

PRELIMINARY DRAWINGS

FOR

LOCHNER SUBDIVISION

TOWN OF WEBSTER

MONROE COUNTY, NEW YORK

OCTOBER 2023

RECEIVED

DEC 13 2023

TOWN OF WEBSTER
DEPT. OF COMMUNITY DEVELOPMENT



DRAWING INDEX:

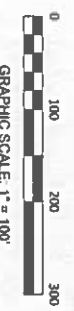
- | SH# | DESCRIPTION |
|-----|-----------------------------|
| 1 | COVER SHEET |
| 2 | EXISTING CONDITIONS |
| 3 | PROPOSED LOTS 1, 2, 3 and 4 |
| 4 | PROPOSED LOTS 5 and 6 |
| 5 | SITE PLAN LOT 2 |
| 6 | NOTES AND DETAILS |
| 7 | CONSTRUCTION DETAILS |
| 8 | CONSTRUCTION DETAILS |

McMahon LaRue Associates, P. C.
ENGINEERS AND SURVEYORS

822 HOLT ROAD
WEBSTER, NY 14580
PHONE: 408-7000
WWW.McMAHON-LARUE.COM
CLIENT:
TIMOTHY & JEANNETTE LOCHNER
183 LAKE ROAD
WEBSTER, NEW YORK 14580

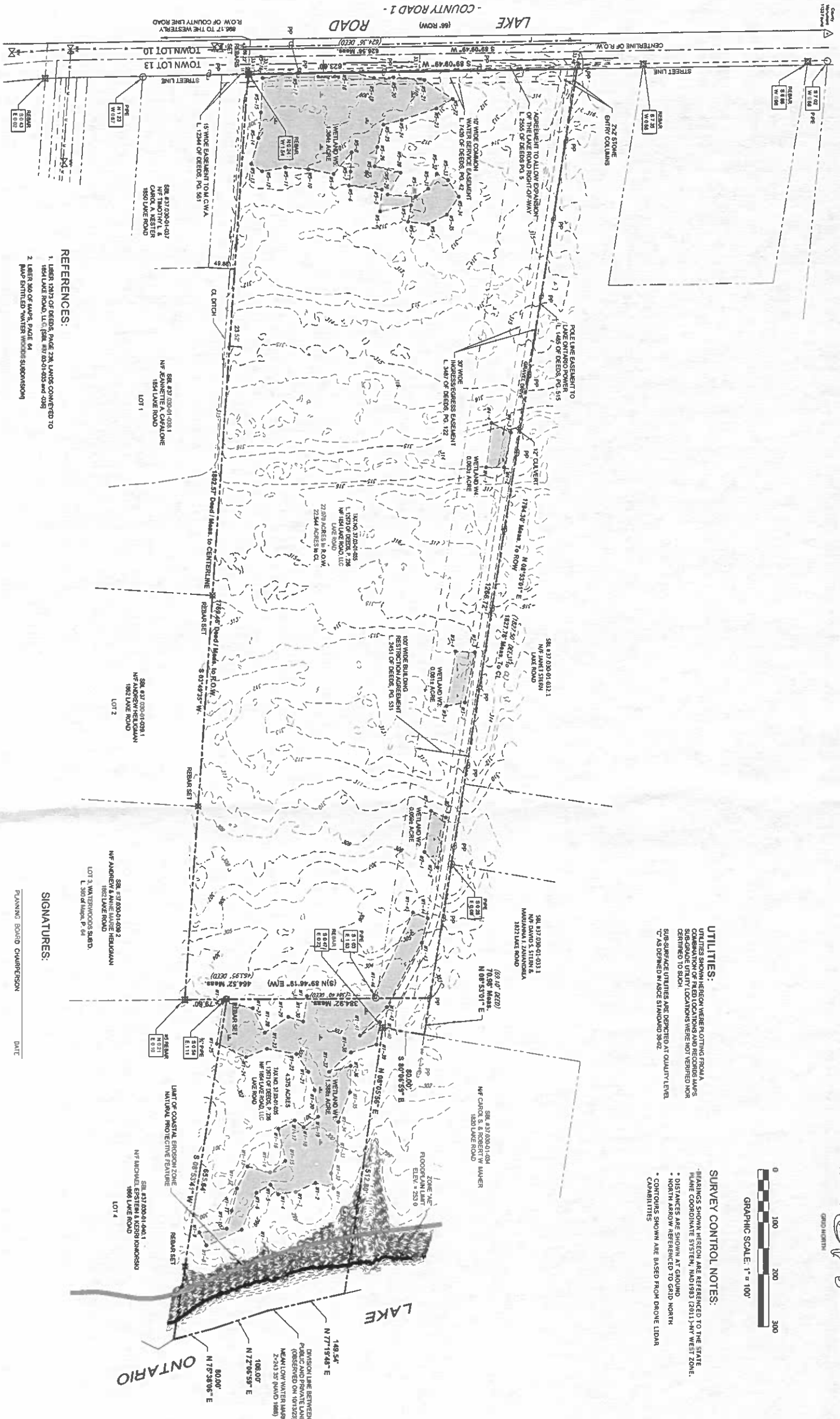
PROJECT:
LOCHNER
SUBDIVISION

COVER -01 CAD FILE
1451-00



UTILITIES:
 UTILITIES SHOWN HEREON WERE LOCATED FROM A COMPARISON OF FIELD LOCATIONS AND RECORDS FOR THE TOWN OF WEBSTER AND THE TOWN OF WEBSTER. CONDUITS WERE NOT VERIFIED FOR QUALITY LEVEL OR AS DEPICTED IN THIS PLAN.

SURVEY CONTROL NOTES:
 - BENCHMARKS SHOWN HEREON ARE REFERENCED TO THE STATE PLANE COORDINATE SYSTEM, NAD1983 (2011) - NY WEST ZONE.
 - DISTANCES ARE SHOWN AT GROUND.
 - NORTH ARROW REFERENCED TO GRID NORTH.
 - CONTOURS SHOWN ARE BASED FROM DROVE LIDAR DATA.



- REFERENCES:**
1. LARSEN 12/27/07 OF DEEDS, PAGE 234, LOTS 13, 14 AND 15 OF LAKE ROAD, L.T. 13, 14 & 15 (S.S. 100-000-000) AND 2009
 2. LARSEN 3/20/07 OF LAWS, PAGE 64
- ABSTRACTS OF TITLE:**
 AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THIS SURVEY.

WETLAND NOTE:
 A WETLAND AND WATERWAYS DELINEATION REPORT WAS PROVIDED BY THE SURVEYOR TO THE TOWN ENGINEER, INC. AND THE TOWN OF WEBSTER. THE REPORT WAS FILED AND NOTED AS V.I. 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

SITE DATA:

TAX MAP: 097.01.015 AND 016
 MAPING DISTRICT: 11. LARGE LOT SINGLE FAMILY RESIDENTIAL
 ZONING: U. LARGE LOT
 ZONING REQUIREMENTS:
 MIN. LOT SIZE: 3 ACRES
 MIN. LOT WIDTH: 75 FT
 MIN. FRONT SETBACK: 60 FT
 MIN. SIDE SETBACK: 60 FT

SIGNATURES:

PLANNING BOARD CHAIRPERSON: _____ DATE: _____

WEBSTER TOWN ASSESSOR: _____ DATE: _____

WEBSTER TOWN MARSHAL: _____ DATE: _____

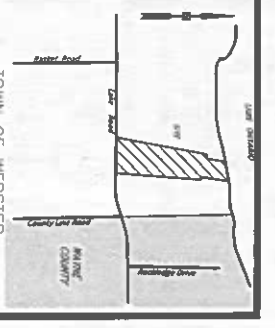
TOWN ENGINEER: _____ DATE: _____

TOWN MOBILE SUPERINTENDENT: _____ DATE: _____

DIRECTOR OF COMMUNITY DEVELOPMENT: _____ DATE: _____

CERTIFICATION:
 I HEREBY CERTIFY TO THE PARTIES LISTED HERE UNDER THAT THIS MAP WAS MADE USING THE REFERENCE MATERIAL LISTED HEREON AND THE NOTES OF AN INSTRUMENT SURVEY PERFORMED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW YORK. THIS INSTRUMENT SURVEY OF PROFESSIONAL LAND SURVEYING WAS COMPLETED ON OCTOBER 11, 2023.

TIMOTHY LOCHNER



DATE	BY	REVISIONS
12/12/23	JAT	CONDUCTED BY MOORE, LC, SURVEYOR
12/17/23	JAT	LINE WETLAND RECS. LOT 4 CORRECTION
11/9/23	JAT	TOWN ENGINEER COMMENTS 11/2/23



DRAWING ALTERATION

WE: 100% OF THE TOTAL AREA OF THE DRAWING IS UNDER THE CONTROL OF THE SURVEYOR. ANY ALTERATION TO THE DRAWING MUST BE APPROVED BY THE SURVEYOR. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING.

McMahon Larue Associates, P.C.
 ENGINEERS AND SURVEYORS

822 HOLT ROAD
 WEBSTER, NY 14580
 (585) 438-1080
 WWW.MCMAHON-LARUE.COM

CLIENT:
 TIMOTHY LOCHNER
 1824 LAKE ROAD
 WEBSTER, NEW YORK
 14580

PROJECT:
 LANDS OWNED BY
 TIMOTHY LOCHNER and
 JEANNETTE A. CAFALONE
 LAKE ROAD, WEBSTER

DRAWING:
 PRELIMINARY
 LOCHNER SUBDIVISION
 EXISTING CONDITIONS PLAN

BING PART OF TOWN LOT 15
 TOWNSHIP 14, RANGE 4, SECTION 10
 PHELPS AND GOUGHAM PURCHASE
 TOWN OF WEBSTER, MONROE COUNTY
 STATE OF NEW YORK

DESIGNED BY: JAT
 DRAWN BY: JAT
 CHECKED BY: AL
 BAL: 37.03-01-033, 37.03-01-038
 POL. NO. 1451-00
 DATE: OCTOBER, 2023
 SCALE: 1" = 100'
 SHEET: 2 OF 8
 CAD FILE:

REFERENCES:

1. 1884-1914 OF DEEDS, PAGES 208, LOTS COVERED TO 1854 LAKE ROAD, LLC, S.M. #17,041-025 AND 026
2. 1887-2007 OF DEEDS, PAGE 64, MAP ENTITLED WATERSHOODS SUBDIVISION

ABSTRACTS OF TITLE:

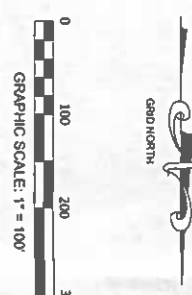
AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THIS SURVEY.

WETLAND NOTE:

A WETLAND AND WATERBODIES DELINEATION REPORT WAS PERFORMED ON THE SURVEY PARCELS BY LARRY DIMENSION, INC. DATED NOVEMBER 27, 2013. FIVE (5) AREAS OF WETLAND WERE IDENTIFIED AND ARE SHOWN ON THE SURVEY MAP. THE WETLANDS WERE DETERMINED TO BE ALIEN (A) WETLANDS AND SUBSTRATE WETLANDS WITH NO APPARENT COMMERCIAL CONNECTION TO A WATER OF THE U.S. AS A RESULT, THESE FIVE (5) WETLAND AREAS ARE NOT REGULATED UNDER SECTION 404 OF THE CLEAN WATER ACT AND THE NATIONAL WETLANDS DELINEATION.

FEMA NOTE:

A PORTION OF THIS PARCEL IS LOCATED WITHIN ZONE "AE" ALONG THE LAKE AND DUNE "X" (BASED ON MINIMAL FLOODING) FOR THE 1% ANNUAL FLOOD FLOODING FOR 2006. EFFECTIVE DATE: AUGUST 28, 2006.



SURVEY CONTROL NOTES:

- BEARINGS SHOWN HEREON ARE REFERENCED TO THE STATE ZONE.
- CORNER MONUMENT STATION NO. 1593 (S11) AND WEST
- DISTANCES ARE SHOWN AT GROUND.
- POINTS ARE REFERENCED TO GRID NORTH.

FUTURE DRIVEWAY NOTES:

1. FROM PLATS OF A COUNTY ROAD, THERE MUST BE A 10' CLEARANCE ON EACH SIDE OF THE DRIVEWAY. THE MINIMUM WIDTH FOR A RESIDENTIAL DRIVEWAY IS 10' BE 30' AS A RESULT, ANY FUTURE DRIVEWAY IN THIS LOCATION WILL REQUIRE PROPERTY LINE ADJUSTMENTS.
2. ANY FUTURE DRIVEWAYS MUST MEET ALL CITY SIGHT DISTANCE REQUIREMENTS.

MONUMENT DATA:

MONUMENT: 1133 (NVS) 1907	PUBLISHED:	MEASURED:
	N 1° 18' 54.51" E 60	N 1° 18' 54.51" E 60
	E 1° 18' 49.87" W 22	E 1° 18' 49.87" W 22
	Z= 322.852	Z= 322.852
	(MADZT/NVSD29)	(MADZT/NVSD29)
	PUBLISHED: <td>MEASURED: </td>	MEASURED:
	N 1° 18' 54.51" E 60	N 1° 18' 54.51" E 60
	E 1° 18' 49.87" W 22	E 1° 18' 49.87" W 22
	Z= 311.45	Z= 311.45
	(MADZT/NVSD29)	(MADZT/NVSD29)

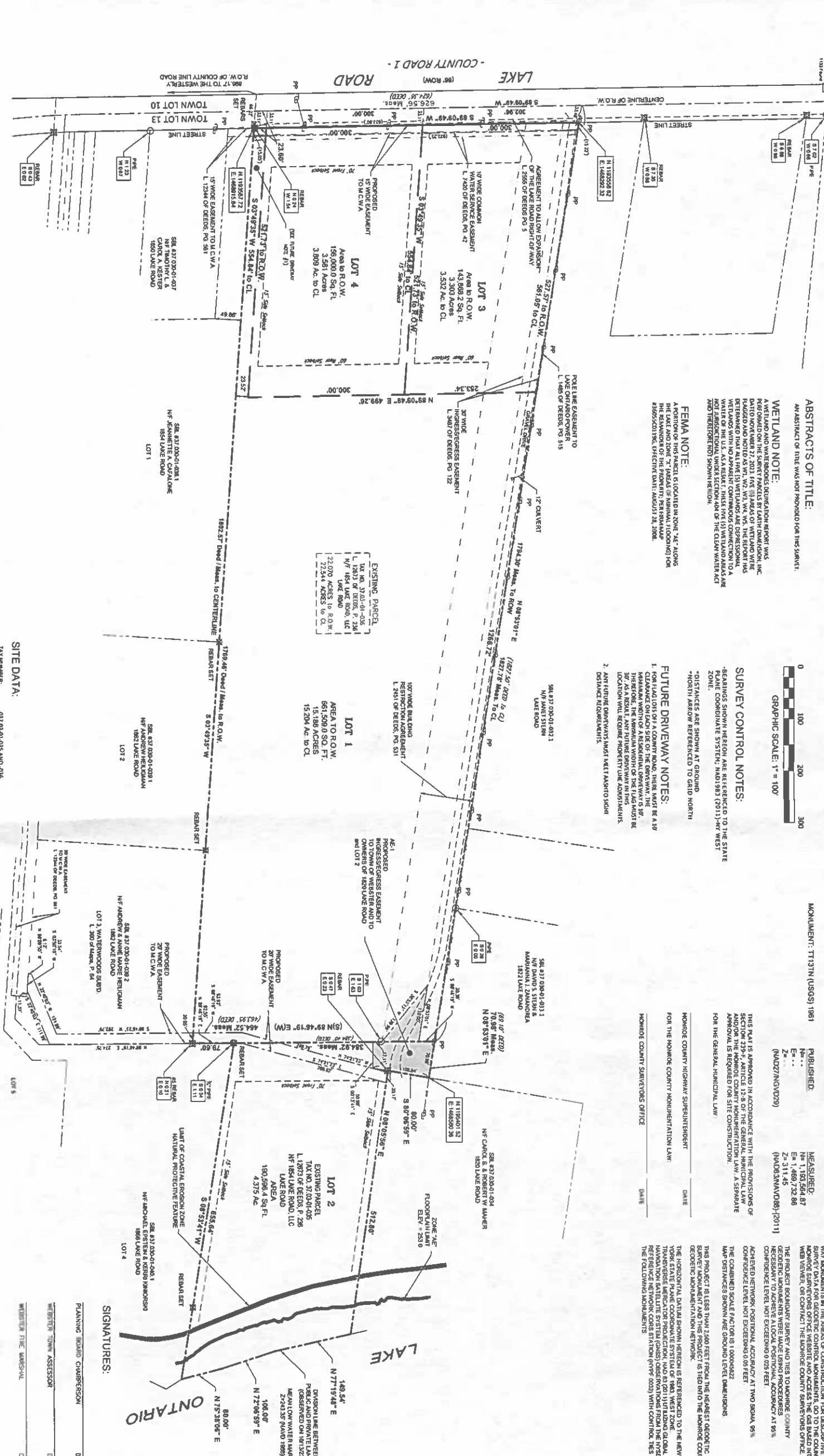
THIS PLAN IS APPROVED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 219-F, ARTICLE 12-B OF THE GENERAL MUNICIPAL LAW APPROVAL IS REQUIRED FOR SITE CONSTRUCTION.

FOR THE GENERAL MUNICIPAL LAW

MONROE COUNTY HIGHWAY SUPERINTENDENT	DATE
FOR THE MONROE COUNTY MONUMENTATION LAW	
MONROE COUNTY SURVEYORS OFFICE	DATE

THIS PROJECT IS LESS THAN 200 FEET FROM THE NEAREST GEODETIC CONTROL POINT (STATION NO. 1593) INTO THE MONROE COUNTY GEODETIC MONUMENTATION NETWORK.

THE VERTICAL DATUM SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE DATUM OF 1983. THE DATUM OF 1983 IS THE DATUM OF THE STATE PLANNING AND DEVELOPMENT AGENCY (SPDA) DATUM OF 1983. THE DATUM OF 1983 IS THE DATUM OF THE STATE PLANNING AND DEVELOPMENT AGENCY (SPDA) DATUM OF 1983.



MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH REALTY SUBDIVISION CONDITIONS OF APPROVAL:

1. That the proposed rezoning for each lot and average depth are shown in conformity with the plan on file with the Monroe County Department of Health.
2. That no lot or remaining land (if applicable) shall be subdivided without plans for each rezoning being submitted to and approved by the Monroe County Department of Health.
3. That the owner of the subdivision shall provide a copy of the subdivision map to the Monroe County Department of Health prior to offering the lots for sale.
4. That the owner of the subdivision shall provide a copy of the subdivision map to the Monroe County Department of Health prior to offering the lots for sale.
5. That the owner of the subdivision shall provide a copy of the subdivision map to the Monroe County Department of Health prior to offering the lots for sale.

SUBDIVISION NOTE:

1. APPROVAL OF THE SUBDIVISION DOES NOT CONSTITUTE BUILDING LOT APPROVAL. A SITE PLAN MUST BE FILED WITH THE TOWN OF WEBSTER.
2. APPROVAL OF THE SUBDIVISION DOES NOT CONSTITUTE BUILDING LOT APPROVAL. A SITE PLAN MUST BE FILED WITH THE TOWN OF WEBSTER.
3. APPROVAL OF THE SUBDIVISION DOES NOT CONSTITUTE BUILDING LOT APPROVAL. A SITE PLAN MUST BE FILED WITH THE TOWN OF WEBSTER.

SITE DATA:

TAX PARCELS: 037.09.01.025 AND 026
 TOWN OF WEBSTER
 ZONING DISTRICT: U-1 (URBAN LOT SINGLE-FAMILY RESIDENTIAL)
 TOTAL SITE AREA: 25,445.0 ACRES TO R.O.W.

TAXES PAID STAMP

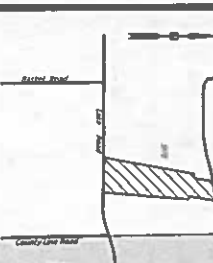
1. THE UNDERSIGNED TREASURER OF MONROE COUNTY, PURSUANT TO SECTION 219-F OF THE GENERAL MUNICIPAL LAW, HAS RECEIVED FROM THE SUBDIVISION OWNER THE TAXES AND SCHOOL TAXES AGAINST THE LAND DESCRIBED HEREIN HAVE BEEN PAID THROUGH

CERTIFICATION:

I HEREBY CERTIFY TO THE PARTIES LISTED HEREIN THAT THIS MAP WAS MADE USING THE REFERENCE MATERIAL LISTED HEREON AND THE NOTES ON THIS MAP AND THAT THE SUBDIVISION WAS COMPLETED ON OCTOBER 13, 2023.

SIGNATURES:

PLANNING BOARD CHAIRPERSON _____ DATE _____
 WRITERS TOWN ASSESSOR _____ DATE _____
 WESTERN TIRE MARSHAL _____ DATE _____
 TOWN ENGINEER _____ DATE _____
 TOWN HIGHWAY SUPERINTENDENT _____ DATE _____
 DIRECTOR OF COMMUNITY DEVELOPMENT _____ DATE _____



TOWN OF WEBSTER LOCATION SKETCH N.T.S.

DATE	COMMENTS	BY
12/12/23	COMMENTS: PLOT CORRECT, NO SIGNATURE	JAT
12/11/23	THE TOWN ENGINEER CORRECTED THE CORRECTIONS	JAT
11/9/23	TOWN ENGINEER CORRECTED 11/21/23	JAT
DATE	REVISIONS	BY

DRAWING ALTERATION

THE FOLLOWING IS A SUMMARY OF THE CHANGES TO THE ORIGINAL DRAWING. THE CHANGES TO THE ORIGINAL DRAWING ARE SHOWN IN RED. THE CHANGES TO THE ORIGINAL DRAWING ARE SHOWN IN RED. THE CHANGES TO THE ORIGINAL DRAWING ARE SHOWN IN RED.

MEMORANDUM

622 HOLT ROAD
 WEBSTER, NY 14580
 (608)-438-1080
 WWW.MEMORANDUM-ASSOCIATES.COM

PROJECT:
 LANDS OWNED BY
 TIMOTHY LOCHNER and
 JEANETTE A. CAFALONE
 LAKE ROAD, WEBSTER

DRAWING:
 PRELIMINARY
 LOCHNER SUBDIVISION

DESIGNED BY: AIL
CHECKED BY: AIL
DATE: 37.03-01-015, 37.03-01-015
PROJ. NO.: 1451-00
DATE: OCTOBER, 2023

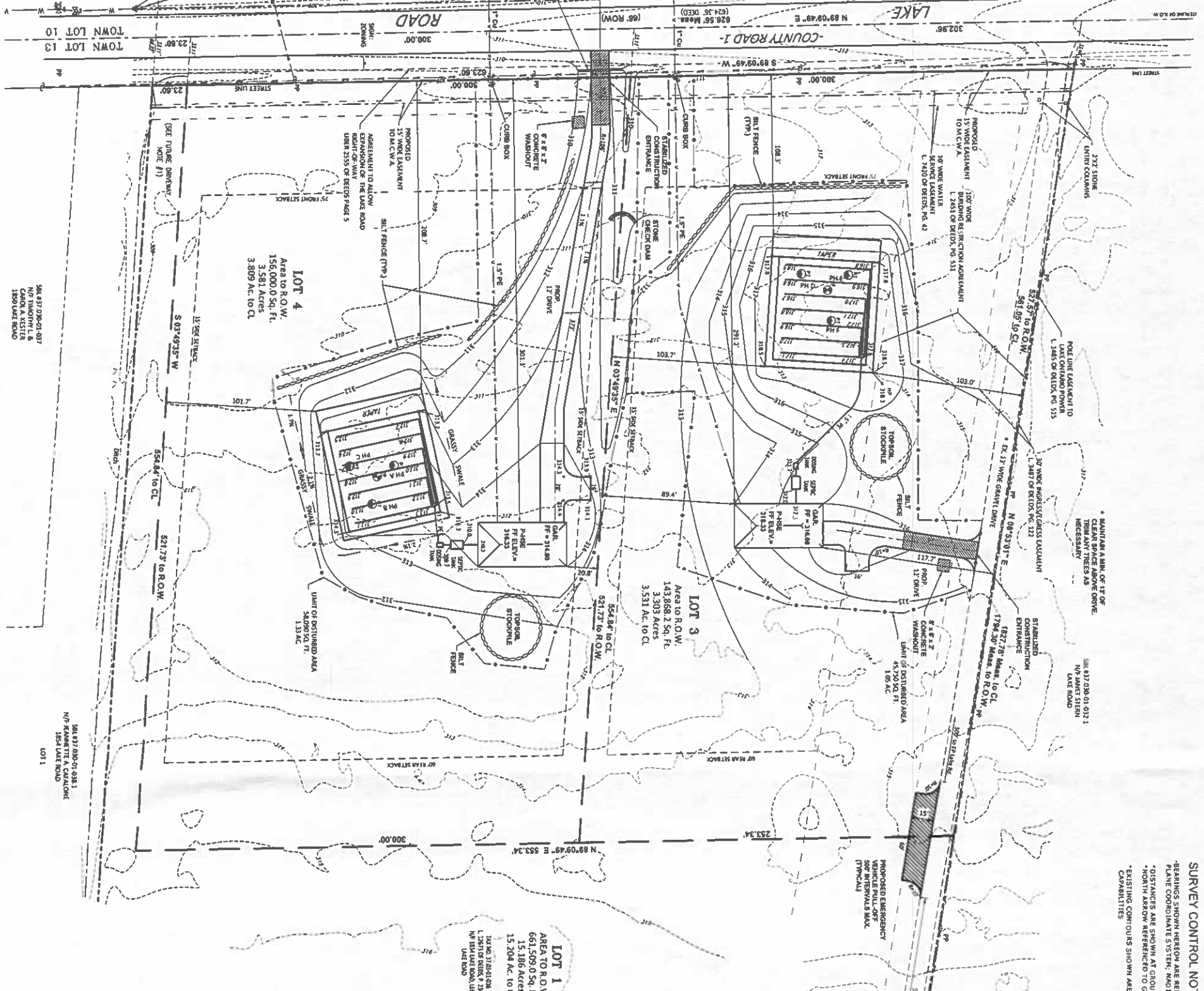
SCALE: 1" = 100'
SHEET: 3 OF 8
GRID FILE:

INSTALL A STAMPED RE WITH 2" BLOW-OFF PER MINOR DETAIL USE AND DISMOUNT 100'.

6" GATE VALVE

PERFORMANCE HYDRANT ASSEMBLY

DESIGN SS=450
SPEED LIMIT=45 MPH
DESIGN SPEED=45 MPH



SURVEY CONTROL NOTES:
 - BEARINGS SHOWN HEREON ARE REFERENCED TO THE STATE PLANE COORDINATE SYSTEM, NAD1983 (2011) NY WEST ZONE.
 - DISTANCES ARE SHOWN AS ROUND.
 - NORTH ARROW REFERENCED TO GRID NORTH.
 - EXISTING CORNERS SHOWN ARE BASED FROM DRONE LIDAR CAPABILITIES.

WETLAND NOTE:

WETLANDS SHOWN ON THIS DRAWING WERE IDENTIFIED BY THE DESIGNER. THIS INFORMATION IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE WETLANDS AND HAS OBSERVED THE CHARACTERISTICS OF THE WETLANDS AS SHOWN ON THIS DRAWING. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE WETLANDS AND HAS OBSERVED THE CHARACTERISTICS OF THE WETLANDS AS SHOWN ON THIS DRAWING.

HYDRANT FLOW DATA:

LOCHNER COUNTY LINE NO. 128110 RINK, 25 NF RINK ROAD, LC DUEBRO
 DATE: 07/26/2023
 AREA TO R.O.W. 15,186 ACRES
 661,509.0 SQ. FT.
 15,204 AC. TO CL

Lot No.	Flow (GPM)	Pressure (PSI)	Flow (GPM)	Pressure (PSI)
1	1200	100	1200	100
2	1200	100	1200	100
3	1200	100	1200	100
4	1200	100	1200	100

SIGNATURES:

PLANNING BOARD CHAIRPERSON _____ DATE _____
 WEBSTER TOWN ASSESSOR _____ DATE _____
 WEBSTER FIRE WARDEN _____ DATE _____
 TOWN ENGINEER _____ DATE _____
 TOWN HIGHWAY SUPERINTENDENT _____ DATE _____
 DIRECTOR OF COMMUNITY DEVELOPMENT _____ DATE _____
 MONROE COUNTY WATER AUTHORITY _____ DATE _____

FUTURE DRIVEWAY NOTES:

1. FUTURE DRIVEWAY ON COUNTY ROAD, THERE MUST BE A 10' MINIMUM WIDTH OF AN ADDITIONAL DRIVEWAY TO THE RIGHT OF THE MAIN DRIVEWAY.
 2. ANY FUTURE DRIVEWAYS MUST MEET ALL CITY DISTANCE REQUIREMENTS.

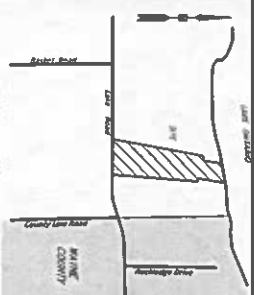
MONROE COUNTY
 DEPARTMENT OF TRANSPORTATION

APPROVED: _____ DATE: _____
 APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED. THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS.



GRAPHIC SCALE: 1" = 40'

LOCATION SKETCH



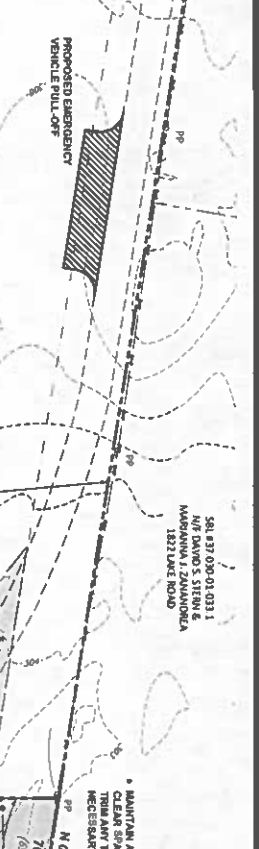
DATE	BY	REVISIONS
12/12/23	JAN	COMMENTS PER MOON, NC SOUTHERN
12/11/23	JAN	FINAL REVIEW AND CORRECTIONS
11/9/23	JAN	TOWN ENGINEER COMMENTS 11/2/23



Memoir Larue Associates, P.C.
 ENGINEERS AND SURVEYORS
 622 HOLT ROAD
 WEBSTER, NY 14580
 (585) 438-1080
 WWW.MEMOIR-LARUE.COM

LANDS OWNED BY
 TIMOTHY LOCHNER and
 JEANNETTE A. CAFALONE
 LAKE ROAD, WEBSTER
 PROJECT:
 LOCHNER SUBDIVISION
 PRELIMINARY SITE / UTILITY PLAN
 LOTS 3 and 4

BENIG PART OF TOWN LOT 13
 TOWNSHIP 14, RANGE 4, SECTION 10
 PHOENIX AND GORHAM PURCHASE
 TOWN OF WEBSTER, MONROE COUNTY
 STATE OF NEW YORK
 DESIGNED BY: ALL CIVIL
 DRAWN BY: JAN
 CHECKED BY: ALL CIVIL
 PLOL NO. 3701-01-035, 3703-01-036
 DATE: OCTOBER 2023
 SCALE: 1" = 40'
 SHEET 4 OF 8
 CAD FILE: 1451-00



LOCATION SKETCH N.T.S.

TOWN OF WEBSTER
MONROE COUNTY

DATE	BY	REVISIONS
12/12/23	JAT	COMPLETE PER BOARD, MONROE COUNTY
12/11/23	JAT	TOWN ENGINEER COMMENTS 11/17/23
11/6/23	JAT	TOWN ENGINEER COMMENTS 11/17/23



DRAWING ALTERATION

NO CHANGES TO THE ORIGINAL DRAWING HAVE BEEN MADE. ANY CHANGES TO THE ORIGINAL DRAWING MUST BE MADE BY A REGISTERED PROFESSIONAL ENGINEER OR SURVEYOR. THIS DRAWING IS VALID FOR TWO (2) YEARS FROM THE DATE OF ISSUANCE.

Memahon LaRue Associates, P.C.
ENGINEERS AND SURVEYORS

822 HOLT ROAD
WEBSTER, NY 14580
6561-438-1080
WWW.MEMAHON-LARUE.COM

CLIENT: TIMOTHY LOCHNER
1854 LAKE ROAD
WEBSTER, NEW YORK
14580

PROJECT: LANDS OWNED BY TIMOTHY LOCHNER and JEANETTE A. CAFALONE
LAKE ROAD, WEBSTER

DRAWING: LOCHNER SUBDIVISION
PRELIMINARY SITE / UTILITY PLAN
LOT 2

BENIG PART OF TOWN LOT 13
TOWNSHIP 14, RANGE 4, SECTION 10
PHELPS AND GORHAM PURCHASE
TOWN OF WEBSTER, MONROE COUNTY
STATE OF NEW YORK

DESIGNED BY: ALL CIVIL
DRAWN BY: JAT
CHECKED BY: ALL CIVIL

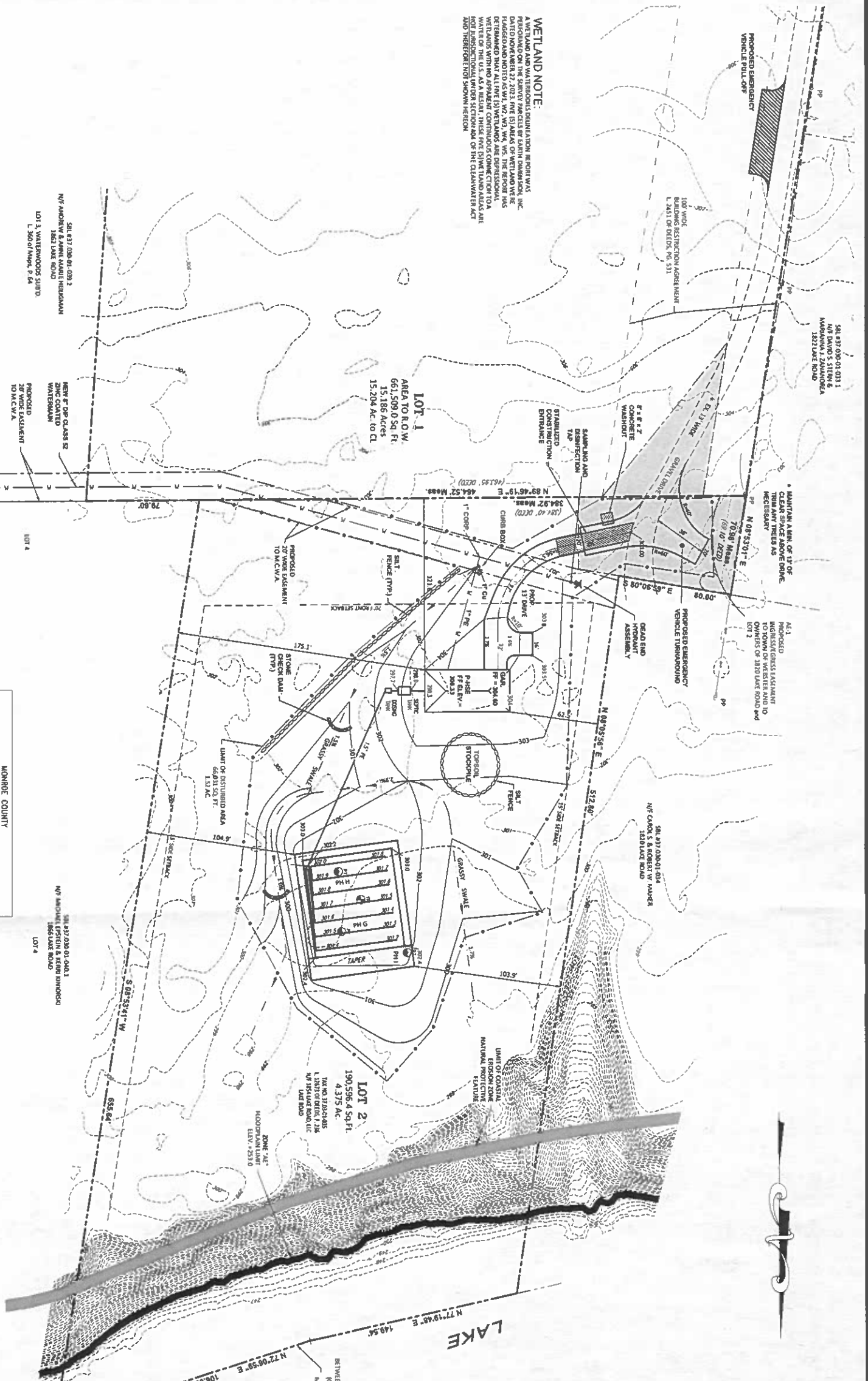
B.A.L. # 37.03-01-035, 37.03-01-046
PROJ. NO. 1451-00
DATE: OCTOBER, 2023

SCALE: 1" = 40'
SHEET 5 OF 8
CADD FILE: 1451-00

PERC HOLE & DEEP HOLE DATA

Deep Notes witnessed by Jim Crapion of WOOD
Lots 2 & 3 on 12/19/23, Lot 4 on 08/21/23
Lots 2 & 3 on 12/14/23, Lot 4 on 06/23/23

Lot	Date	Depth	PCP	PC	PCB	PCD	PCF	PCG	PH	PHH	PHI	PHJ	PHK	PHL	PHM	PHN	PHO
2	12/19/23	1.5'	0.00	0.05	0.10	0.15	0.20	0.25	0.30	0.35	0.40	0.45	0.50	0.55	0.60	0.65	0.70
3	12/19/23	1.5'	0.00	0.05	0.10	0.15	0.20	0.25	0.30	0.35	0.40	0.45	0.50	0.55	0.60	0.65	0.70
4	08/21/23	1.5'	0.00	0.05	0.10	0.15	0.20	0.25	0.30	0.35	0.40	0.45	0.50	0.55	0.60	0.65	0.70



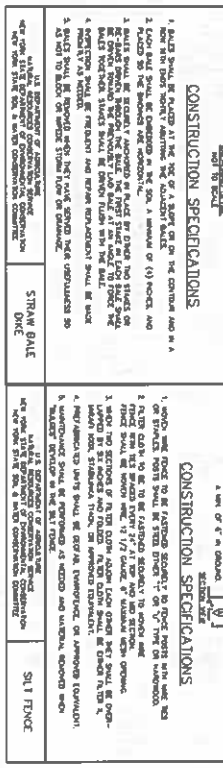
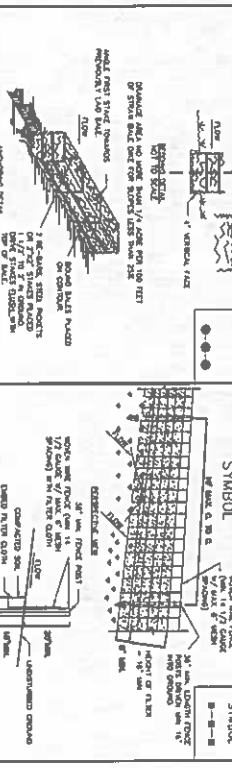
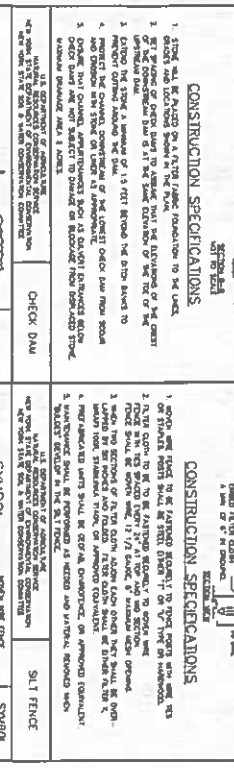
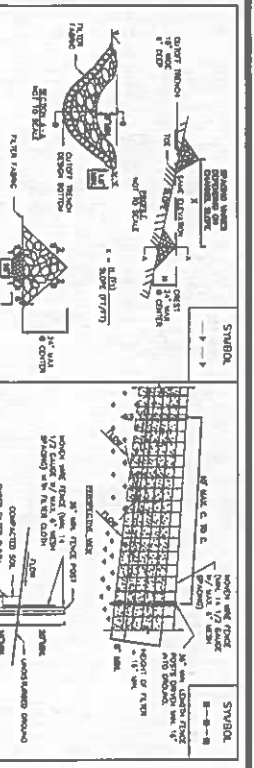
MONROE COUNTY
DEPARTMENT OF TRANSPORTATION

APPROVED: _____
DATE: _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED.
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS.

SURVEY CONTROL NOTES:
- BEASINGS SHOWN HEREIN ARE REFERENCED TO THE STATE PLANE COORDINATE SYSTEM: NAD83 (2011)-NY WEST ZONE.
- DISTANCES ARE GIVEN IN FEET AND DECIMALS THEREOF.
- POINTS SHOWN REFERENCED TO GRID NORTH
- EXISTING CONTOURS SHOWN ARE BASED FROM DRONE LIDAR CAPABILITIES





GENERAL NOTES.

1. ALL UTILITIES SHALL BE LOCATED AND ACCORDANCE WITH THE TOWN OF WEBSTER'S LATEST SPECIFICATIONS.
2. TOPOGRAPHIC REVISIONS TO BE MADE UPON A TOPOGRAPHIC SURVEY COMPLETED BY REPUTABLE LAND SURVEYORS IN ACCORDANCE WITH THE CONSTRUCTION SPECIFICATIONS AND THE TOWN OF WEBSTER'S LATEST SPECIFICATIONS.
3. THE CONSTRUCTOR SHALL MAINTAIN EXISTING AND/OR REMOVED STORM WATER DRAINAGE IN ALL AREAS FOR THE DURATION OF THE PROJECT.
4. THE CONSTRUCTOR SHALL MAINTAIN EXISTING AND/OR REMOVED STORM WATER DRAINAGE IN ALL AREAS FOR THE DURATION OF THE PROJECT.
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10. THE CONSTRUCTOR SHALL MAINTAIN EXISTING AND/OR REMOVED STORM WATER DRAINAGE IN ALL AREAS FOR THE DURATION OF THE PROJECT.

EROSION CONTROL NOTES.

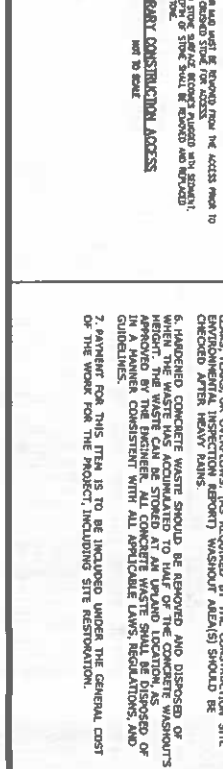
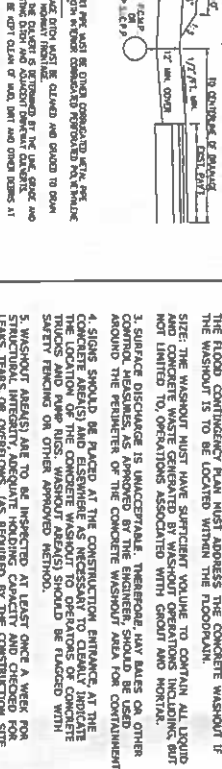
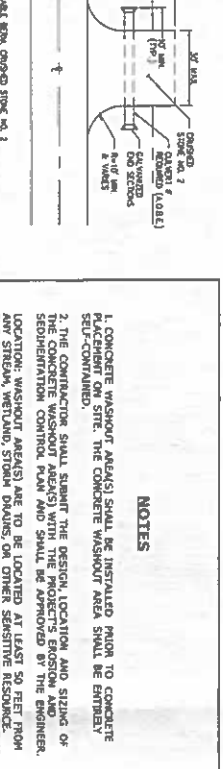
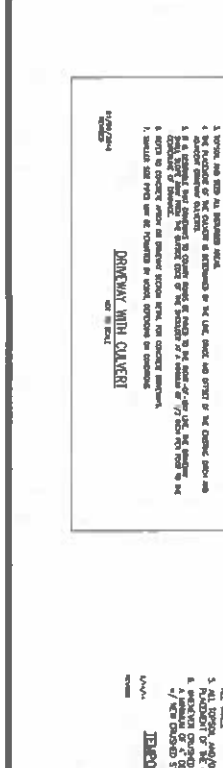
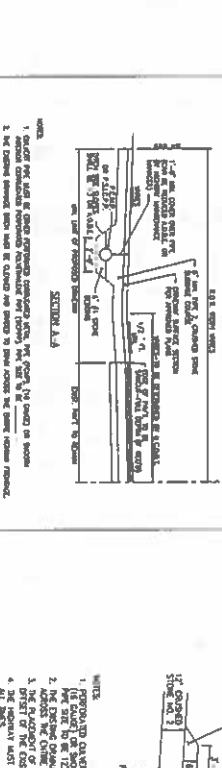
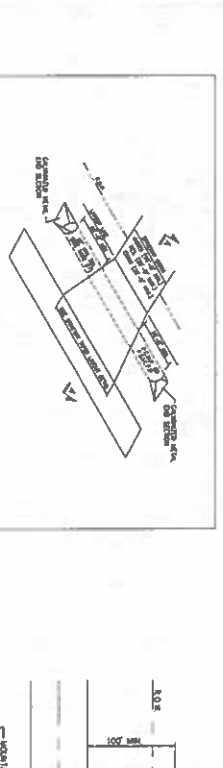
1. ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH N.Y.S. REGULATIONS FOR URBAN EROSION AND SEDIMENT CONTROL AND LOCAL ORDINANCES, SOIL AND WATER CONSERVATION AGENCY RECOMMENDATIONS AND STANDARDS. SLOPE FEEL SHALL BE MAINTAINED WITH A TOLERANCE OF ± 0.05.
2. ONLY AREAS NEEDED FOR CONSTRUCTION AS SHOWN ON THESE PLANS SHALL BE DISTURBED. NO OTHER TREES, SHRUBS, FENCES, AND EXISTING UTILITIES SHALL BE REMOVED OR DAMAGED. REMAINING VEGETATION SHALL BE PROTECTED TO PREVENT EROSION AND SEDIMENTATION. VEGETATION SHALL BE PROTECTED TO PREVENT EROSION AND SEDIMENTATION.
3. THE CONSTRUCTOR SHALL MAINTAIN EXISTING AND/OR REMOVED STORM WATER DRAINAGE IN ALL AREAS FOR THE DURATION OF THE PROJECT.
4. THE CONSTRUCTOR SHALL MAINTAIN EXISTING AND/OR REMOVED STORM WATER DRAINAGE IN ALL AREAS FOR THE DURATION OF THE PROJECT.
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10. THE CONSTRUCTOR SHALL MAINTAIN EXISTING AND/OR REMOVED STORM WATER DRAINAGE IN ALL AREAS FOR THE DURATION OF THE PROJECT.

TEMPORARY/PERMANENT EROSION CONTROL MEASURES

1. Temporary Stabilization - Riprap stabilization and detritus removal of the site during construction activity. Temporary erosion reduction measures shall be installed to prevent erosion from the site during construction activity. Temporary erosion reduction measures shall be installed to prevent erosion from the site during construction activity.
2. Seeding Rate: 60 lb per acre, or 1lb per 1,000 sq ft.
3. Cor. Mat 90 Roll Size 3.28 ft x 83 ft and 13.1 ft x 83 ft.

SLEEP SLOPE SEEDING

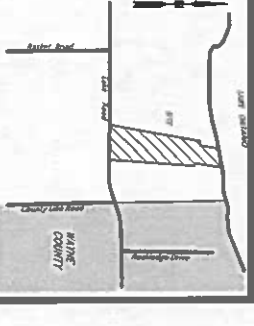
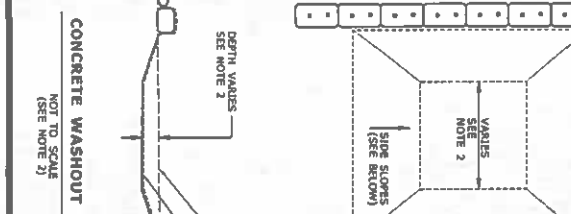
1. Seeding Item Number: ERMWX-181 By Ernst Conservation seeds.
2. Seeding Rate: 60 lb per acre, or 1lb per 1,000 sq ft.
3. Cor. Mat 90 Roll Size 3.28 ft x 83 ft and 13.1 ft x 83 ft.



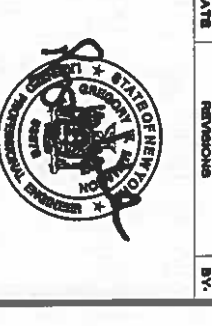
NOTES

1. CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO CONCRETE POURING. THE CONCRETE WASHOUT AREA SHALL BE ENCLOSED BY A CURB AND SHALL BE INSTALLED WITH A TOLERANCE OF ± 0.05.
2. THE CONCRETE WASHOUT AREAS SHALL BE INSTALLED WITH A TOLERANCE OF ± 0.05.
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9. THE CONCRETE WASHOUT AREAS SHALL BE INSTALLED WITH A TOLERANCE OF ± 0.05.
10. THE CONCRETE WASHOUT AREAS SHALL BE INSTALLED WITH A TOLERANCE OF ± 0.05.

CONCRETE WASHOUT AREA



DATE	REVISIONS	BY



Matthew Larue Associates, P.C.
ENGINEERS AND SURVEYORS

8222 HOLT ROAD
WEBSTER, NY 14580
6661-436-0080
WWW.MATTHEWLARUE.COM

CLIENTS:
MATTHEW LARUE
1854 LAKE ROAD
WEBSTER, NEW YORK
14580

PROJECT:
LANDS OWNED BY
TIMOTHY LOCHNER and
JEANETTE A. CAFALONE
LAKE ROAD, WEBSTER

DRAWINGS:
LOCHNER SUBDIVISION
NOTES AND DETAILS

REVISIONS:
REVISION PART OF TOWN LOT 18
TOWNSHIP 14, RANGE 4, SECTION 10
SHEEPS AND GOATMAN PURCHASE
TOWN OF WEBSTER, MONROE COUNTY
STATE OF NEW YORK

DRAWN BY: ALL, CHM
CHECKED BY: ALL, CHM
DATE: 3/23/01-015, 3/23/01-016
PROJ. NO.: 1451-00
DATE: OCTOBER, 2023
SCALE: 1" = 100'

SHEET 8 OF 8 **LOAD FILE**
1451-00

PERC HOLE & DEEP HOLE DATA

Lot No.	Perforation	Depth (ft)	Flow Rate (gpm)	Soil	Remarks
1	12"	12.5	15	S	
2	12"	13.5	18	S	
3	12"	14.5	22	S	
4	12"	15.5	25	S	

SEPTIC SYSTEM DESIGN:

1. THE SEPTIC SYSTEM DESIGN IS BASED ON THE 4-BEDROOM DESIGN.
2. LATCH LINES ARE SHOWN ON D.C. TO DETERMINE THE FIELD FOR A 50% DRAINAGE AREA.
3. SHOULD THE HOMEOWNER WISH TO CONSTRUCT HOUSES WITH MORE THAN 4 BEDROOMS, REPLY AND APPROVAL FROM DESIGN CHANGES WILL BE REQUIRED.
4. PRELIMINARY PERMITS AND APPROVALS FOR THIS AREA IS OBTAINED, NEW PERMITS MUST BE OBTAINED AND SEPTIC SYSTEM APPROVAL MUST BE OBTAINED PRIOR TO CONSTRUCTION.
5. PERMITS FOR THE PERMITS AND APPROVALS FOR THIS AREA IS OBTAINED, NEW PERMITS MUST BE OBTAINED AND SEPTIC SYSTEM APPROVAL MUST BE OBTAINED PRIOR TO CONSTRUCTION.
6. PERMITS FOR THE PERMITS AND APPROVALS FOR THIS AREA IS OBTAINED, NEW PERMITS MUST BE OBTAINED AND SEPTIC SYSTEM APPROVAL MUST BE OBTAINED PRIOR TO CONSTRUCTION.
7. SURFACE WATER IS TO BE DIVERGED AWAY FROM THE ABSORPTION AREAS WITH DROPS OR TRUCKS.

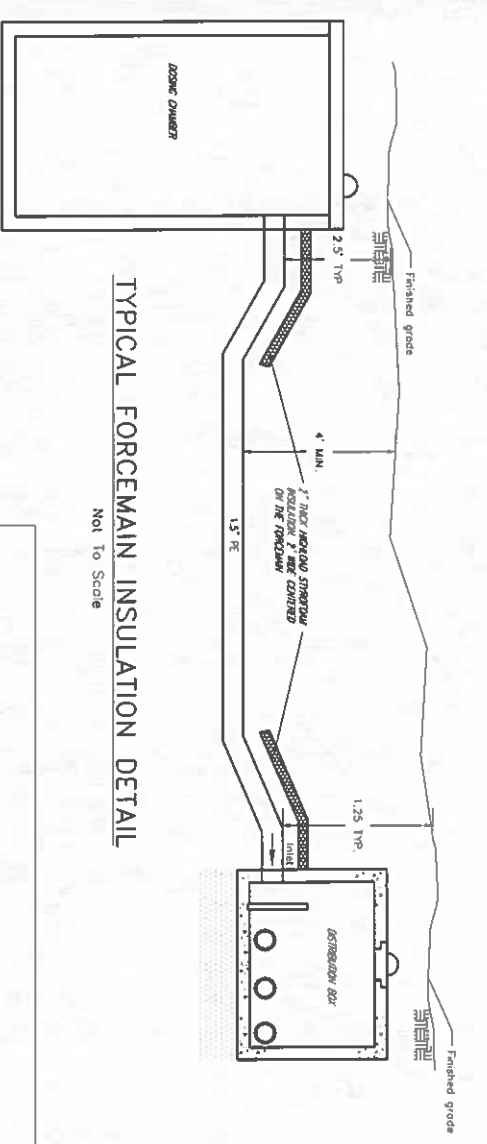
SEPTIC SYSTEM SPECIFICATIONS:

- ① 4" PVC, SDR - 21, OR EQUIVALENT, 40' QUAD JOINTS, 1/4" PER FOOT LEAKAGE RATE.
- ② SLOPE, CALCULATED SLOPE SHALL BE PRECISE BY VISUAL CONCRETE FOUNDATION, SDR CODE FOR 3 BEDROOM, 1500 GAL/DAY FOR 4 BEDROOM.
- ③ 4" PVC, SDR - 21, OR EQUIVALENT, 40' QUAD JOINT, 1/8" PER FOOT LEAKAGE RATE.
- ④ ABSORPTION BOX - PRECAST CONCRETE BY KISHNER CONCRETE PRODUCTS INC. OR EQUAL, SPEED LEVELERS MUST TO BE INSTALLED TO KEEP ALL OUTLETS AT THE SAME ELEVATION.
- ⑤ PERFORATION (PER FORAM) SHALL BE 1/8" DIA PER FORAM WITH 1/8" DIA PER FORAM SPACING AND TO BE A MINIMUM OF 8" ON CENTER FOR 10' PER FOOT.
- ⑥ PERFORATED LINES ARE TO BE A MINIMUM OF 8" ON CENTER FOR 10' PER FOOT.
- ⑦ ALL DISTRIBUTION LINES ARE TO BE A MINIMUM OF 10' ON CENTER FOR 10' PER FOOT.

SEPTIC SYSTEM DESIGN NOTES:

1. LATCH LINES TO BE OBSERVED TO DETERMINE FIELD SIZES AND TO BE USED FOR FIELD SIZES.
2. CHECK FOR ANY OBSTRUCTIONS TO BE REMOVED FROM FIELD SIZES.
3. CHECK FOR ANY OBSTRUCTIONS TO BE REMOVED FROM FIELD SIZES.
4. CHECK FOR ANY OBSTRUCTIONS TO BE REMOVED FROM FIELD SIZES.
5. NO PART OF THE SYSTEM IS TO BE INSTALLED OVER STRUCTURE, SERVICE, OR TRAFFIC.
6. NO PART OF THE SYSTEM IS TO BE INSTALLED OVER STRUCTURE, SERVICE, OR TRAFFIC.

TYPICAL FORCEMAIN INSULATION DETAIL



Not To Scale

DOING CHAMBER

Lot No.	Volume (gpd)	Volume (ft ³)	Volume (ft ³)	Volume (ft ³)	Volume (ft ³)	Volume (ft ³)	Volume (ft ³)	Volume (ft ³)
1	440	3.0	1.40	1.54	1.40	1.40	1.40	1.40
2	440	3.0	1.40	1.54	1.40	1.40	1.40	1.40
3	440	3.0	1.40	1.54	1.40	1.40	1.40	1.40
4	440	3.0	1.40	1.54	1.40	1.40	1.40	1.40

DOING CHAMBER DESIGN - 3. BDR.

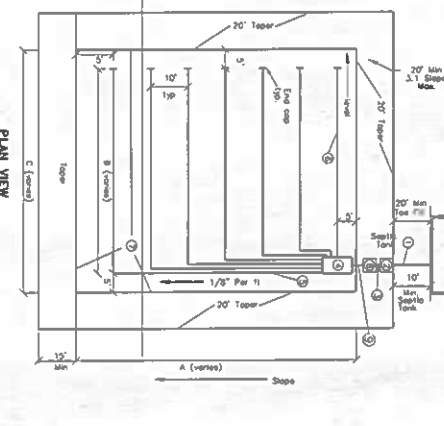
Lot No.	Volume (gpd)	Volume (ft ³)	Volume (ft ³)	Volume (ft ³)	Volume (ft ³)	Volume (ft ³)	Volume (ft ³)	Volume (ft ³)
1	440	3.0	1.40	1.54	1.40	1.40	1.40	1.40
2	440	3.0	1.40	1.54	1.40	1.40	1.40	1.40
3	440	3.0	1.40	1.54	1.40	1.40	1.40	1.40
4	440	3.0	1.40	1.54	1.40	1.40	1.40	1.40

DOING CHAMBER DESIGN - 4. BDR.

Lot No.	Volume (gpd)	Volume (ft ³)	Volume (ft ³)	Volume (ft ³)	Volume (ft ³)	Volume (ft ³)	Volume (ft ³)	Volume (ft ³)
1	440	3.0	1.40	1.54	1.40	1.40	1.40	1.40
2	440	3.0	1.40	1.54	1.40	1.40	1.40	1.40
3	440	3.0	1.40	1.54	1.40	1.40	1.40	1.40
4	440	3.0	1.40	1.54	1.40	1.40	1.40	1.40

SEPTIC SYSTEM DESIGN TABLE

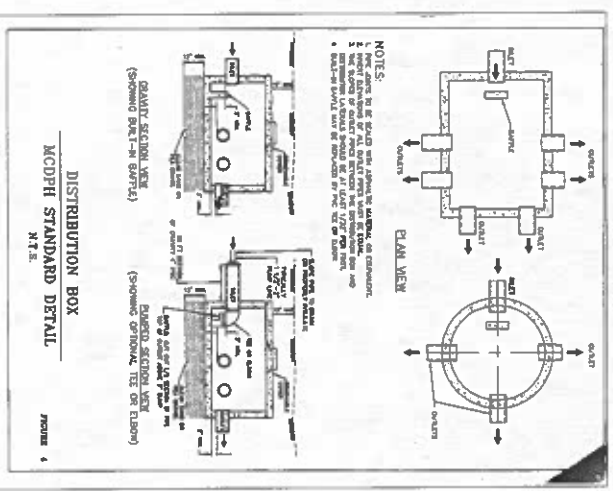
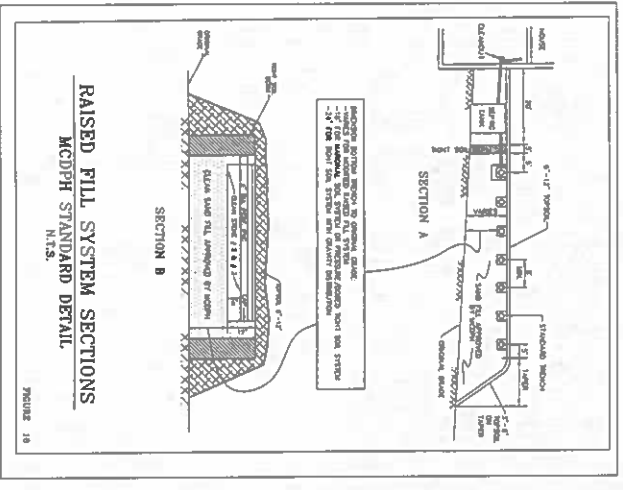
Lot No.	Test Location	Peric Rate (inches)	NO. OF BEDROOM	Design Flow (gpd/bedroom)	Septic Tank	LT:ILE	NO. OF LITERS	LENGTH OF LITERS	3 BED RM AVG. SIZE OF BEDS	4 BED RM AVG. SIZE OF BEDS	Minimum Based Area (Sq. Feet)	Design Based Area (Sq. Feet)	Minimum Based Area (Sq. Feet)	Minimum Slope (ft)	Type of Septic System Proposed	Distribution Box/ Drop Box
2	N/A	N/A	3	110	1250	275	276	46	60'	70'	3,300	3,300	4,410	30"	Tight Soil System	Distribution Boxes
3	N/A	N/A	3	110	1250	275	276	46	60'	70'	3,300	3,300	4,410	30"	Tight Soil System	Distribution Boxes
4	N/A	N/A	3	110	1250	275	276	46	60'	70'	3,300	3,300	4,410	30"	Tight Soil System	Distribution Boxes



4. BEDROOM HOUSE DESIGN DATA (N.C. 15, LAYER)

3. BEDROOM HOUSE DESIGN DATA (N.C. 15, LAYER)

Volume	Length (ft)
A	70
B	33
C	63



RAISED FILL SYSTEMS CONSTRUCTION PROCEDURES:

1. NEAR CONSTRUCTION EQUIPMENT IS NOT PERMITTED WITHIN THE AREA OF THE RAISED SYSTEM.
2. THE RAISED SYSTEM SHALL BE CONSTRUCTED TO A MINIMUM OF 12" ABOVE THE FINISHED GRADE OVER THE ENTIRE LENGTH OF THE SYSTEM.
3. THE RAISED SYSTEM SHALL BE CONSTRUCTED TO A MINIMUM OF 12" ABOVE THE FINISHED GRADE OVER THE ENTIRE LENGTH OF THE SYSTEM.
4. THE RAISED SYSTEM SHALL BE CONSTRUCTED TO A MINIMUM OF 12" ABOVE THE FINISHED GRADE OVER THE ENTIRE LENGTH OF THE SYSTEM.
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PERMITS AND APPROVALS

PERMITS AND APPROVALS FOR THIS PROJECT MUST BE OBTAINED FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL PLANNING AND ZONING BOARD. THE HOMEOWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.

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McMahon Larue Associates, P.C.
ENGINEERS AND SURVEYORS
922 N.O.L.T. ROAD
WEBSTER, NY 14580
6885-436-1090
WWW.McMAHON-LARUE.COM

PROJECT: LANDS OWNED BY TIMOTHY LOCHNER and JEANETTE A. CAFALONE LAKE ROAD, WEBSTER
DRAWING: LOCHNER SUBDIVISION CONSTRUCTION DETAILS
DESIGNED BY: AL, CHM
DRAWN BY: JMT
CHECKED BY: AL, CHM
SCALE: 1" = 100'
DATE: OCTOBER, 2023
SHEET 8 OF 8

BENIG PART OF TOWN LOT 13 TOWNSHIP 14, RANGE 4, SECTION 10 Phelps and GORHAM PURCHASE TOWN OF WEBSTER, MONROE COUNTY STATE OF NEW YORK
DRAWING ALTERATION

TOWN OF WEBSTER LOCATION SKETCH
DATE: REVISIONS: BY:
DATE: REVISIONS: BY:

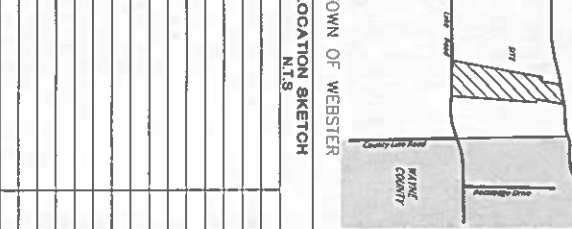
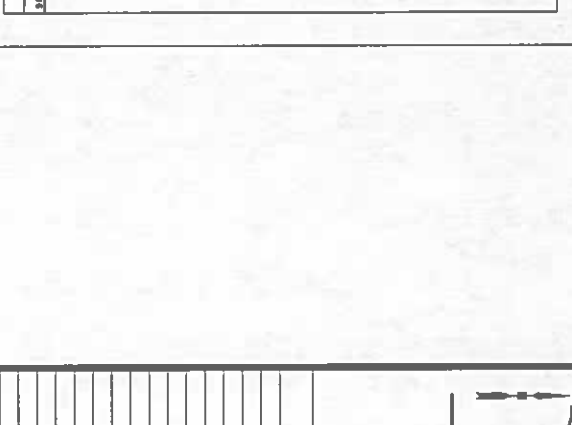
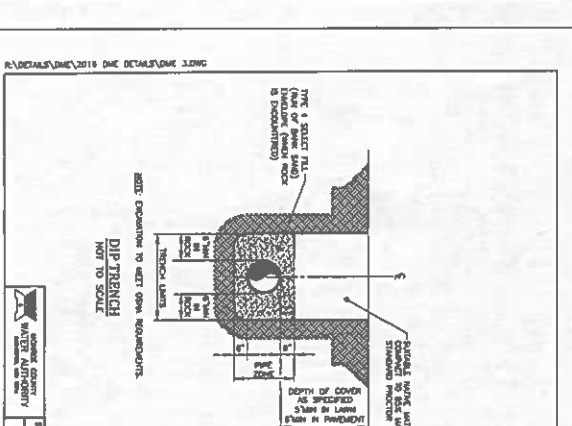
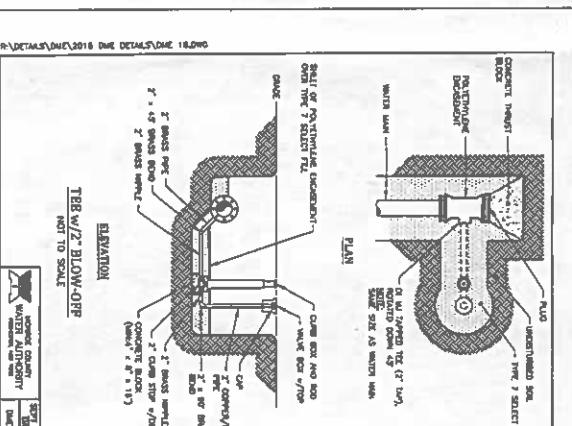
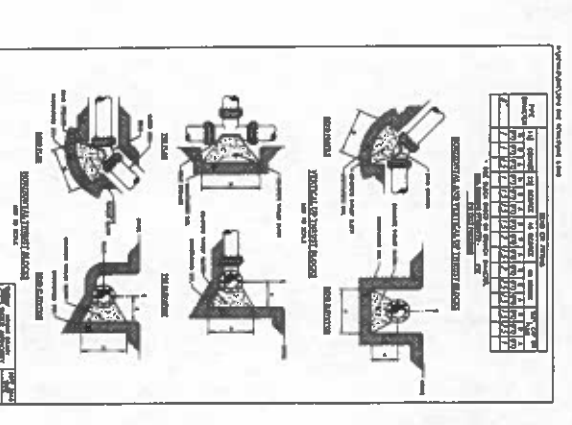
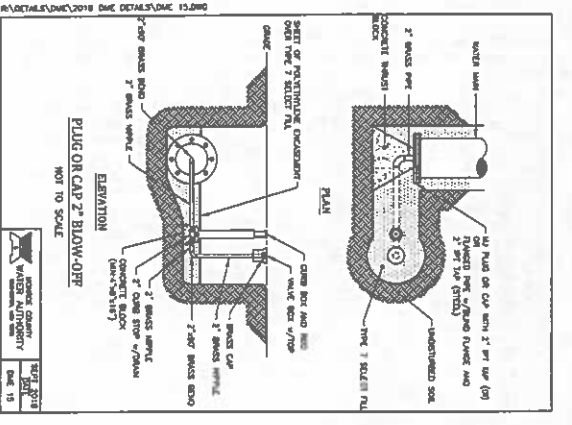
1" 1/2" AND 2" WATER SERVICE LINE NOTES

1. Water services lines shall be constructed in accordance with the regulations and performance of the Water Authority.
2. Water service lines shall have a minimum of 18" of cover from finished grade to the top of the pipe. In areas where the water table is high, the minimum cover shall be 24".
3. Water service lines shall be installed in a trench that is excavated from the outside of the pipe. The trench shall be backfilled with compacted soil.
4. Water service lines shall be installed as follows:

DESCRIPTION	TYPE	CLASS
HYDRANT POSITION - from the water main to the hydrant	1"	15
HYDRANT POSITION - from the water main to the hydrant	2"	15
HYDRANT POSITION - from the water main to the hydrant	3"	15

1. Minimum cover is 18".
2. The water service line shall be installed in a trench that is excavated from the outside of the pipe. The trench shall be backfilled with compacted soil.
3. The water service line shall be installed in a trench that is excavated from the outside of the pipe. The trench shall be backfilled with compacted soil.
4. Water services lines shall be installed in accordance with the regulations and performance of the Water Authority.
5. Water services lines shall be installed in accordance with the regulations and performance of the Water Authority.

SCALE: 1" = 10'
DATE: 01/13/2018
DRAWN BY: JAT
CHECKED BY: AL, GMA



R:\DETAILS\DWG\2018 DNE DETAILS\DNE 27.DWG

R:\DETAILS\DWG\2018 DNE DETAILS\DNE 15.DWG

R:\DETAILS\DWG\2018 DNE DETAILS\DNE 16.DWG

R:\DETAILS\DWG\2018 DNE DETAILS\DNE 18.DWG

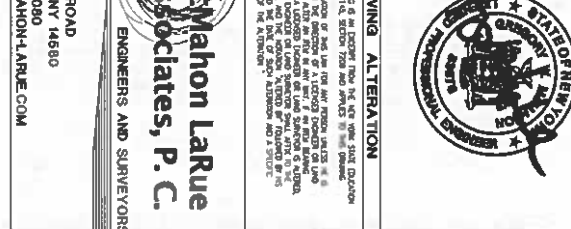
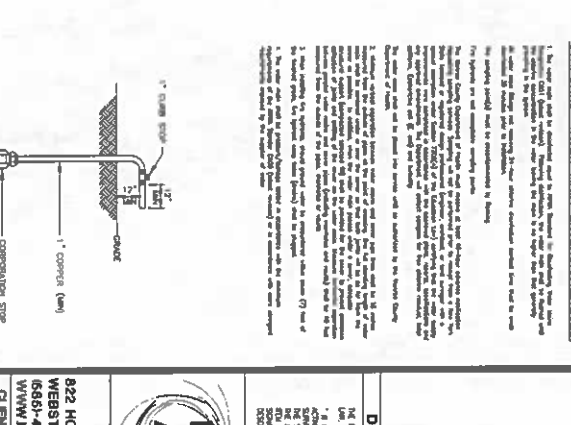
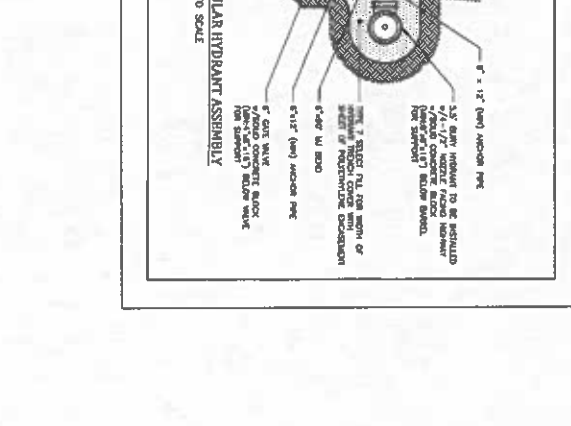
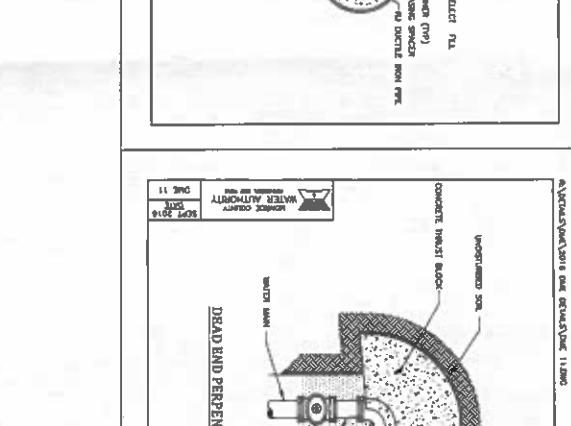
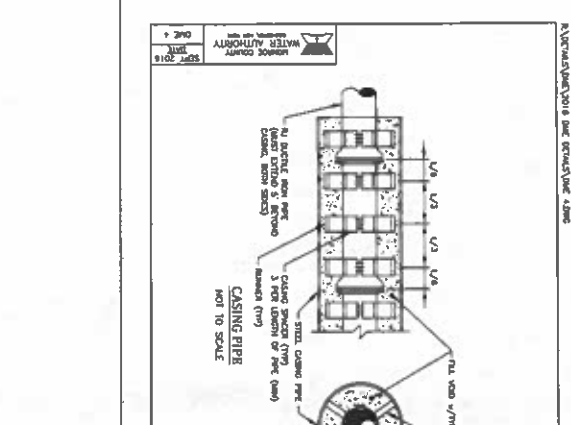
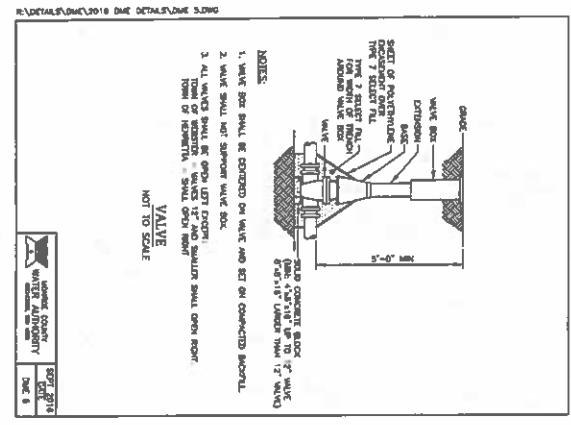
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PUBLIC WATER SYSTEM NOTES

These notes and drawings shall be considered in conjunction with the regulations and performance of the Water Authority.

1. The water service line shall be installed in a trench that is excavated from the outside of the pipe. The trench shall be backfilled with compacted soil.
2. The water service line shall be installed in a trench that is excavated from the outside of the pipe. The trench shall be backfilled with compacted soil.
3. The water service line shall be installed in a trench that is excavated from the outside of the pipe. The trench shall be backfilled with compacted soil.
4. The water service line shall be installed in a trench that is excavated from the outside of the pipe. The trench shall be backfilled with compacted soil.
5. The water service line shall be installed in a trench that is excavated from the outside of the pipe. The trench shall be backfilled with compacted soil.



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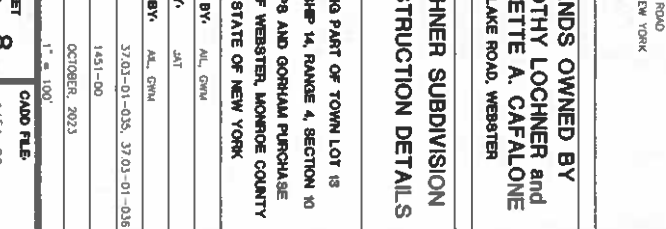
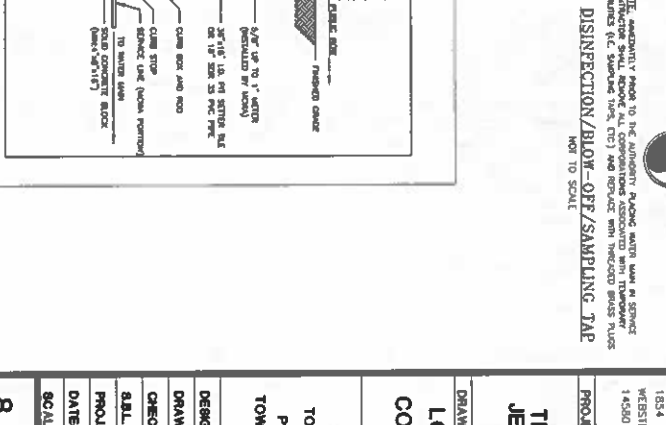
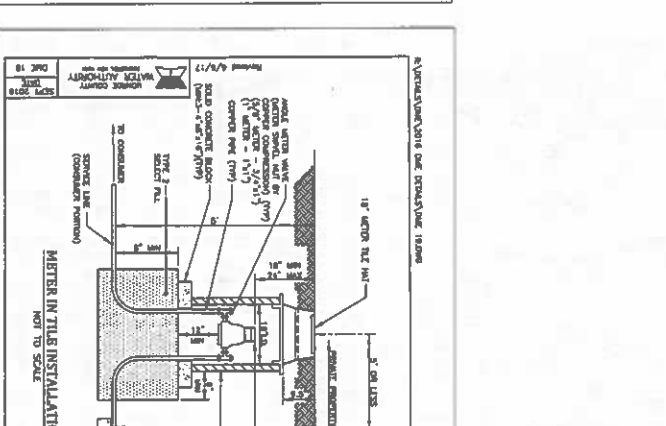
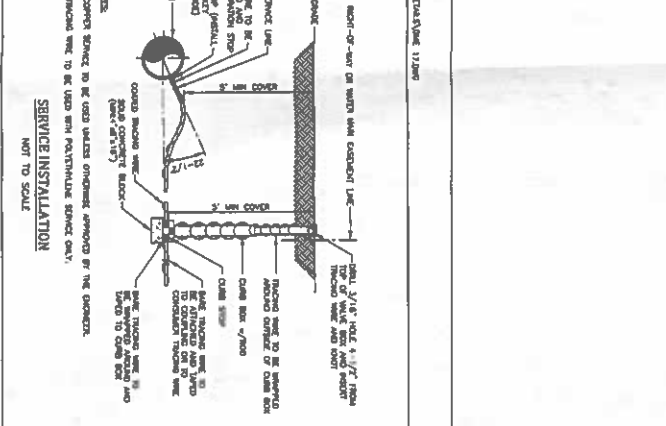
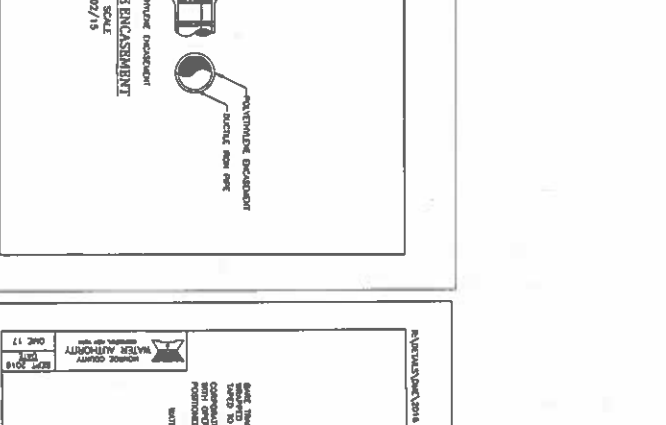
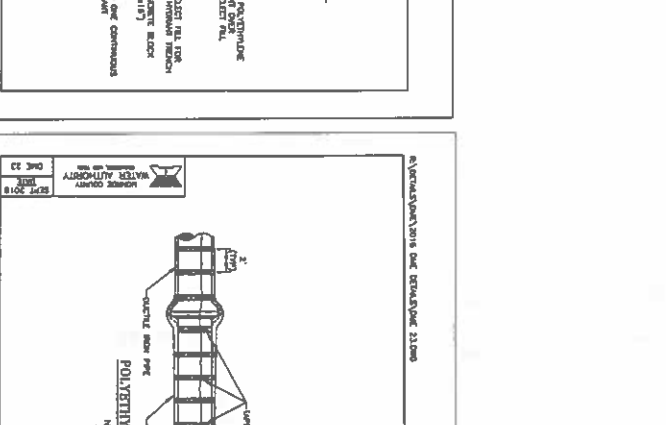
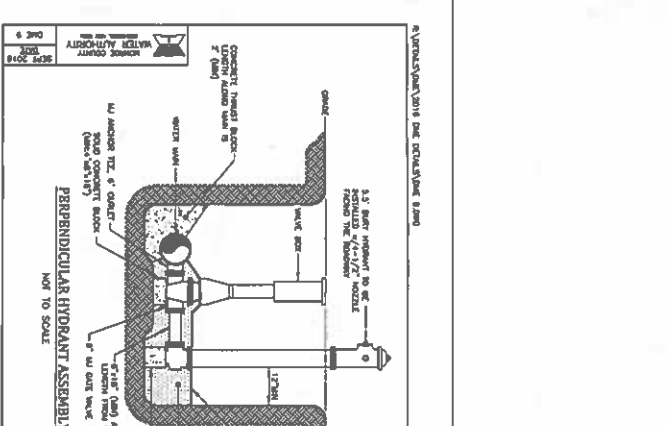
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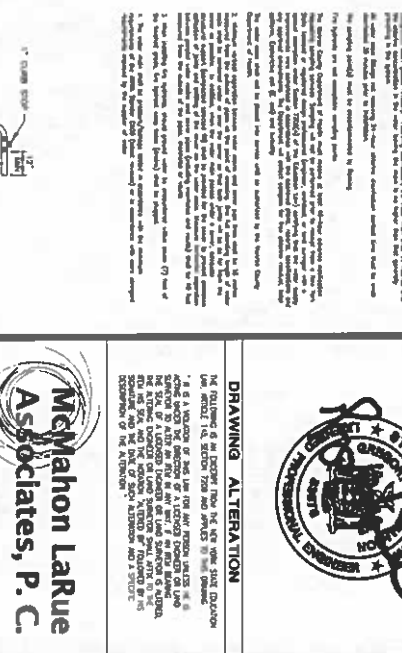
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STANDARD WATER MAIN EXTENSION NOTES:

1. The water main shall be installed in a trench that is excavated from the outside of the pipe. The trench shall be backfilled with compacted soil.
2. The water main shall be installed in a trench that is excavated from the outside of the pipe. The trench shall be backfilled with compacted soil.
3. The water main shall be installed in a trench that is excavated from the outside of the pipe. The trench shall be backfilled with compacted soil.
4. The water main shall be installed in a trench that is excavated from the outside of the pipe. The trench shall be backfilled with compacted soil.
5. The water main shall be installed in a trench that is excavated from the outside of the pipe. The trench shall be backfilled with compacted soil.



LOCHNER SUBDIVISION CONSTRUCTION DETAILS

LANDS OWNED BY TIMOTHY LOCHNER and JEANETTE A. CAFALONE LAKE ROAD, WEBSTER

McMahon Larue Associates, P.C.
ENGINEERS AND SURVEYORS

622 HOLT ROAD
WEBSTER, NY 14580
6665-436-1080
WWW.McMAHON-LARUE.COM

CLIENT:
TIMOTHY LOCHNER
1834 LAKE ROAD
WEBSTER, NEW YORK
14580

PROJECT:
LANDS OWNED BY
TIMOTHY LOCHNER and
JEANETTE A. CAFALONE
LAKE ROAD, WEBSTER

DRAWING:
LOCHNER SUBDIVISION
CONSTRUCTION DETAILS

BENA PART OF TOWN LOT 18
TOWNSHIP 14, RANGE 4, SECTION 10
PHELPS AND GORHAM PURCHASE
TOWN OF WEBSTER, MONROE COUNTY
STATE OF NEW YORK

DRAWN BY: JAT
CHECKED BY: AL, GMA

S&L: 37.01-01-035, 37.01-01-036
PROJ. NO. 1451-00
DATE: OCTOBER, 2013

SCALE: 1" = 100'

SHEET 8 OF 8
CAD FILE 1451-00