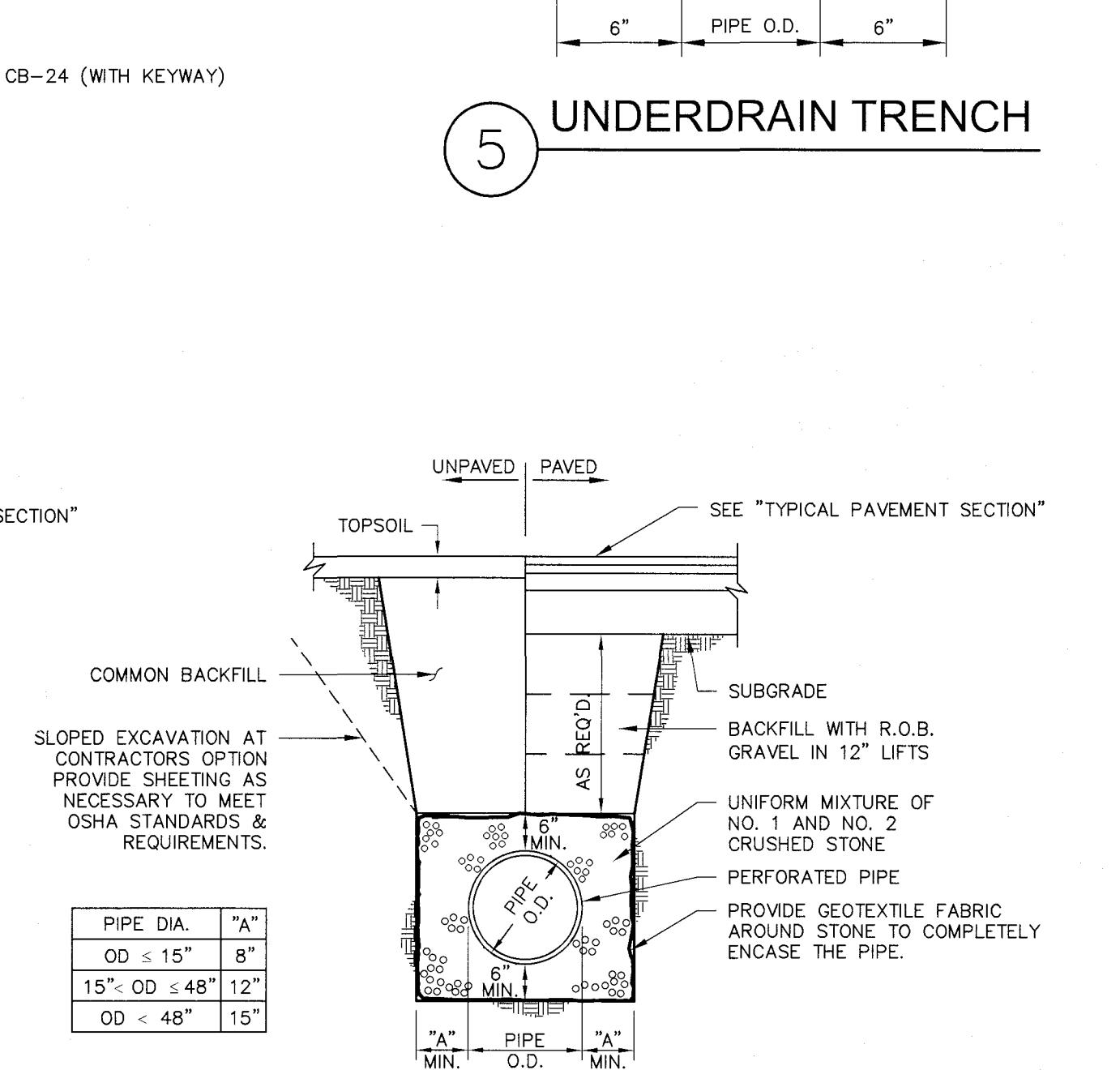


SANITARY LATERAL CONNECTION
SCALE: N.T.S.
FEBRUARY 2023
SA-010

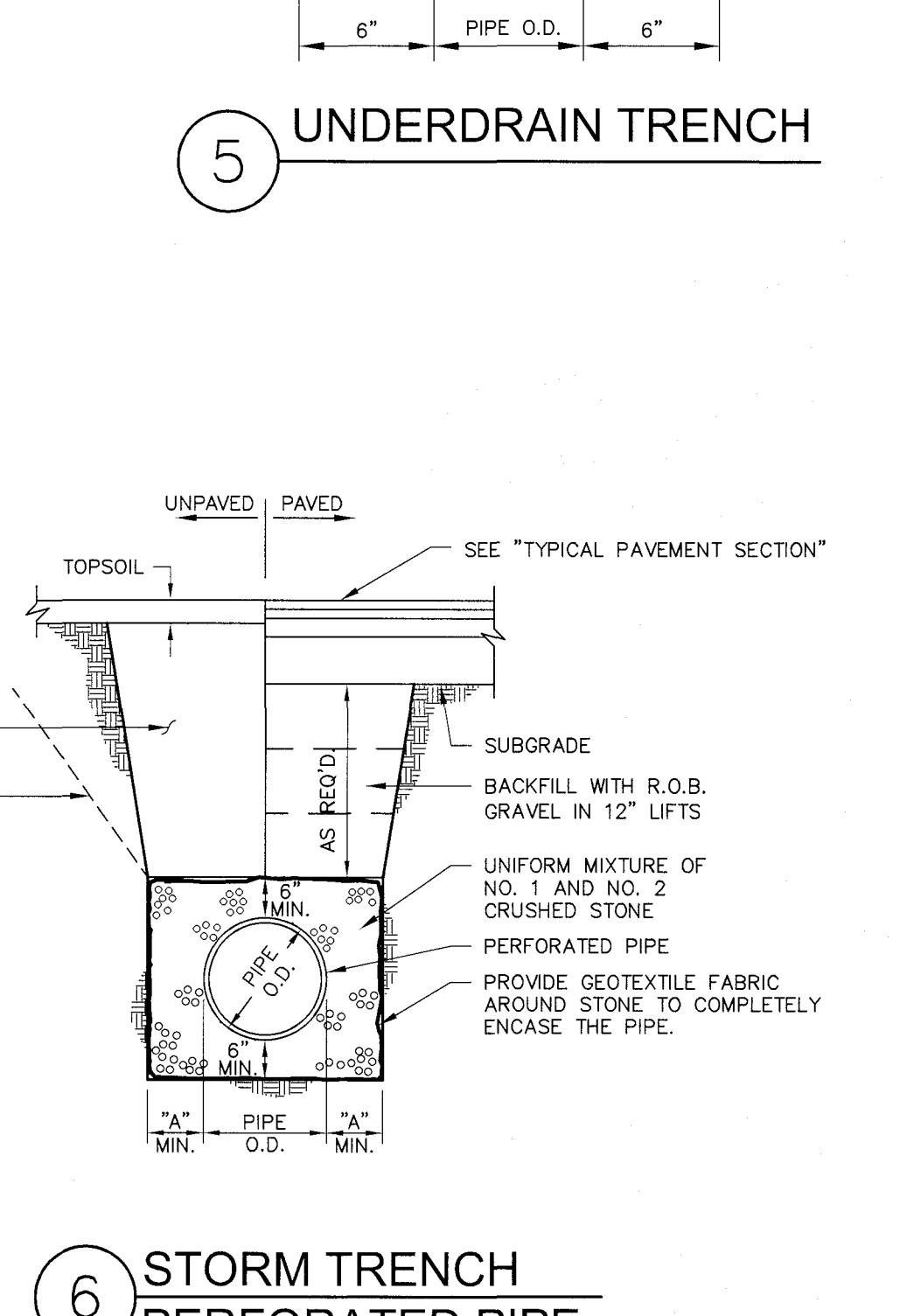
4 SANITARY SERVICE LATERAL



2 DROP/ FIELD INLET



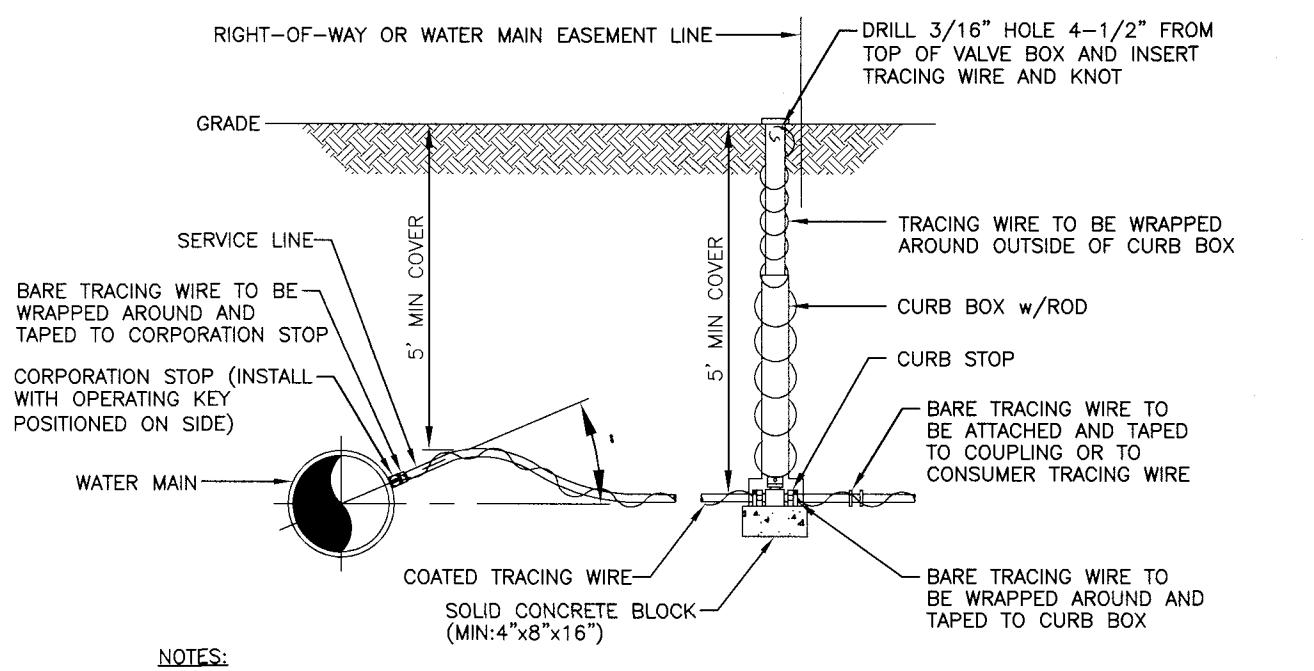
3 STORM TRENCH SOLID PIPE



6 STORM TRENCH PERFORATED PIPE

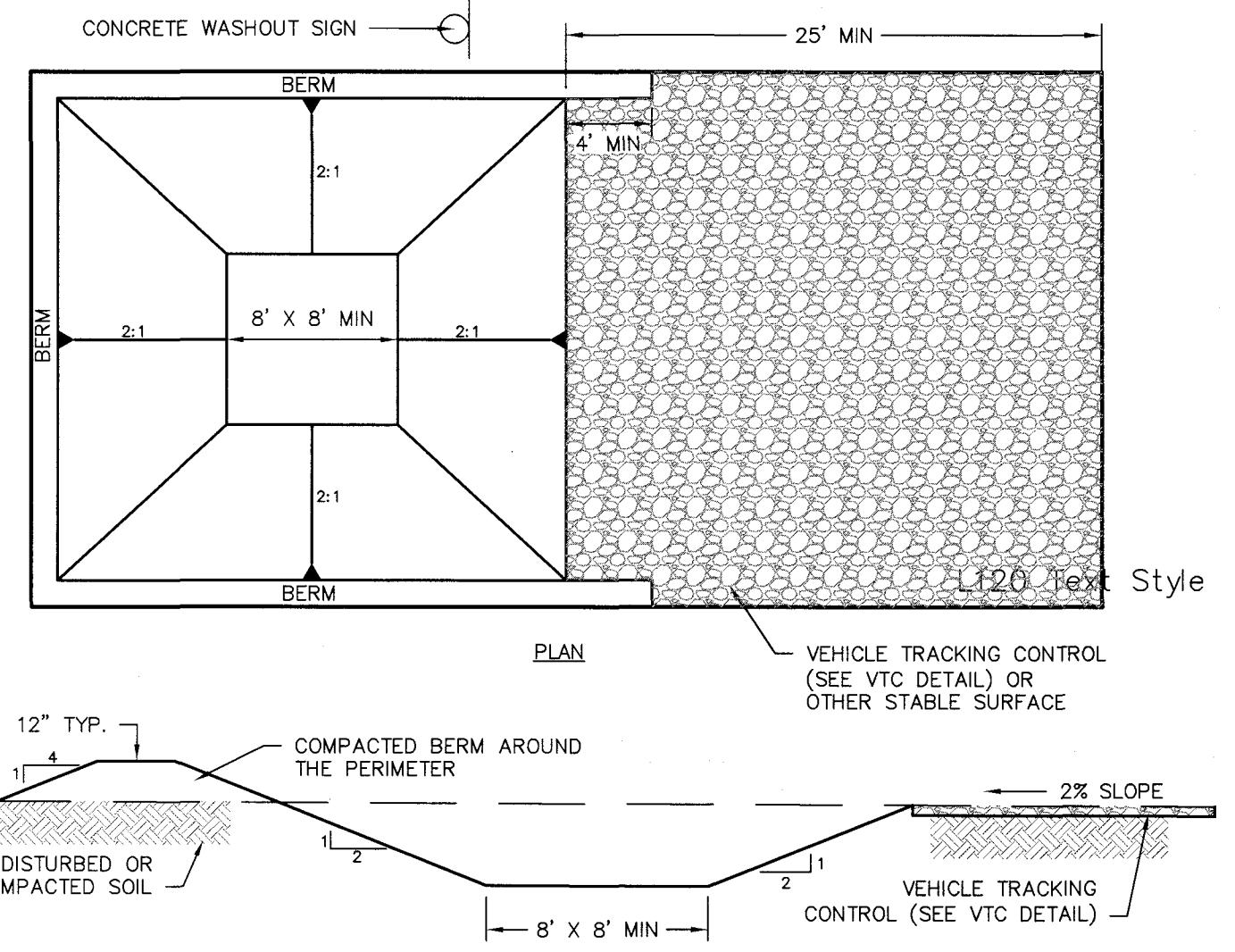


11 STOCKPILE AREA

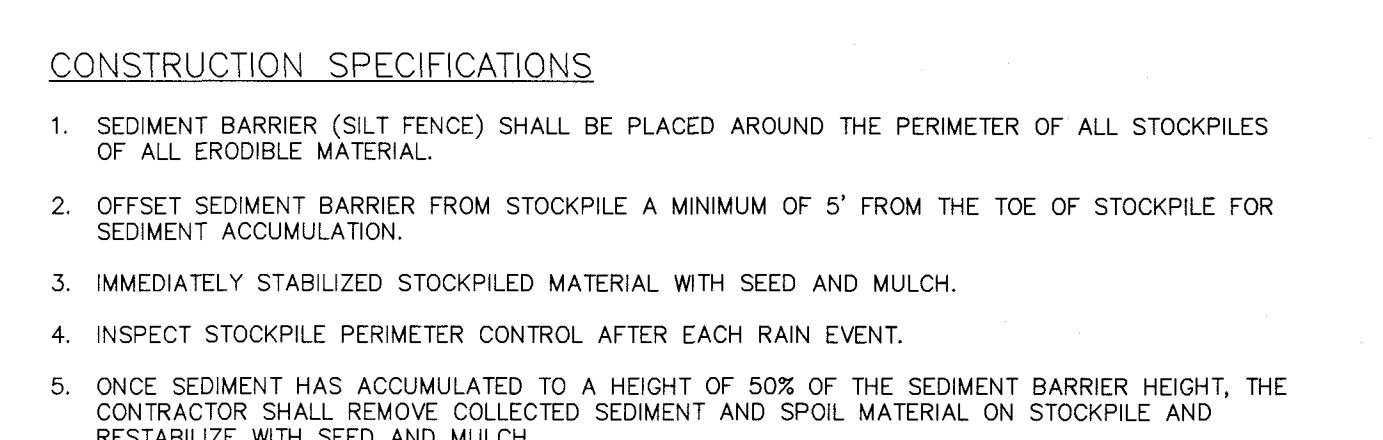
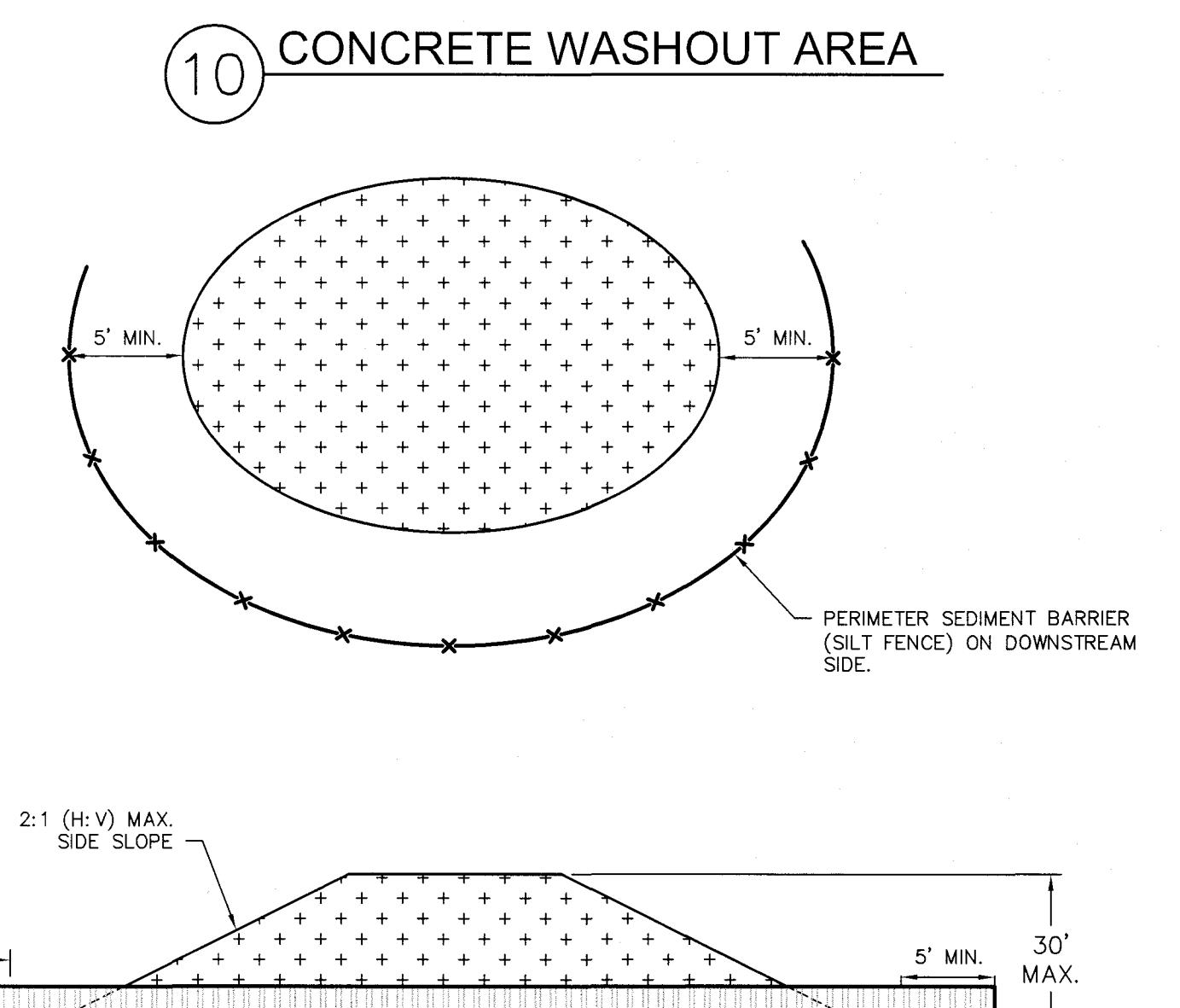


7 SERVICE INSTALLATION

MCWA STANDARD DETAIL (DME 17, 2016)
NTS



10 CONCRETE WASHOUT AREA



11 STOCKPILE AREA

SCALE: N.T.S.

9 SILT FENCE

SCALE: N.T.S.

10 CONCRETE WASHOUT AREA

SCALE: N.T.S.

11 STOCKPILE AREA

SCALE: N.T.S.

10 CONCRETE WASHOUT AREA

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11 STOCKPILE AREA

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